

PROJECT DATA

CIVIC ADDRESS

1425 GORDON AVE
WEST VANCOUVER, BC

LEGAL DESCRIPTION

LOT B OF 4
NORTH EAST 1/4 OF DISTRICT LOT 1054
PLAN 6811

ZONING

R55
LOT AREA 11555 sq.ft. 1073 sq.m.
ALLOWABLE FAR 11555 x 0.35= 4044 sq.ft. 376 sq.m.
EXISTING FAR 3183 sq.ft. 296 sq.m. 0.28 FAR

FLOOR AREAS

Vinson House:	Main	1464 sq.ft.	136 sq.m.
	Upper	1233 sq.ft.	115 sq.m.
	A.G. sub-total	2697 sq.ft.	251 sq.m.
	Principal (Garden Suite)	859 sq.ft.	80 sq.m.
	total	3556 sq.ft.	330 sq.m.
Garden Cottage:	Main	813 sq.ft.	76 sq.m.
	Upper	761 sq.ft.	71 sq.m.
	A.G. sub-total	1574 sq.ft.	146 sq.m.
	Lower	0 sq.ft.	0 sq.m.
total	1574 sq.ft.	146 sq.m.	
Laneway Cottage:	Main	696 sq.ft.	65 sq.m.
	Upper	751 sq.ft.	70 sq.m.
	A.G. sub-total	1447 sq.ft.	134 sq.m.
	Lower	266 sq.ft.	25 sq.m.
total	1713 sq.ft.	159 sq.m.	
A.G. Total	5718 sq.ft.	531 sq.m.	0.49 FAR
Total	6843 sq.ft.	636 sq.m.	0.59 FAR

LOWER FLOOR AREA TOTALS

Principal (Garden Suite)	1954 sq.ft.	182 sq.m.
Garden Cottage	978 sq.ft.	91 sq.m.
Laneway Cottage	940 sq.ft.	87 sq.m.
total	3872 sq.ft.	360 sq.m.

ACCESSORY BUILDINGS

Vinson & Garden Cottage Accessory:	445 sq.ft.	41 sq.m.	
Garden Suite Garage Accessory:	223 sq.ft.	21 sq.m.	
Laneway Cottage:	222 sq.ft.	21 sq.m.	
Accessory Total	890 sq.ft.	83 sq.m.	0.08 FAR

COVERED PORCH

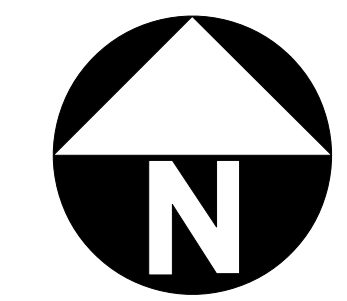
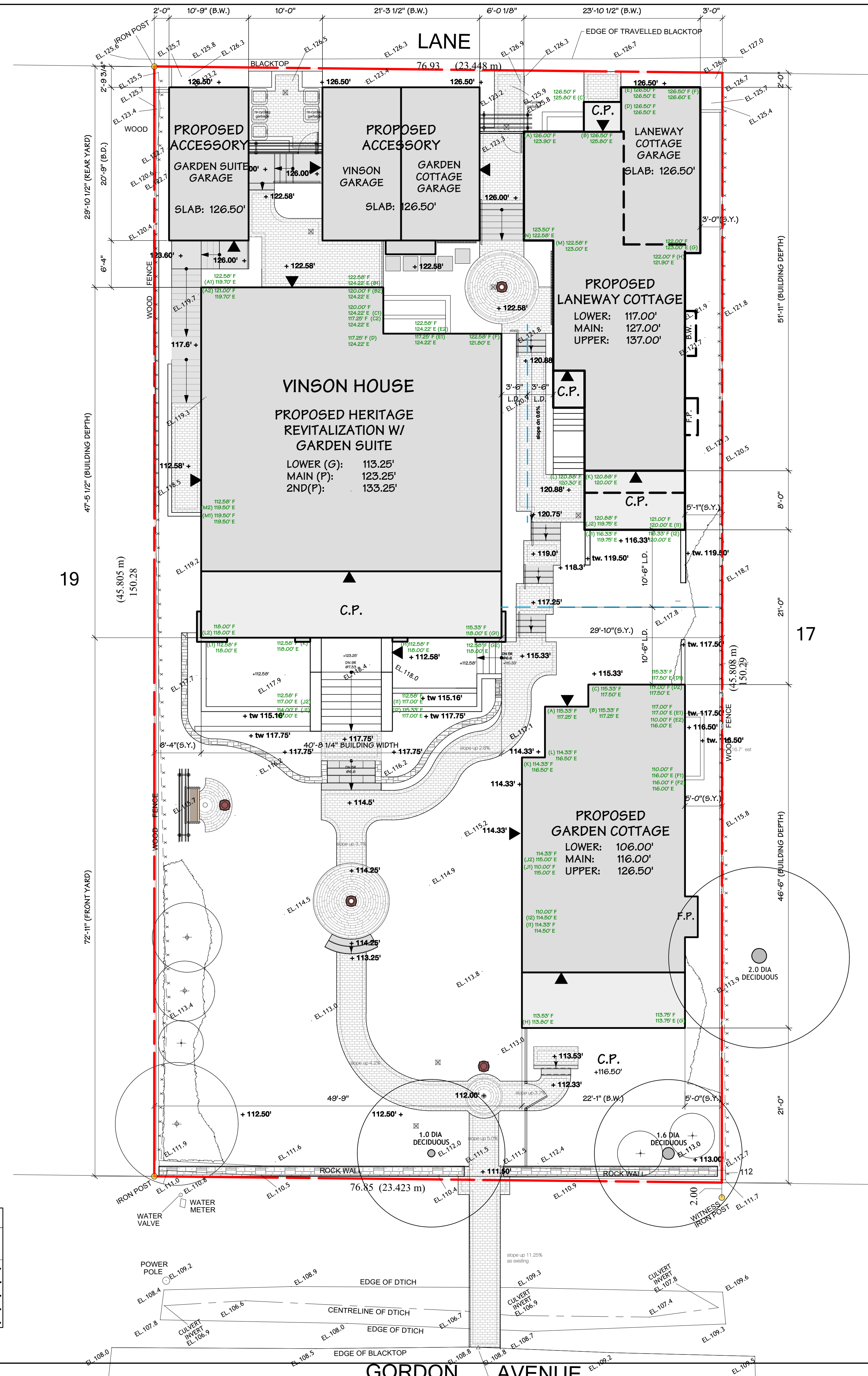
Principal	638 sq.ft.	59 sq.m.	
Garden Suite	19 sq.ft.	2 sq.m.	
Garden Cottage	166 sq.ft.	15 sq.m.	
Laneway Cottage	182 sq.ft.	17 sq.m.	
Total	1005 sq.ft.	93 sq.m.	0.09 FAR

SITE COVERAGE

Max Allowable: 30% x 11555=	3467 sq.ft.	322 sq.m.	
Principal	1972 sq.ft.	183 sq.m.	
Garden Cottage	988 sq.ft.	92 sq.m.	
Laneway Cottage	1068 sq.ft.	99 sq.m.	
Accessory	677 sq.ft.	63 sq.m.	
Total	4705 sq.ft.	437 sq.m.	0.41 S.C.

HEIGHT SUMMARY

	PRINCIPAL (EXISTING)	PRINCIPAL (PROPOSED)	GARDEN COTTAGE	LANEWAY COTTAGE
ROOF RIDGE	149.7 ft.	148.73 ft.	141.22 ft.	148.99 ft.
AVERAGE GRADE	123.35 ft.	117.21 ft.	114.05 ft.	122.62 ft.
CALCULATED HEIGHT	22.52 ft.	27.70 ft.	23.56 ft.	24.38 ft.
ALLOWABLE BUILDING FACE	22.00 ft.	34.34 ft.	26.50 ft.	27.63 ft.
PROPOSED BUILDING FACE	26.50 ft.	31.92 ft.	25.38 ft.	29.17 ft.



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REVISIONS

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CLIENT REVIEW	JUNE 2015
CLIENT REVIEW	JULY 2015
CLIENT REVIEW	AUG 2015
RFP	OCT 2015
DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01

FORMWERKS ARCHITECTURAL
I N C O R P O R A T E D

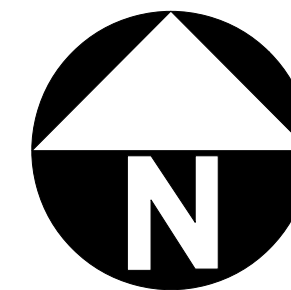
1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :
**1425 GORDON AVE
WEST VANCOUVER, B.C.**

Drawing Title :
SITE PLAN

DRAWN BY: MM	CHECKED BY:
SCALE: 1/8" = 10"	SHEET
DATE: MARCH 2016	A 01
JOB NUMBER: 4031	

- NOTES**
- 1 ALL CONSTRUCTION TO COMPLY WITH B.C.B.C. CURRENT EDITION & THE CITY OF VANCOUVER ZONING BY-LAW.
 - 2 DIMENSIONS ARE TO :
a - FACE OF CONCRETE
b - FACE OF STONE ON EXTERIOR WALL
c - FACE OF SHEATHING ON EXTERIOR WALLS W.O. STONE
d - FACE OF STUDS (INT.)
 - 3 SITE PLAN BASED ON SURVEY BY HOBBS WINTER AND MACDONALD BC LAND SURVEYORS, JUNE 2015
 - 4 BUILDING TO BE SPRINKLERED TO NFPA 13D.
- *CONTRACTOR TO NOTIFY FORTIS BC 1-800-474-6886 OR CELL *6886 PRIOR TO DEMOLITION/DIGGING. QUOTE TICKET No. XXX TO VERIFY THE LOCATION OF ALL GAS LINES

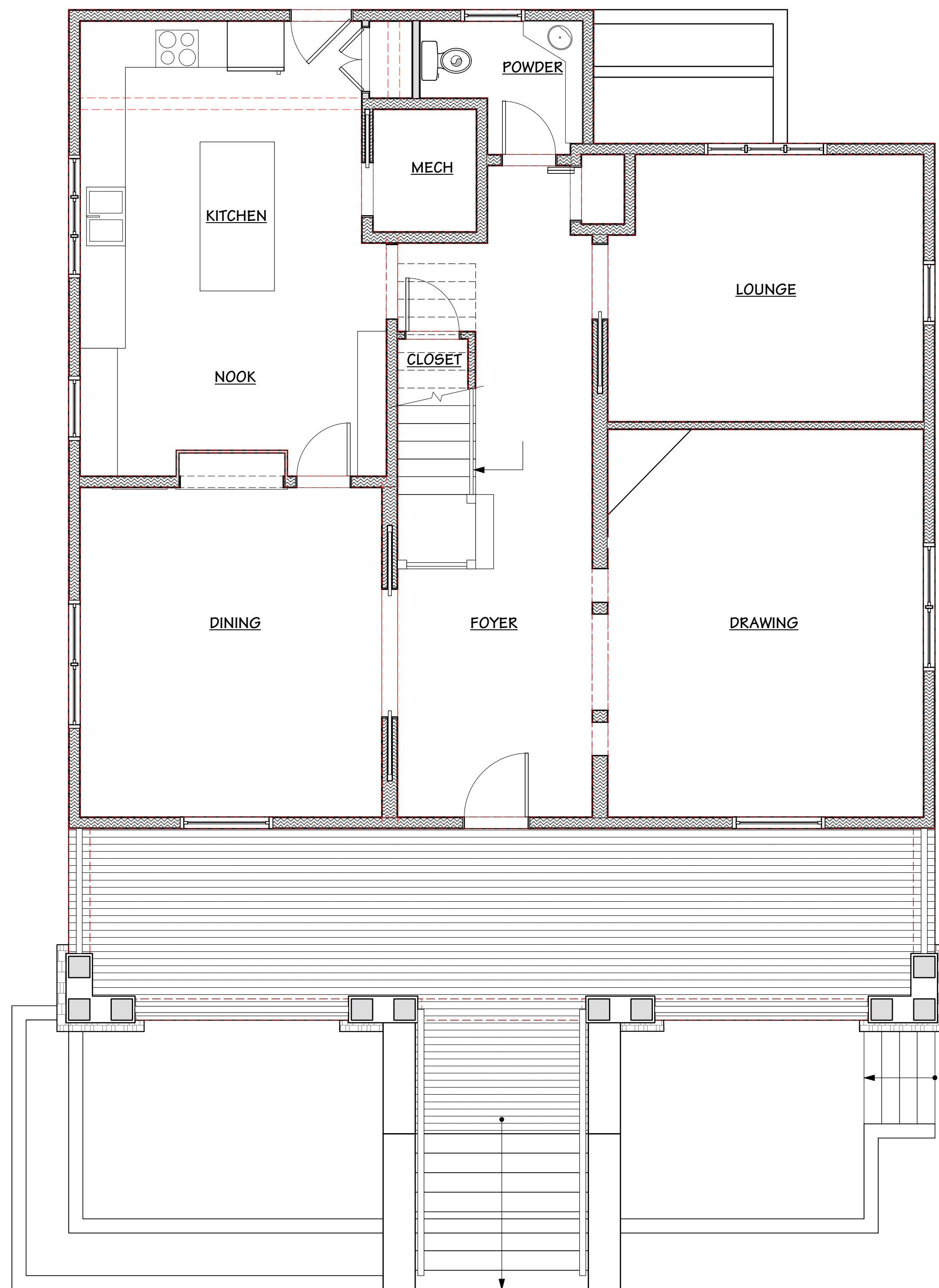


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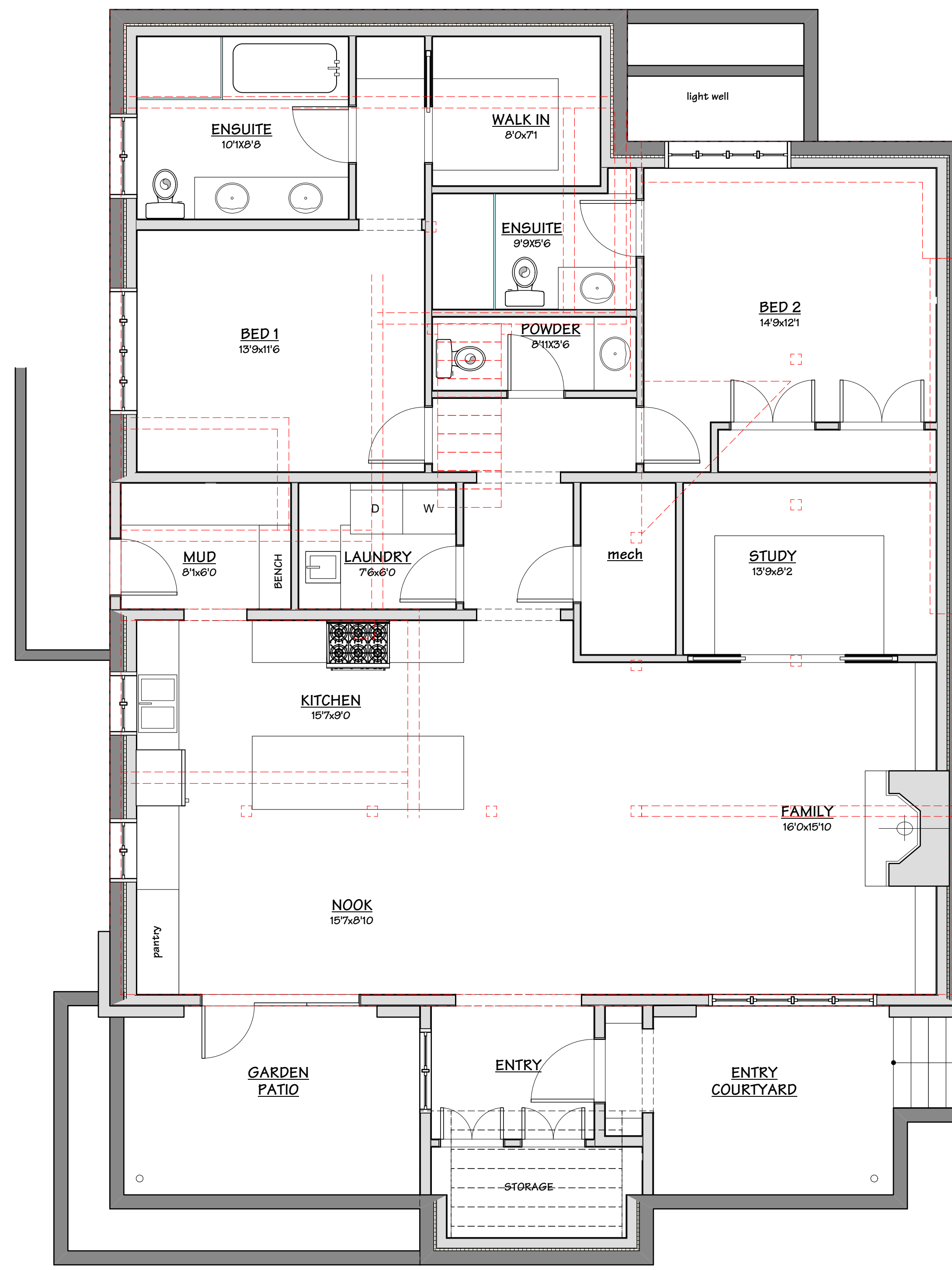
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MAIN FLOOR PLAN



GARDEN SUITE PLAN

VINSON HOUSE STAIR INFO
 STAIRS TO CONFORM WITH 9.8.4.4 BCBC
 MAIN FLOOR TO 2ND FLOOR
 RISER = 7.38
 RUN = 10.0"
 TREAD = 11.0"
 PROVIDE A HANDRAIL TO ONE SIDE OF THE STAIR 36" ABOVE NOSING
 NOTE: ALL EXISTING DIMENSIONS ARE APPROXIMATE. NEW MEASUREMENTS PROVIDED TO BE VERIFIED ON SITE BY CONTRACTOR.

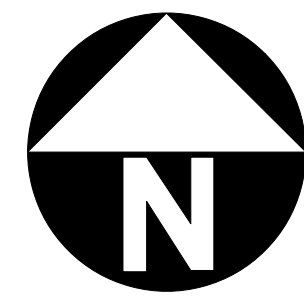
LEGEND	
	NEW WALLS
	REMOVED WALLS
	RETAINED WALLS

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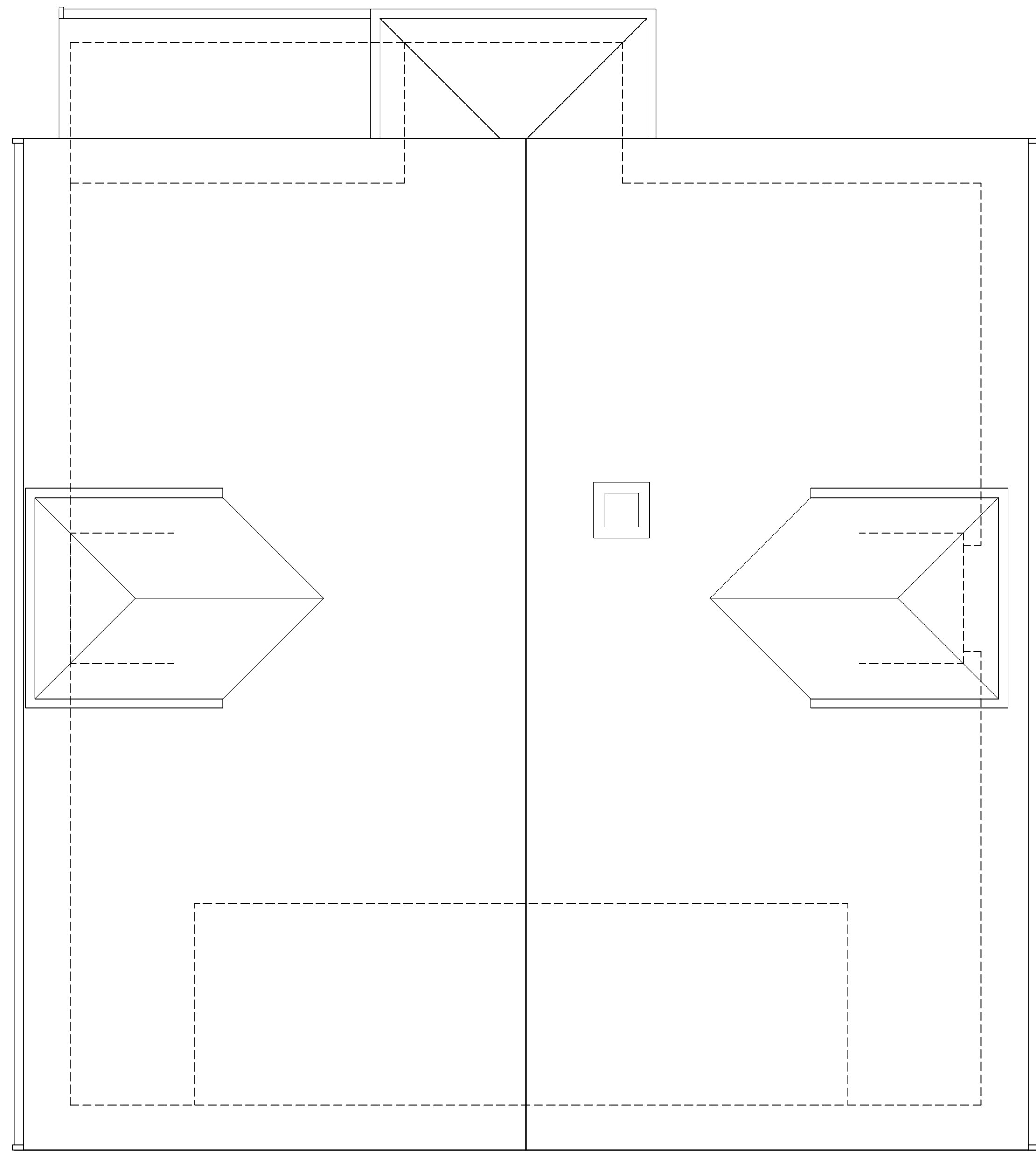
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Drawing Title :
 PRINCIPAL HOUSE PLANS

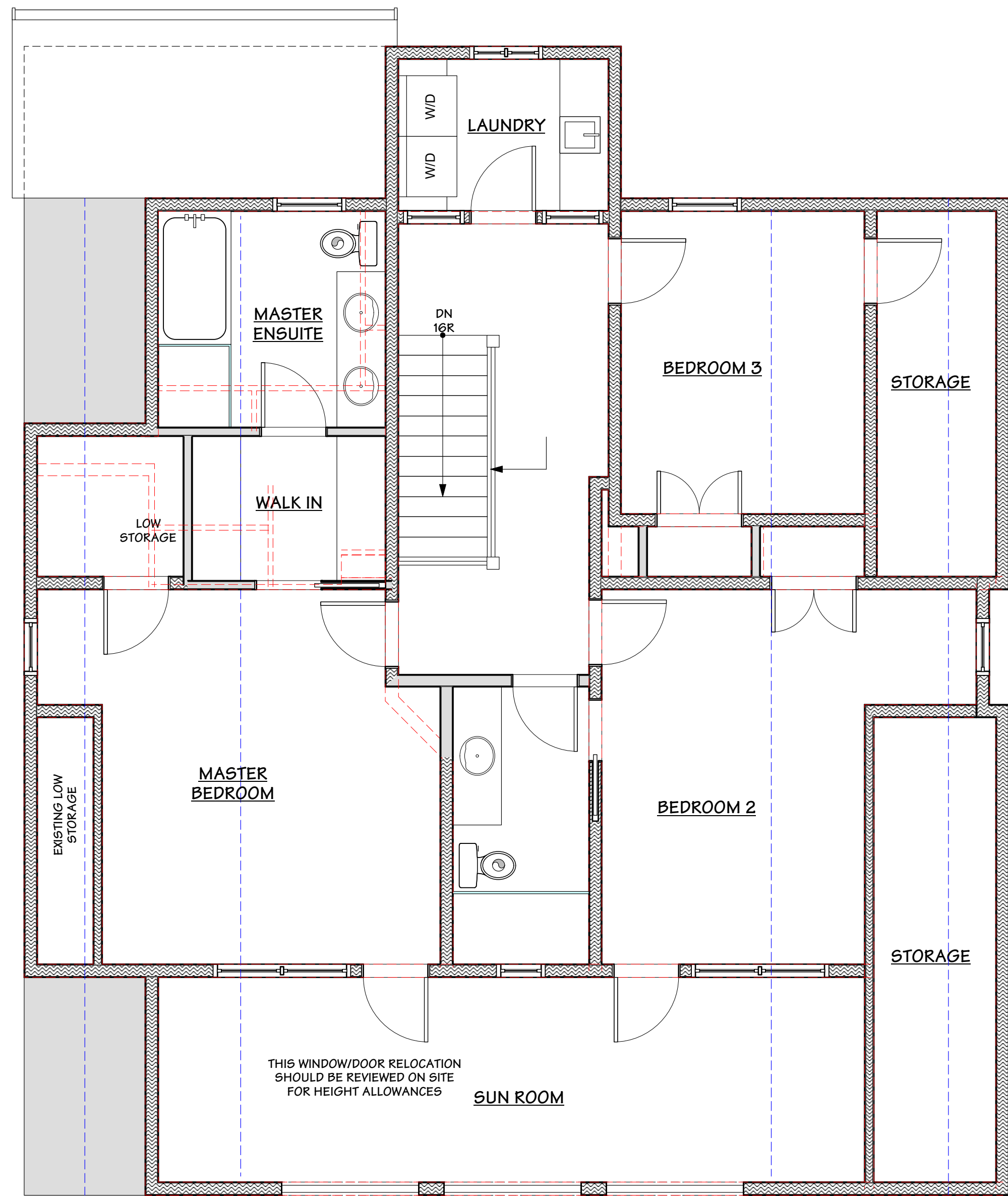
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ROOF PLAN



UPPER FLOOR PLAN

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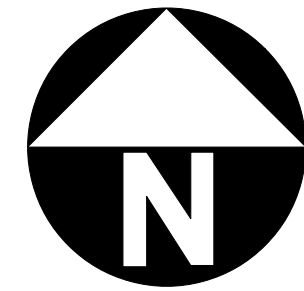
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LEGEND

NEW WALLS	
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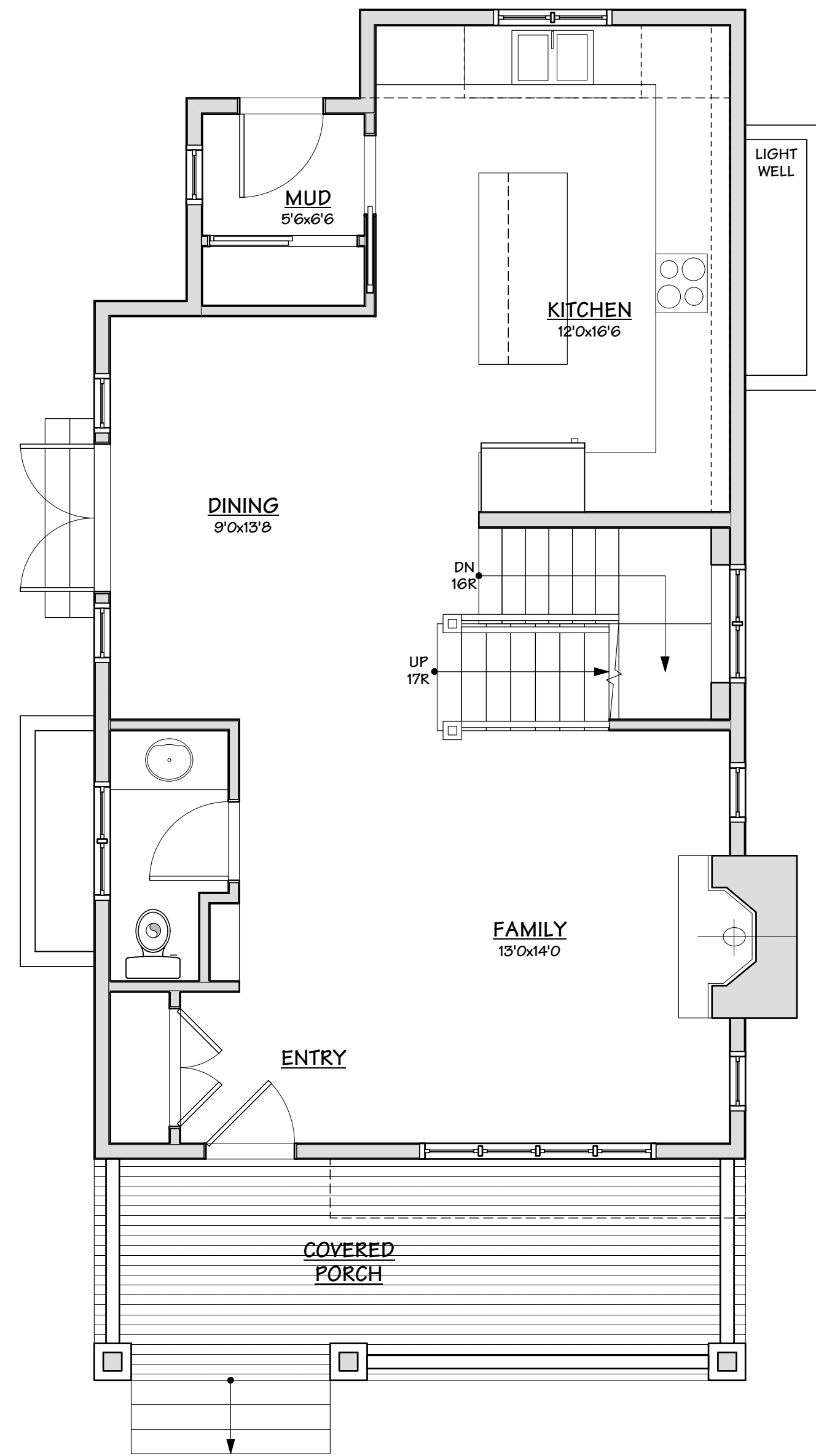
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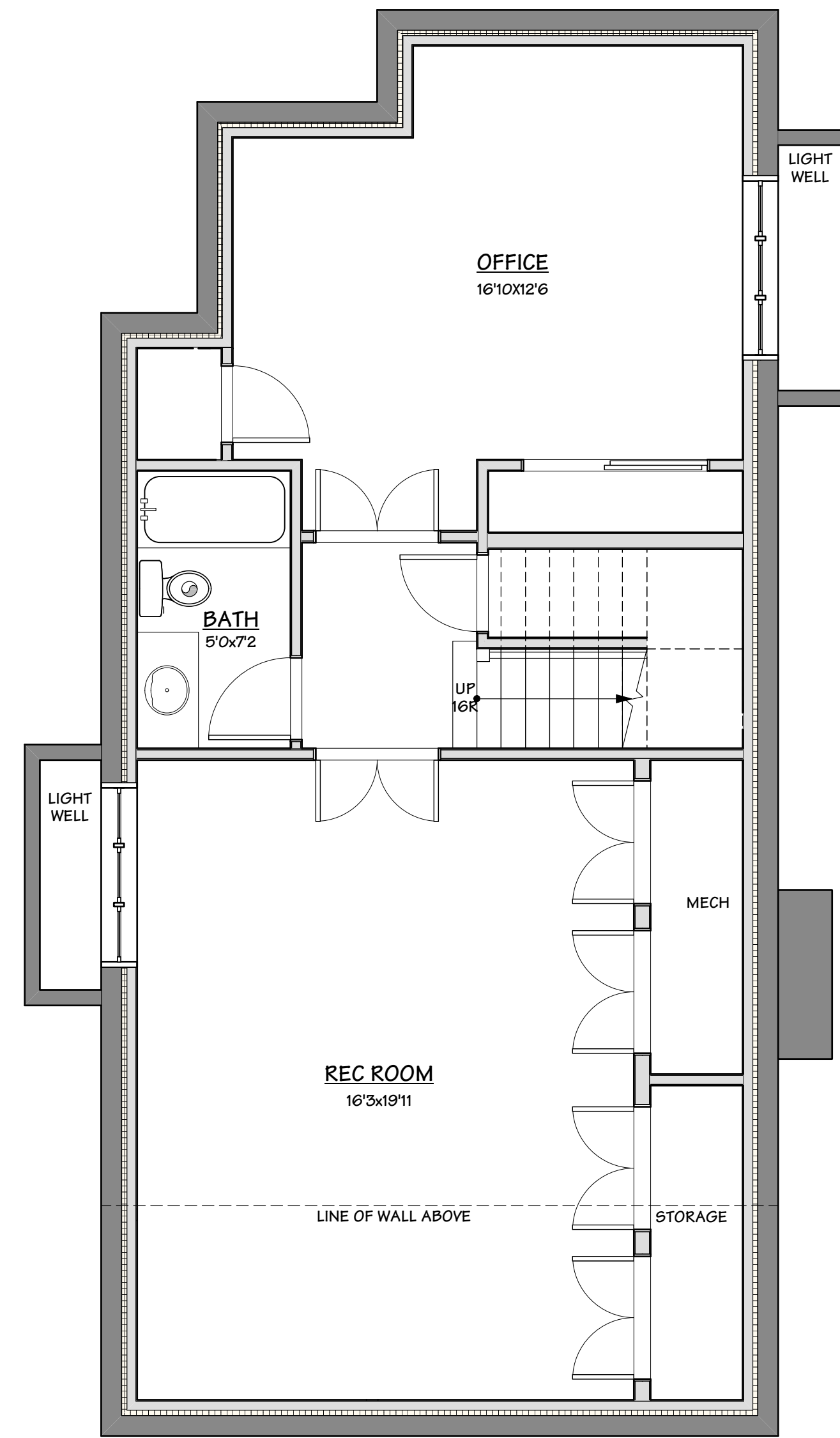
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○ MAIN FLOOR PLAN



○ LOWER PLAN

GARDEN COTTAGE STAIR INFO
STAIRS TO CONFORM WITH 9.5.4.4 BCBC

BASEMENT TO MAIN FLOOR
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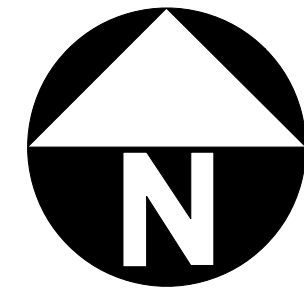
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A 04



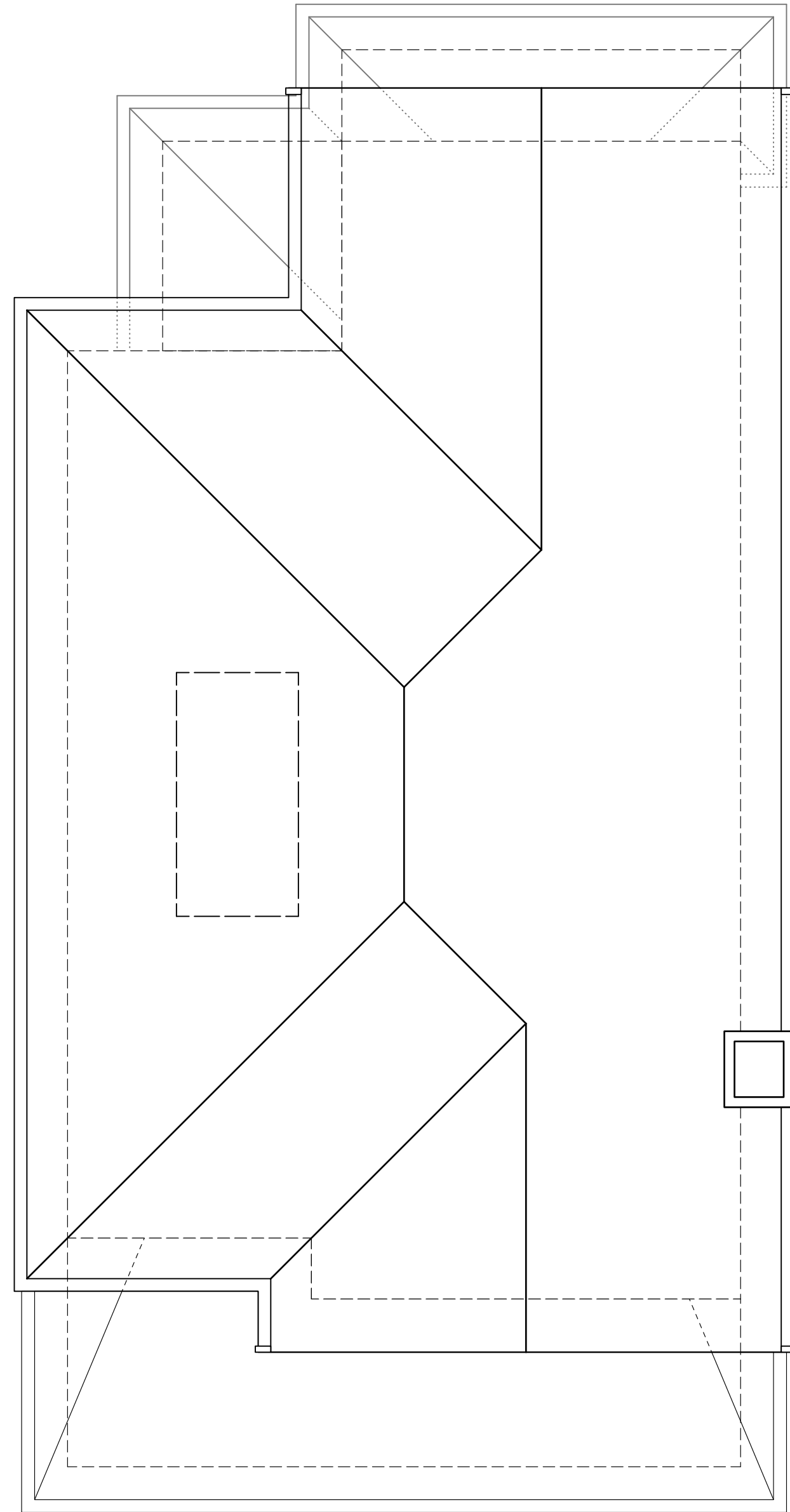
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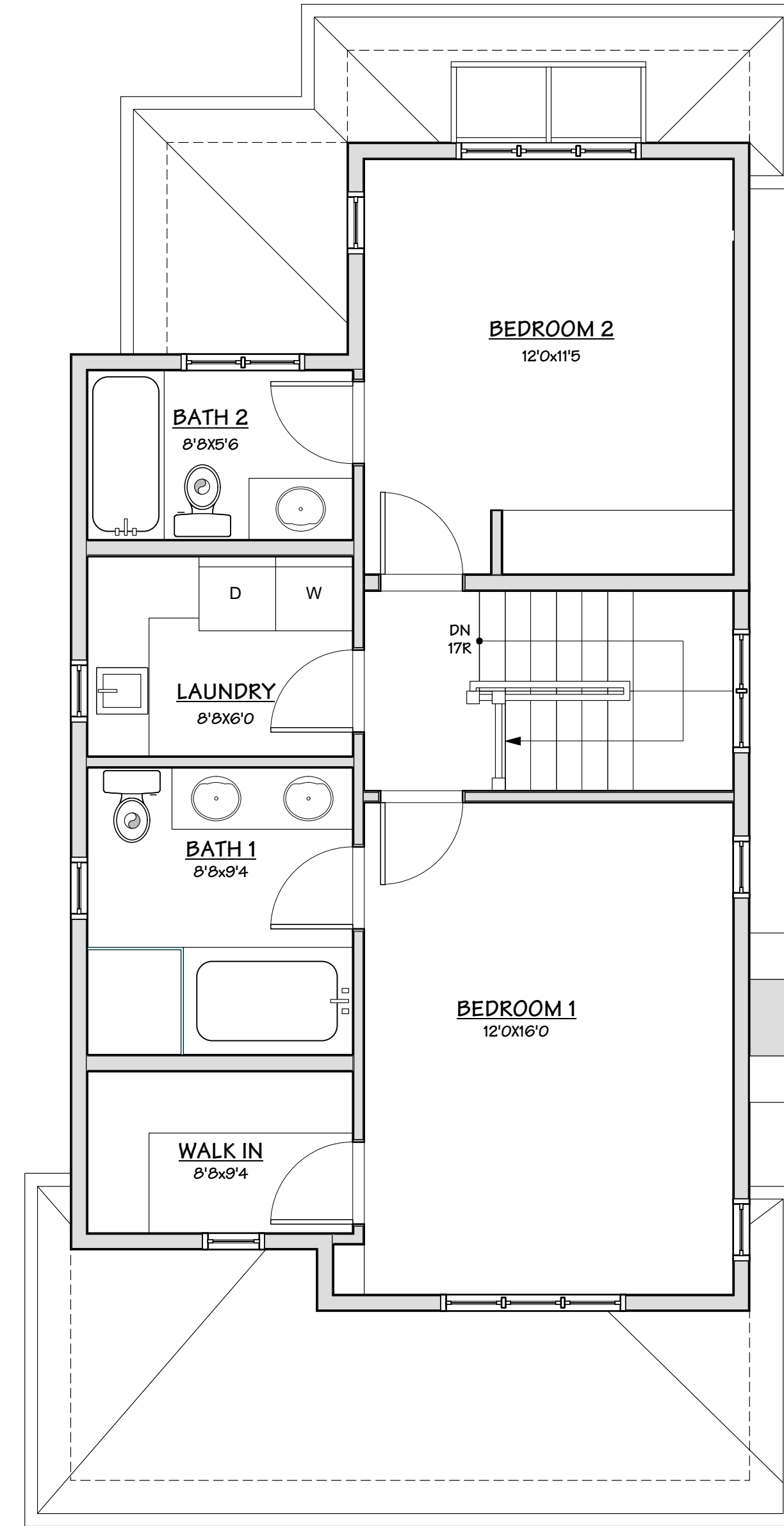
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ROOF PLAN



UPPER FLOOR PLAN

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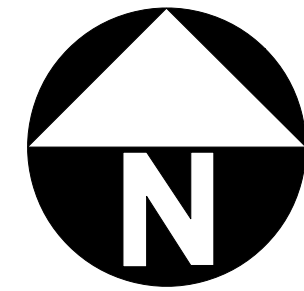
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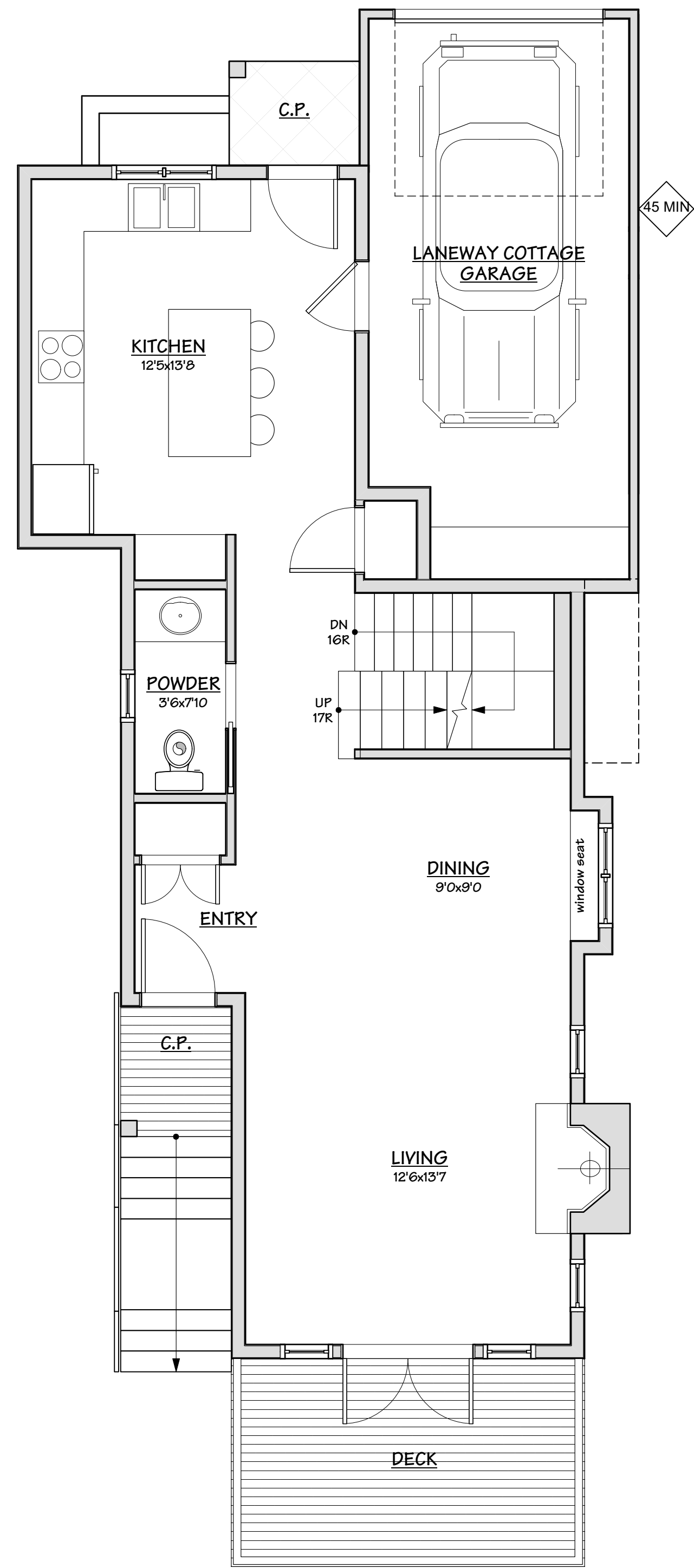
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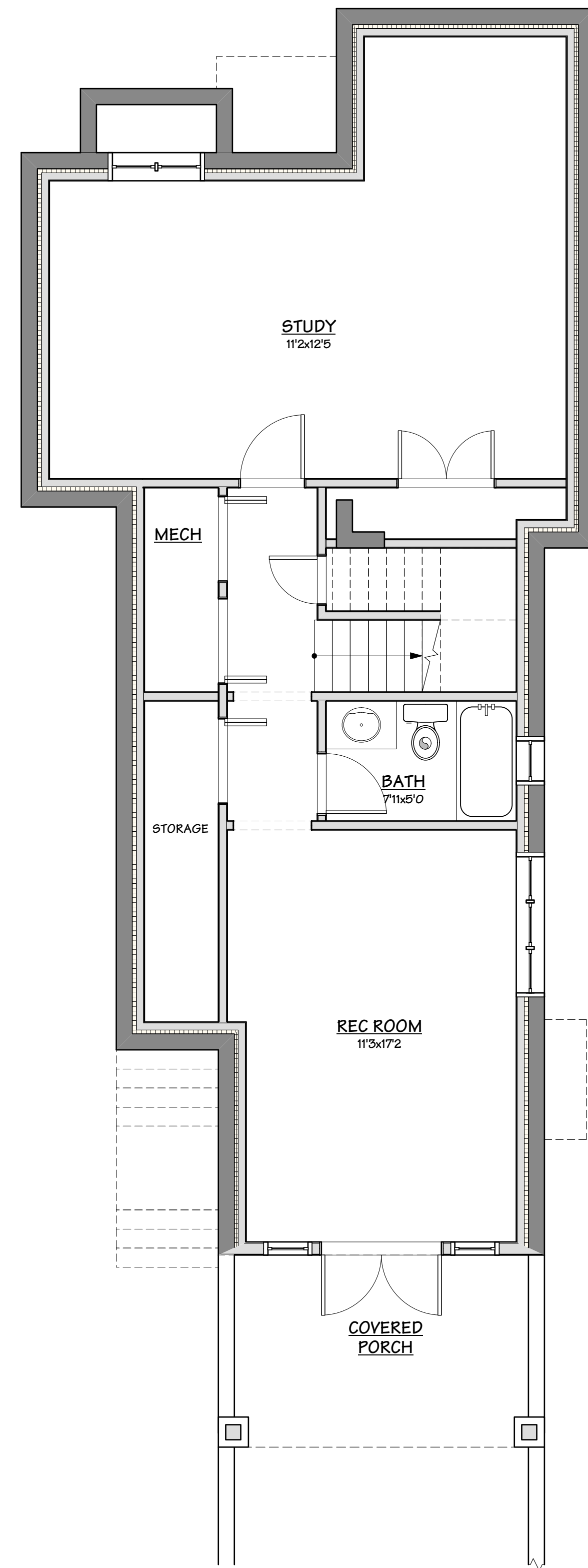
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○ MAIN FLOOR PLAN



○ LOWER PLAN

LANEWAY COTTAGE STAIR INFO
 STAIRS TO CONFORM WITH 9.8.4.4 BCBC
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 PROVIDE A HANDRAIL TO ONE SIDE OF THE STAIR 36" ABOVE NOSING
 MAIN FLOOR TO 2ND FLOOR
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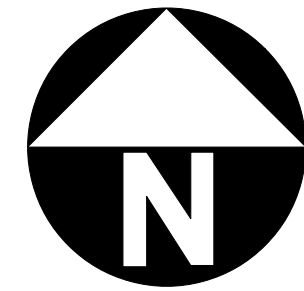
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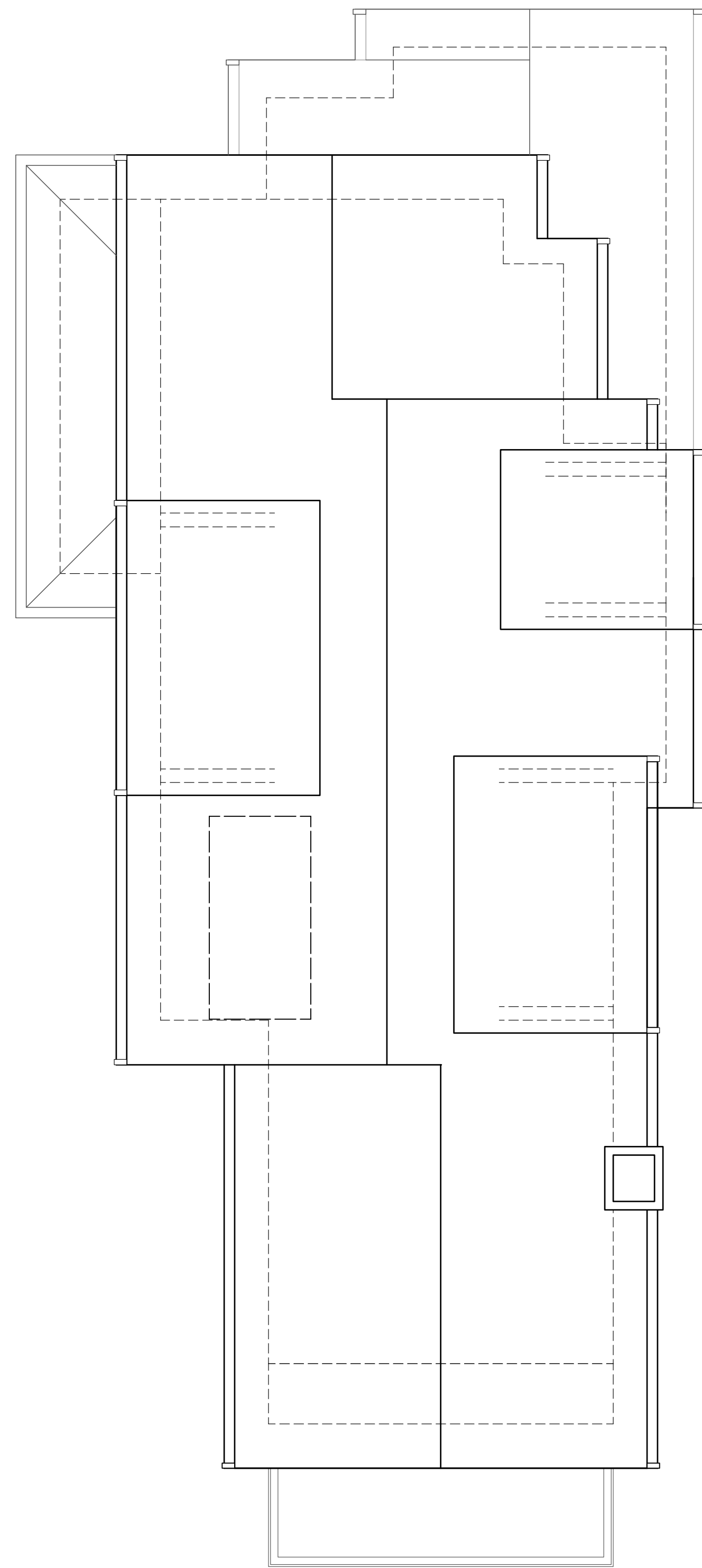
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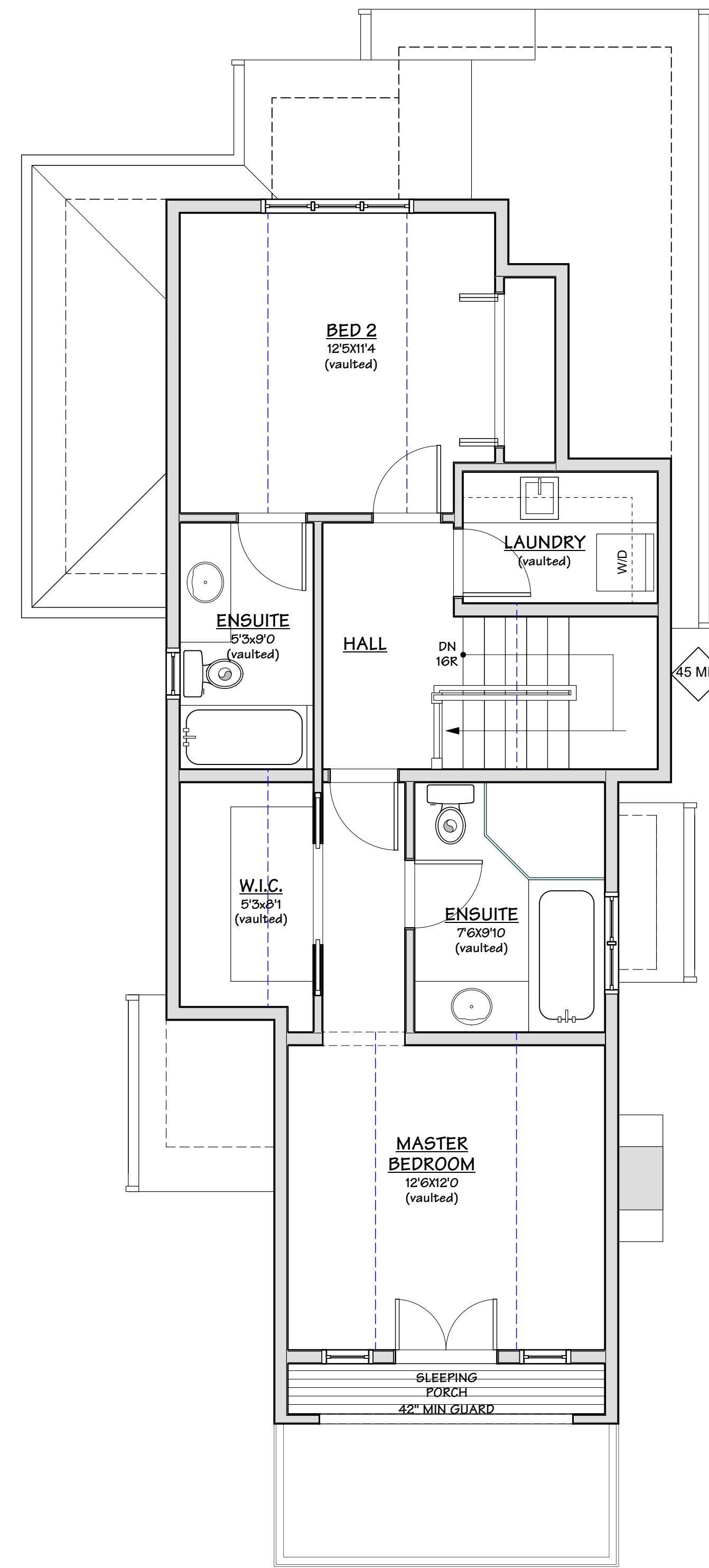
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UPPER FLOOR PLAN

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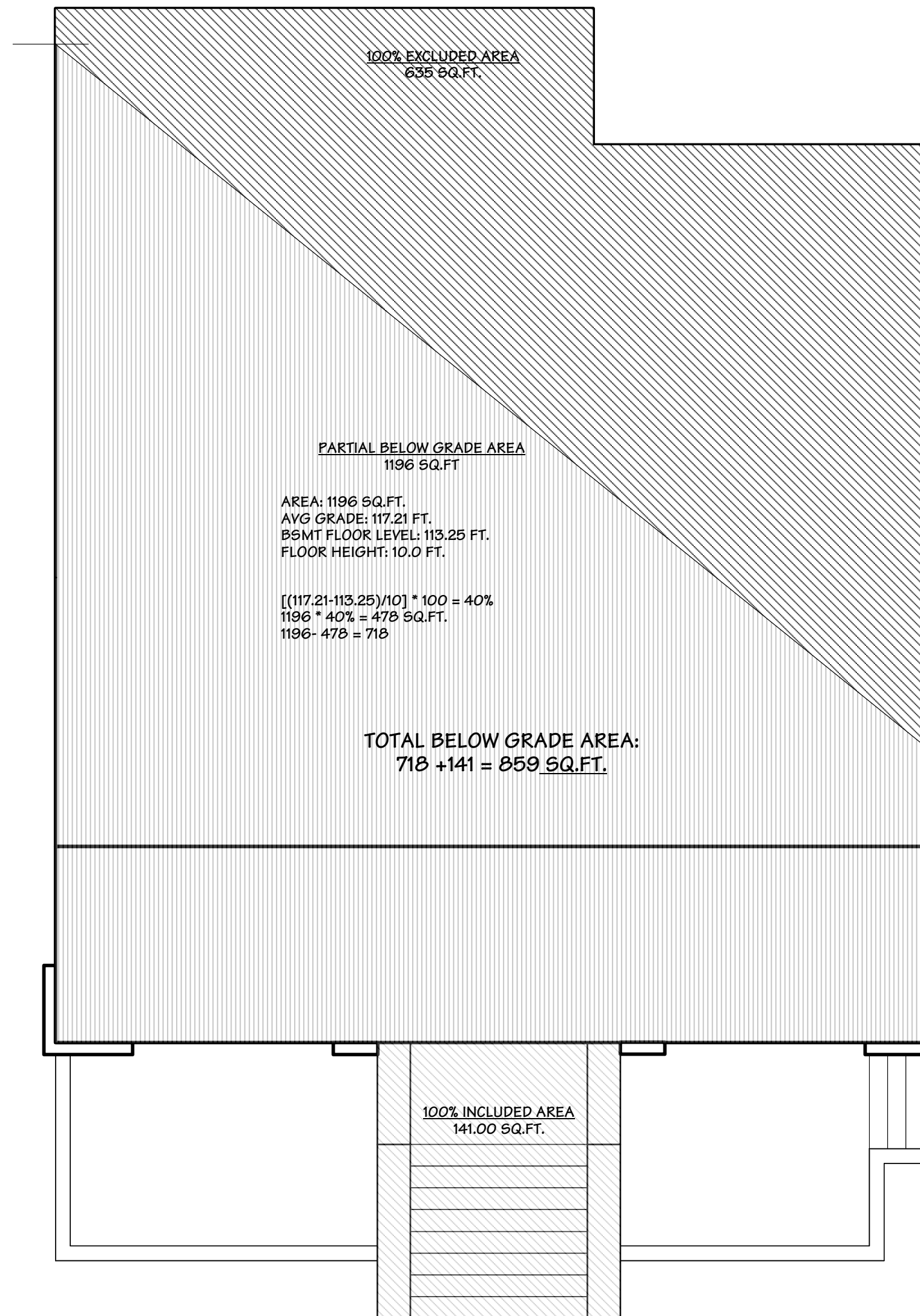
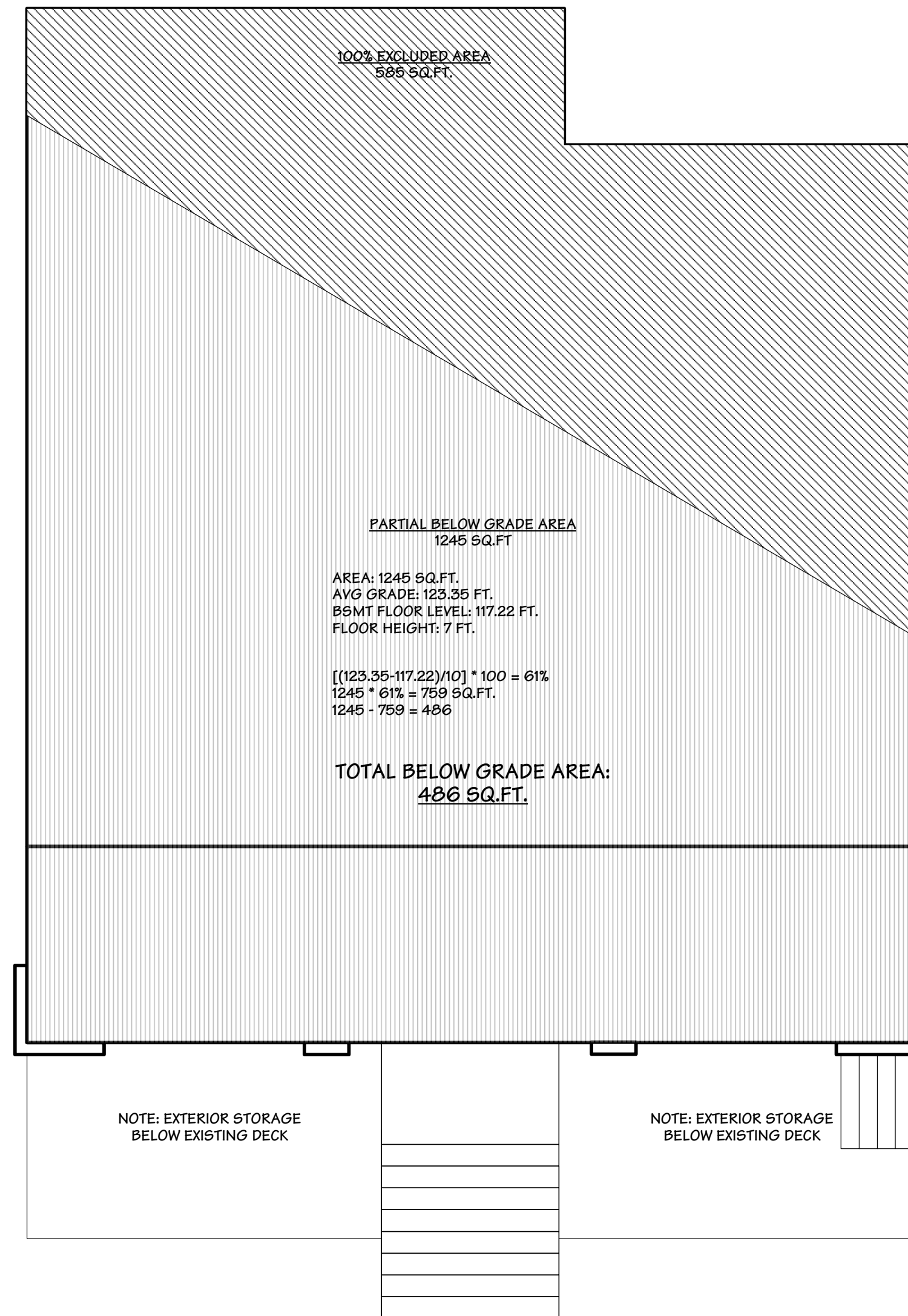
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AVERAGE GRADE: FINISH (VINSON HOUSE)						
POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E
A	124.00	B	124.10	25.00	124.05	3,101.25
B	124.10	C	124.00	6.00	124.05	744.30
C	124.00	D	123.80	15.20	123.90	1,883.28
D	123.80	E	119.30	50.60	121.55	6,150.43
E	119.30	F	119.20	40.15	119.25	4,787.89
F	119.20	G1	120.20	51.52	119.70	6,166.94
G1	120.20	G2	122.70	0.00	121.45	0.00
G2	122.70	A	124.00	4.91	123.35	605.65
TOTAL:				193.36	TOTAL:	23,439.74
				AVG. GRADE:	123.35	
				EXISTING MEAN HEIGHT:	146.04	
				EXISTING HEIGHT:	22.69	

AVERAGE GRADE: FINISH (VINSON HOUSE)						AVERAGE GRADE: EXISTING (VINSON HOUSE)							
POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E	POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E
A1	122.58	B1	122.58	24.67	122.58	3,024.05	A1	119.70	B1	124.22	24.67	121.96	3,008.75
B1	122.58	B2	120.00	0.00	121.29	0.00	B1	124.22	B2	124.22	0.00	124.22	0.00
B2	120.00	C1	120.00	3.17	120.00	360.40	B2	124.22	C1	124.22	3.17	124.22	393.78
C1	120.00	C2	117.25	0.00	118.63	0.00	C1	124.22	C2	124.22	0.00	124.22	0.00
C2	117.25	D	117.25	3.10	117.25	363.48	C2	124.22	D	124.22	3.10	124.22	385.08
D	117.25	E1	117.25	8.43	117.25	988.42	D	124.22	E1	124.22	8.43	124.22	1,047.17
E1	117.25	E2	122.58	0.00	119.92	0.00	E1	124.22	E2	124.22	0.00	124.22	0.00
E2	122.58	F	122.58	7.60	122.58	931.61	E2	124.22	F	121.80	7.60	123.01	934.88
F	122.58	G1	115.33	32.21	118.96	3,831.54	F	121.80	G1	118.00	32.21	119.90	3,861.98
G1	115.33	G2	112.58	0.00	113.96	0.00	G1	118.00	G2	118.00	0.00	118.00	0.00
G2	112.58	H	112.58	14.78	112.58	1,663.93	G2	118.00	H	118.00	14.78	118.00	1,744.04
H	112.58	I	112.58	10.00	112.58	1,125.80	H	118.00	I	117.00	10.00	117.50	1,175.00
I	112.58	I2	114.00	0.00	113.29	0.00	I	117.00	I2	117.00	0.00	117.00	0.00
I2	114.00	J1	114.00	11.14	114.00	1,269.96	I2	117.00	J1	117.00	11.14	117.00	1,303.38
J1	114.00	J2	112.58	0.00	113.29	0.00	J1	117.00	J2	117.00	0.00	117.00	0.00
J2	112.58	K	112.58	10.00	112.58	1,125.80	J2	117.00	K	118.00	10.00	117.50	1,175.00
K	112.58	L1	112.58	14.78	112.58	1,663.93	K	118.00	L1	118.00	14.78	118.00	1,744.04
L1	112.58	L2	115.00	0.00	115.29	0.00	L1	118.00	L2	118.00	0.00	118.00	0.00
L2	115.00	M1	119.50	16.96	118.75	2,014.00	L2	118.00	M1	119.50	16.96	118.75	2,014.00
M1	119.50	M2	113.50	0.00	116.50	0.00	M1	119.50	M2	119.50	0.00	119.50	0.00
M2	113.50	A2	121.00	30.50	117.25	3,576.13	M2	119.50	A2	119.70	30.50	119.60	3,647.80
A2	121.00	A1	122.58	0.00	121.79	0.00	A2	119.70	A1	119.70	0.00	119.70	0.00
TOTAL:				187.34	TOTAL:	21,959.04	TOTAL:				187.34	TOTAL:	22,434.90
				AVG. GRADE:	117.21					AVG. GRADE:	119.76		
				PROPOSED MEAN HEIGHT:	144.91					PROPOSED ROOF PEAK:	149.90		
				TOTAL HEIGHT:	27.70					TOTAL HEIGHT:	30.14		

HEIGHT SUMMARY

	PRINCIPAL (EXISTING)	PRINCIPAL (PROPOSED)	GARDEN COTTAGE	LANEWAY COTTAGE
ROOF RIDGE	149.7 ft.	148.75 ft.	141.22 ft.	148.99 ft.
AVERAGE GRADE	123.35 ft.	117.21 ft.	114.05 ft.	122.62 ft.
CALCULATED HEIGHT	22.52 ft.	27.70 ft.	23.56 ft.	24.38 ft.
ALLOWABLE BUILDING FACE	22.00 ft.	34.34 ft.	26.50 ft.	27.63 ft.
PROPOSED BUILDING FACE	26.50 ft.	31.92 ft.	25.38 ft.	23.17 ft.

Project :

1425 GORDON AVE
WEST VANCOUVER, B.C.

Drawing Title :

AVERAGE GRADE CALCULATIONS

DRAWN BY: MM

CHECKED BY:

SCALE: 1/8" = 1'0"

SHEET

DATE: MARCH 2016

JOB NUMBER: 4031

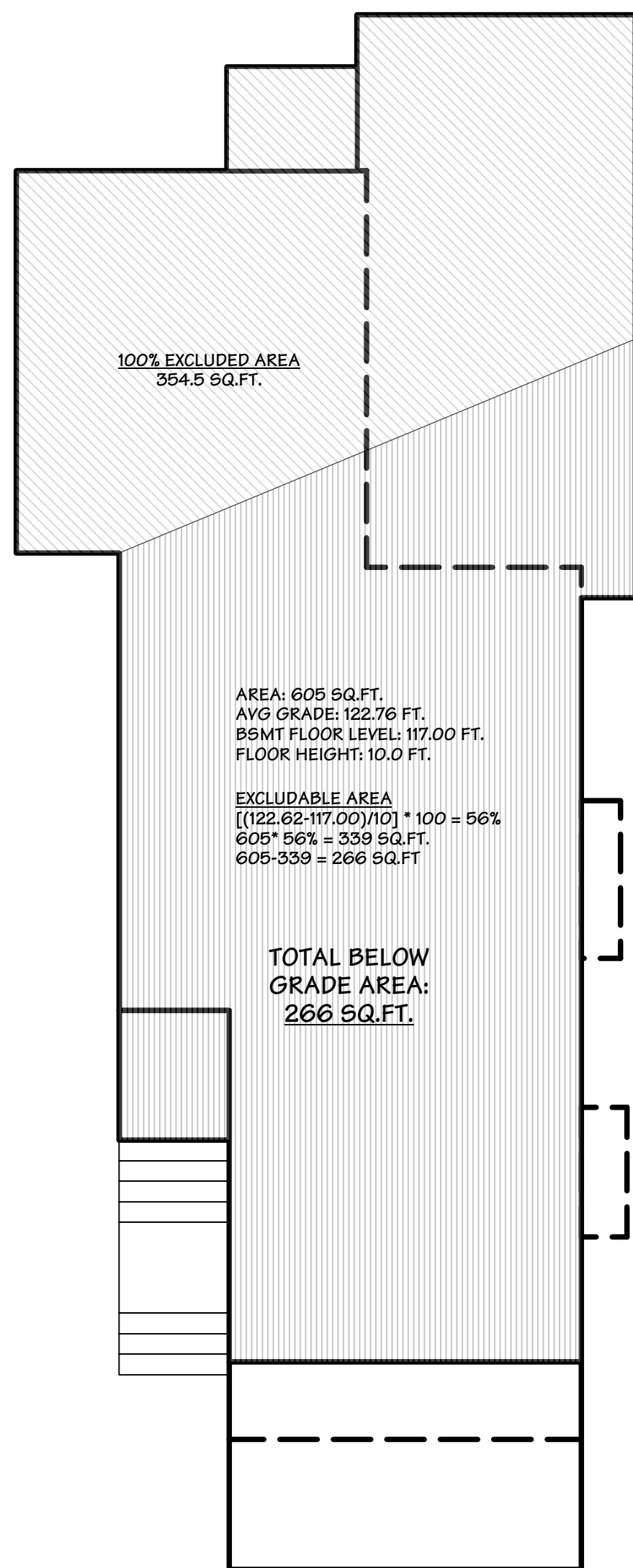
A 08.a

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REVISIONS

ISSUED FOR...

CLIENT REVIEW JUNE 2015
 CLIENT REVIEW JULY 2015
 CLIENT REVIEW AUG 2015
 RFP OCT 2015
 DISTRICT REVIEW OCT 2015
 DE/HRA APP NOV 2015
 DE Re-APP DEC 2015
 HRA APP 16.04.01

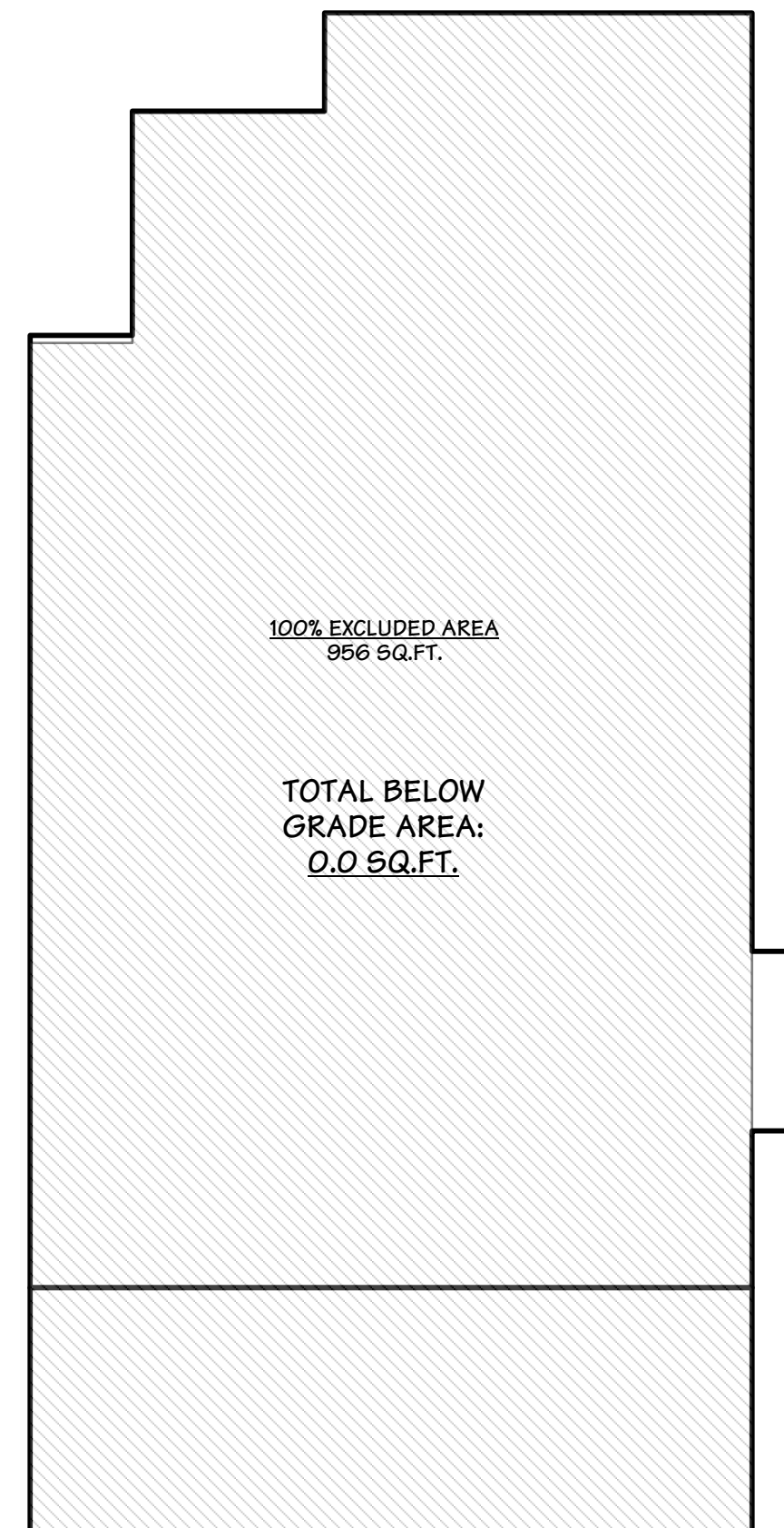


AVERAGE GRADE: FINISHED (LANEWAY COTTAGE)

POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E
A	126.00	B	126.50	8.13	126.25	1,026.41
B	126.50	C	126.50	4.00	126.50	506.00
C	126.50	D	126.50	5.00	126.50	632.50
D	126.50	E	126.50	2.00	126.50	253.00
E	126.50	F	126.50	10.75	126.50	1,359.00
F	126.50	G	122.00	22.46	124.25	2,790.66
G	122.00	H	122.00	2.08	122.00	253.76
H	122.00	I	121.00	37.46	121.50	4,551.59
I	121.00	J	116.33	0.00	118.67	0.00
J	116.33	K	116.33	13.58	116.33	1,579.76
K	116.33	L	120.88	0.00	118.61	0.00
L	120.88	M	120.88	7.50	120.88	906.60
M	120.88	N	123.50	4.25	122.88	513.74
N	123.50	A	123.50	31.67	122.19	3,869.76
A	123.50	B	123.50	3.96	123.50	489.06
B	123.50	A	126.00	14.75	124.75	1,840.06
TOTAL:				167.59	TOTAL:	20,572.57
AVERAGE GRADE:					122.76	
PROPOSED MEAN HEIGHT:					147.00	
TOTAL HEIGHT:					24.24	

AVERAGE GRADE: EXISTING (LANEWAY COTTAGE)

POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E
A	123.80	B	125.80	8.13	124.85	1,015.03
B	125.80	C	125.80	4.00	125.80	503.20
C	125.80	D	126.50	5.00	126.15	630.75
D	126.50	E	126.50	2.00	126.50	253.00
E	126.50	F	123.00	10.75	125.55	1,360.41
F	126.60	G	123.00	22.46	124.80	2,803.01
G	123.00	H	121.90	2.08	122.45	254.70
H	121.90	I	120.00	37.46	120.95	4,530.79
I	120.00	J	120.00	0.00	120.00	0.00
J	120.00	K	119.75	15.58	119.88	1,627.90
K	119.75	L	119.75	0.00	119.75	0.00
L	119.75	M	120.00	7.50	119.88	899.06
M	120.00	N	120.30	4.25	120.15	510.64
N	120.30	A	123.00	31.67	121.65	3,852.66
A	123.00	B	123.00	3.96	123.00	487.08
B	123.00	A	123.90	14.75	123.45	1,820.89
TOTAL:				167.59	TOTAL:	20,549.11
AVERAGE GRADE:					122.62	
PROPOSED MEAN HEIGHT:					147.00	
TOTAL HEIGHT:					24.38	



AVERAGE GRADE: FINISHED (GARDEN COTTAGE)

POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E
A	115.33	B	115.33	5.88	115.33	678.14
B	115.33	C	115.33	3.00	115.33	345.99
C	115.33	D	115.33	13.08	115.33	1,508.52
D	115.33	E	117.00	0.00	116.17	0.00
E	117.00	F	117.00	4.42	117.00	517.14
F	117.00	G	110.00	0.00	113.50	0.00
G	110.00	H	110.00	8.00	110.00	880.00
H	110.00	I	116.00	0.00	113.00	0.00
I	116.00	J	113.75	32.58	114.88	3,742.63
J	113.75	K	113.53	22.08	113.64	2,509.17
K	113.53	L	114.33	14.03	113.93	1,598.44
L	114.33	M	110.00	0.00	112.17	0.00
M	110.00	N	110.00	8.50	110.00	935.00
N	110.00	O	114.33	0.00	112.17	0.00
O	114.33	P	114.33	14.08	114.33	1,609.77
P	114.33	Q	114.33	3.12	114.33	356.71
Q	114.33	R	114.33	6.88	114.33	790.03
TOTAL:				135.65	TOTAL:	15,471.53
AVERAGE GRADE:					114.05	
PROPOSED MEAN HEIGHT:					137.61	
TOTAL HEIGHT:					23.56	

AVERAGE GRADE: EXISTING (GARDEN COTTAGE)

POINT	ELEVATION	POINT	ELEVATION	DISTANCE (D)	AVG. ELEV. (E)	D x E
A	117.25	B	117.25	5.88	117.25	689.43
B	117.25	C	117.50	3.00	117.38	352.13
C	117.50	D	117.50	13.08	117.50	1,536.90
D	117.50	E	117.50	0.00	117.50	0.00
E	117.50	F	117.00	4.42	117.25	519.25
F	117.00	G	110.00	0.00	113.50	0.00
G	110.00	H	110.00	8.00	110.00	880.00
H	110.00	I	116.00	0.00	113.00	0.00
I	116.00	J	113.75	32.58	114.88	3,742.63
J	113.75	K	113.80	22.08	113.78	2,512.15
K	113.80	L	114.50	14.03	114.15	1,601.52
L	114.50	M	114.50	0.00	114.50	0.00
M	114.50	N	115.00	8.50	114.75	975.38
N	115.00	O	115.00	0.00	115.00	0.00
O	115.00	P	116.50	14.08	115.78	1,629.76
P	116.50	Q	116.50	3.12	116.50	363.48
Q	116.50	R	117.25	6.88	116.88	804.10
TOTAL:				135.65	TOTAL:	15,605.72
AVERAGE GRADE:					115.04	
PROPOSED MEAN HEIGHT:					137.61	
TOTAL HEIGHT:					22.57	

Project :

 1425 GORDON AVE
 WEST VANCOUVER, B.C.

Drawing Title :

 AVERAGE GRADE CALCULATIONS

DRAWN BY: MM CHECKED BY:

SCALE: 1/8" = 10" SHEET

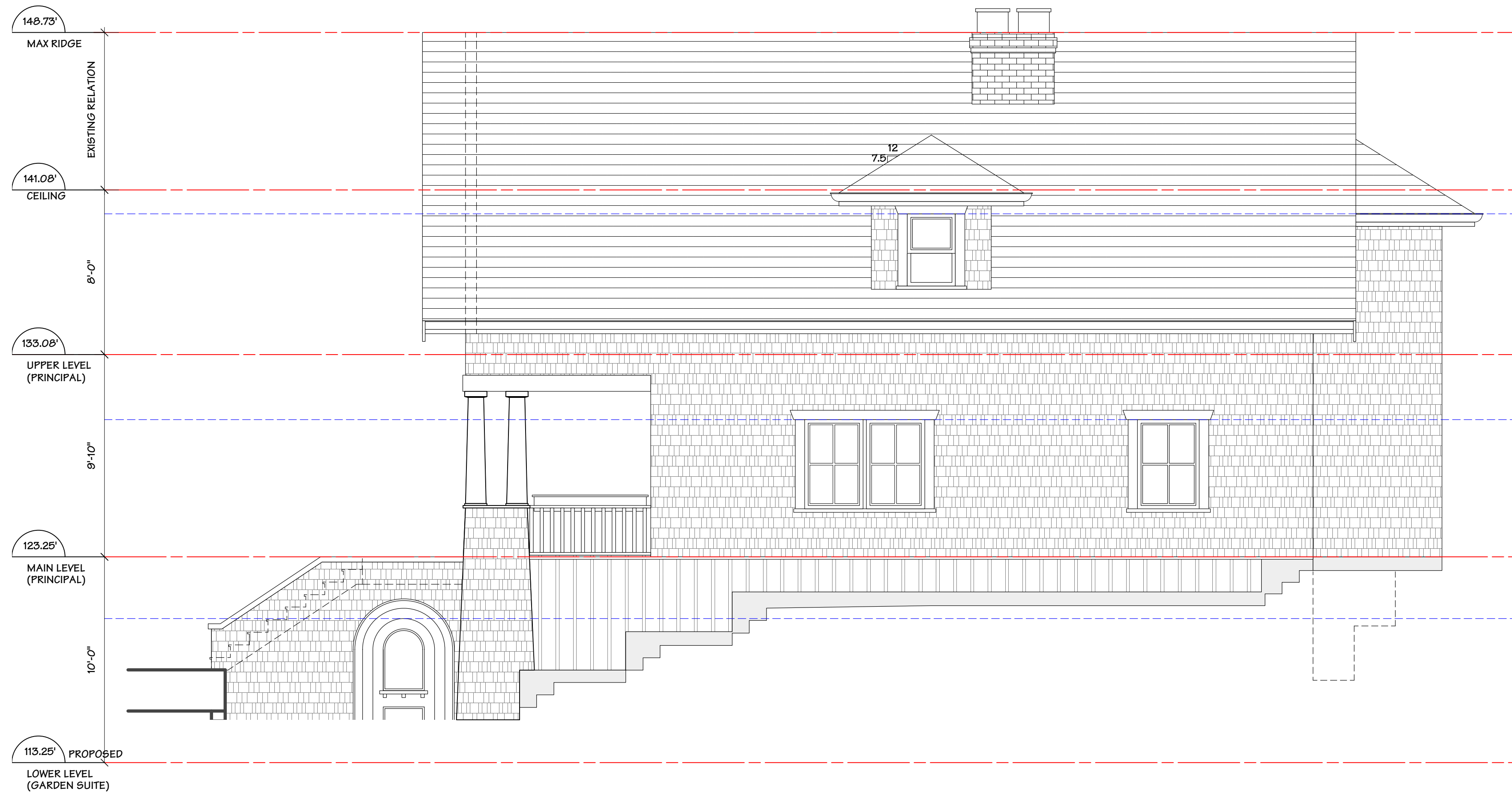
DATE: MARCH 2016

JOB NUMBER: 4031

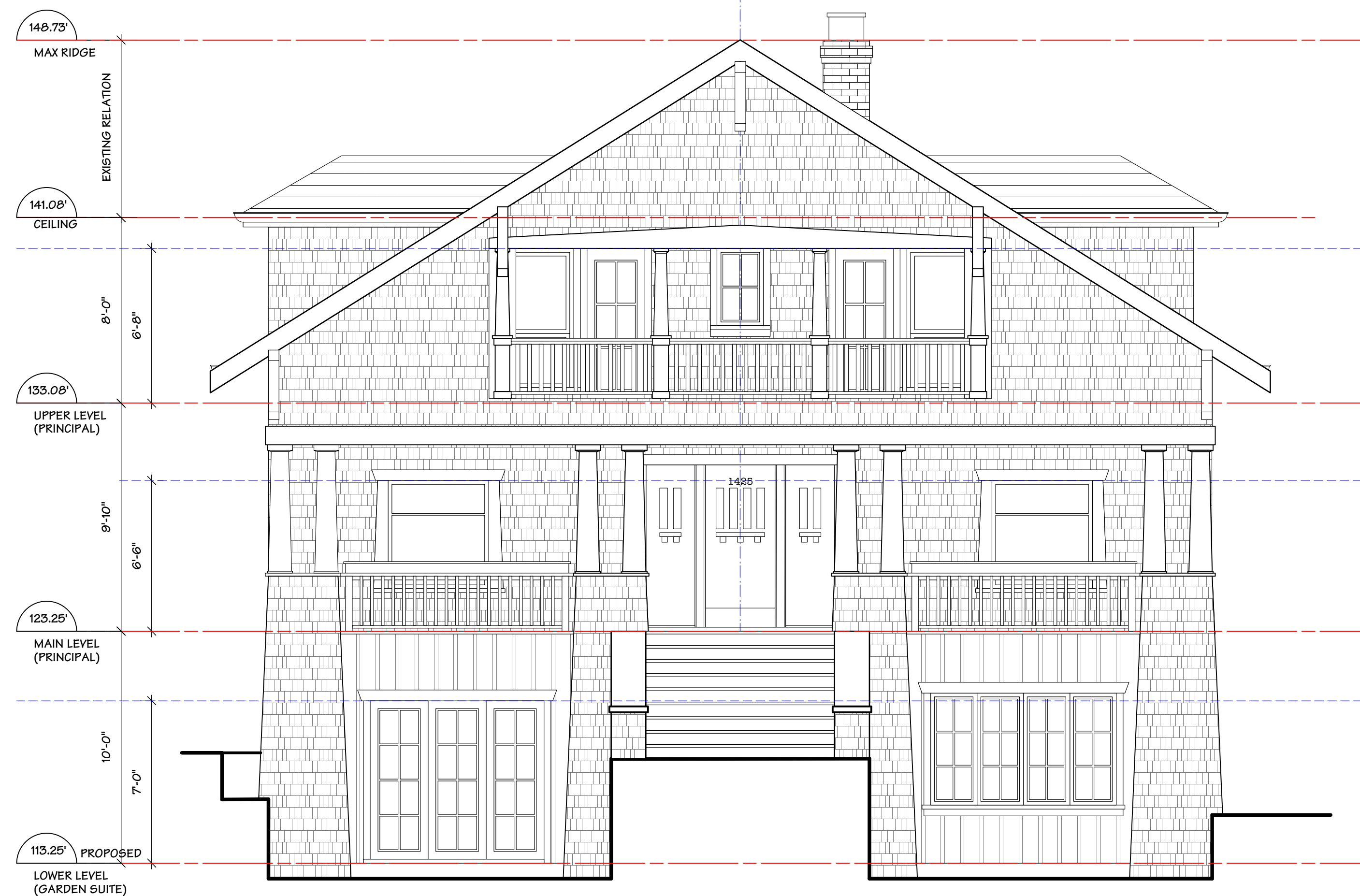
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HEIGHT SUMMARY

	PRINCIPAL (EXISTING)	PRINCIPAL (PROPOSED)	GARDEN COTTAGE	LANEWAY COTTAGE
ROOF RIDGE	149.7 ft.	148.75 ft.	141.22 ft.	148.99 ft.
AVERAGE GRADE	123.35 ft.	117.21 ft.	114.05 ft.	122.62 ft.
CALCULATED HEIGHT	22.52 ft.	27.70 ft.	23.56 ft.	24.38 ft.
ALLOWABLE BUILDING FACE	22.00 ft.	34.34 ft.	26.50 ft.	27.63 ft.
PROPOSED BUILDING FACE	26.50 ft.	31.92 ft.	25.38 ft.	23.17 ft.



EAST ELEVATION



SOUTH ELEVATION



HASTINGS RED (BM - VC-30)
-CEDAR WALL SHINGLE
-HARDI SHINGLE
-VERTICAL BATTE



OXFORD IVORY (BM - VC-1)
-WINDOWS
-WOOD DETAILING
(WINDOW FRAMESTRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS, RAILINGS)



GLOSS BLACK (BM - VC-35)
-WINDOW SASH

FINISH SCHEDULE: PRINCIPAL

- 1 ASPHALT ROOF SHINGLES
- 2 2X10 BARGEBOARD
- 3 5" CONTINUOUS METAL GUTTER ON 2X8 FASCIA
- 4 HARDI BOARD AND BATTEN
- 5 CEDAR SIDEWALL SHINGLES
- 6 **HARDI SHINGLE SIDING**
- 7 WOOD WINDOWS c.w. 2X6 TRIM
- 8 WOOD DOORS
- 9 WOOD RAILINGS
- 10 WOOD COLUMNS
- 11 WOOD BRACKETS
- 12 WOOD STAIRS
- 13 BRICK
- 14 WOOD PARAPET CAP
- 15 WOOD PLANTER BOX
- 16 CONCRETE CHIMNEY BOX

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REVISIONS

ISSUED FOR...

CLIENT REVIEW	JUNE 2015
CLIENT REVIEW	JULY 2015
CLIENT REVIEW	AUG 2015
RFP	OCT 2015
DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01

FORMWERKS ARCHITECTURAL

INCORPORATED

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :

1425 GORDON AVE
WEST VANCOUVER, B.C.

Drawing Title :

PRINCIPAL HOUSE ELEVATIONS

DRAWN BY: MM

CHECKED BY:

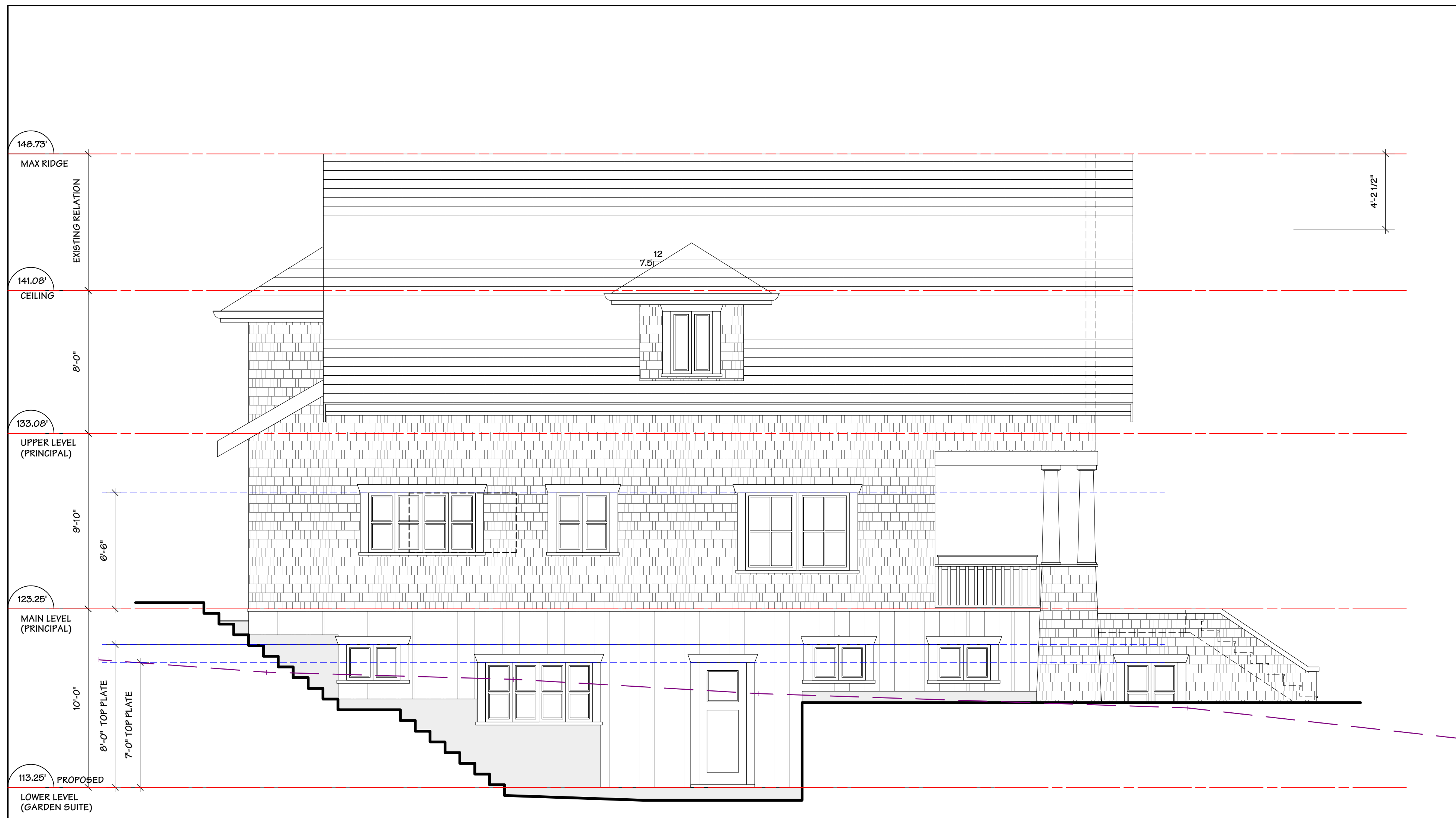
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SHEET

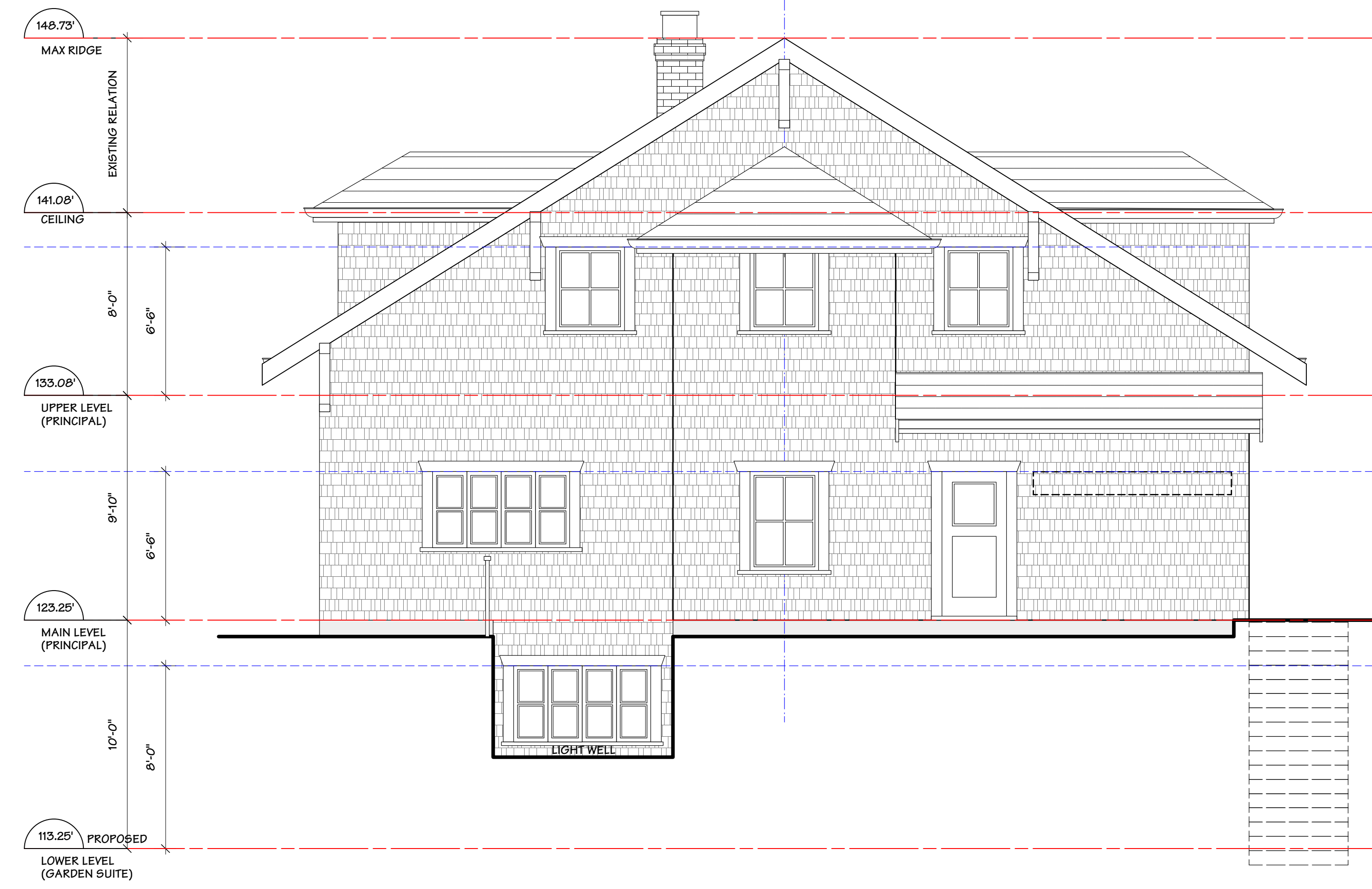
DATE: MARCH 2016

JOB NUMBER: 4031

A 09



WEST ELEVATION



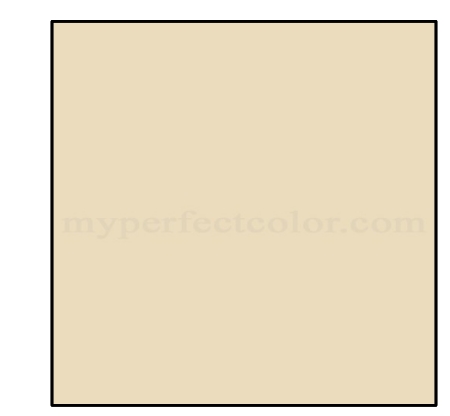
NORTH ELEVATION

FINISH SCHEDULE: PRINCIPAL

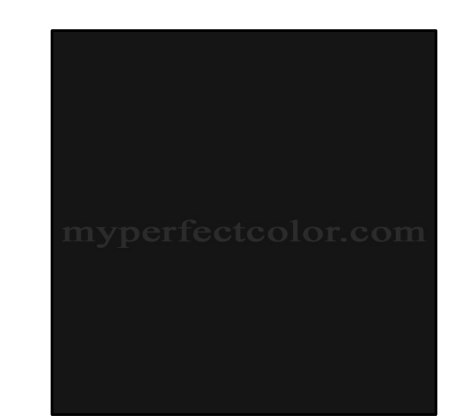
- 1 ASPHALT ROOF SHINGLES
- 2 2X10 BARGEBOARD
- 3 5" CONTINUOUS METAL GUTTER ON 2X8 FASCIA
- 4 HARDI BOARD AND BATTEN
- 5 CEDAR SIDEWALL SHINGLES
- 6 **HARDI SHINGLE SIDING**
- 7 WOOD WINDOWS c.w. 2X6 TRIM
- 8 WOOD DOORS
- 9 WOOD RAILINGS
- 10 WOOD COLUMNS
- 11 WOOD BRACKETS
- 12 WOOD STAIRS
- 13 BRICK
- 14 WOOD PARAPET CAP
- 15 WOOD PLANTER BOX
- 16 CONCRETE CHIMNEY BOX



HASTINGS RED (BM-VC-30)
-CEDAR WALL SHINGLE
-HARDI SHINGLE
-VERTICAL BATTE



OXFORD IVORY (BM-VC-1)
-WINDOWS
-WOOD DETAILING
(WINDOW FRAMESTRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS, RAILINGS)



GLOSS BLACK (BM-VC-39)
-WINDOW SASH

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DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01

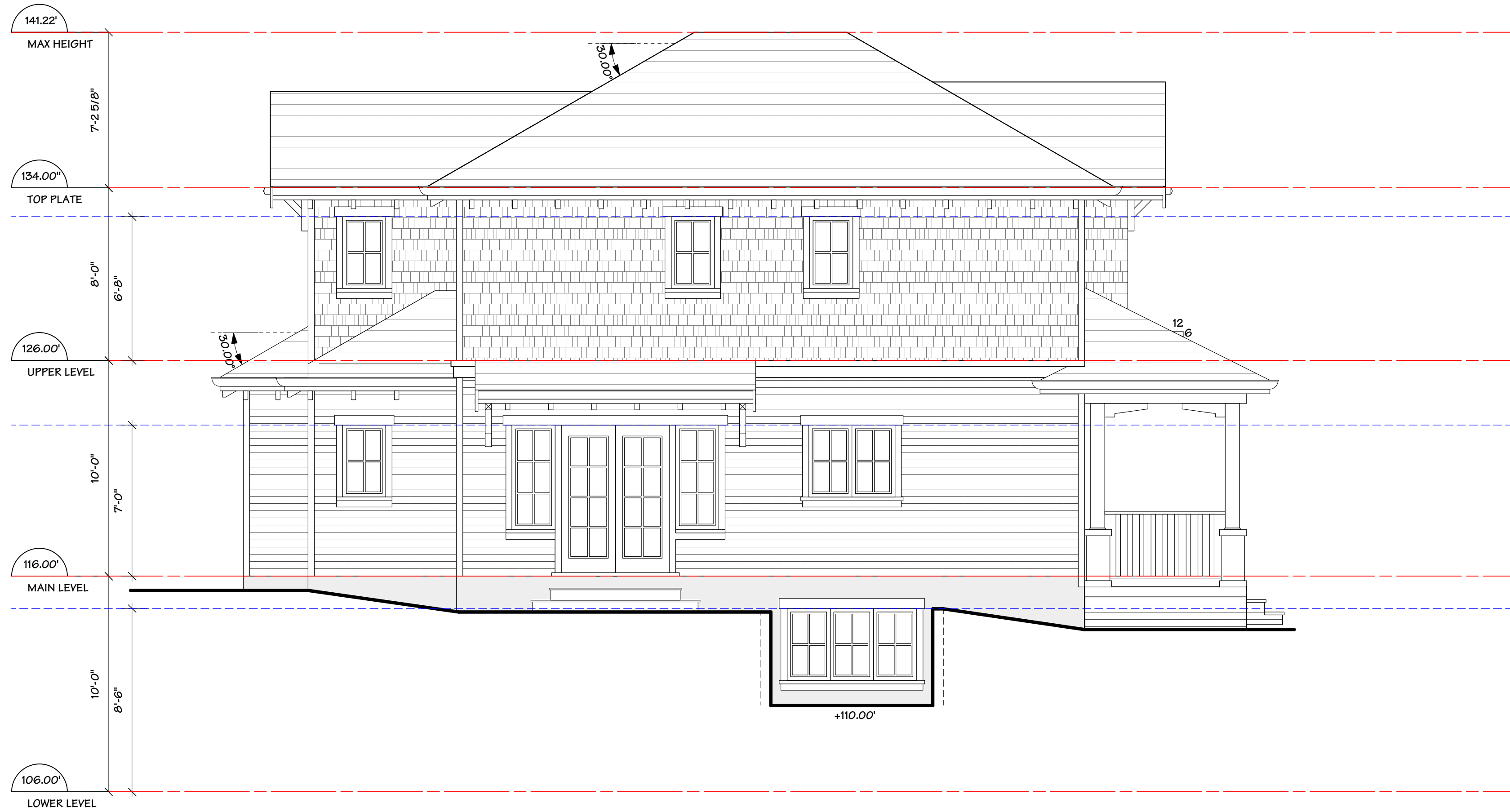
FORMWERKS ARCHITECTURAL
I N C O R P O R A T E D

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

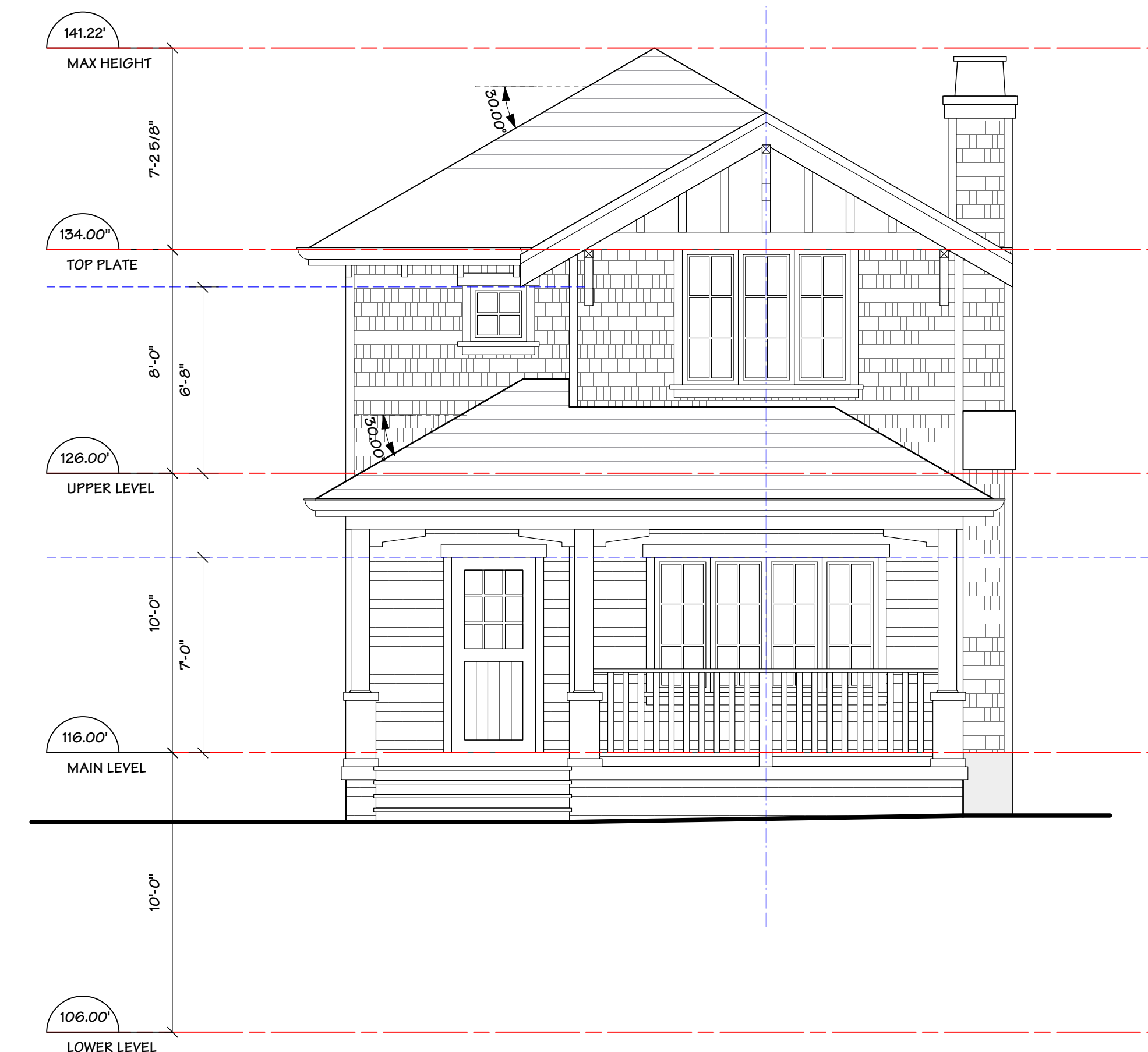
Project :
**1425 GORDON AVE
WEST VANCOUVER, B.C.**

Drawing Title :
PRINCIPAL HOUSE ELEVATIONS

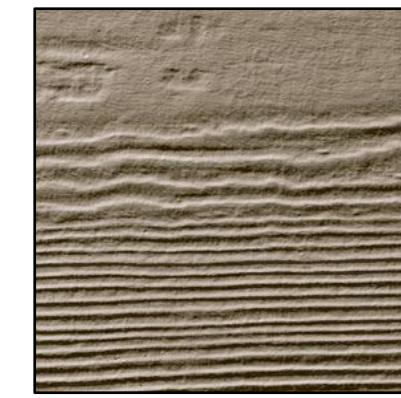
DRAWN BY: MM	CHECKED BY:
SCALE: 1/4" = 1'0"	SHEET
DATE: MARCH 2016	A 10
JOB NUMBER: 4031	



WEST ELEVATION



SOUTH ELEVATION



KHAKI BROWN (JAMES HARDI)
-HARDI SHINGLES
-HORIZONTAL SIDING



COBBLESTONE (JAMES HARDI)
-WOOD DETAILING
(TRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS, RAILINGS)

FINISH SCHEDULE: GARDEN & L.W. COTTAGE

- 1 ASPHALT ROOF SHINGLES
- 2 2X10 BARGEBOARD W/ 1X4 TRIM
- 3 5" CONTINUOUS METAL GUTTER ON 2X8 FASCIA
- 4 HARDI SHINGLE SIDING
- 5 HARDI HORIZONTAL SIDING
- 6 VINYL WINDOWS c.w. 2x4 TRIM, 2X6 HEAD TRIM
- 7 BOARD & BATTEN
- 8 WOOD DOORS
- 9 WOOD RAILINGS (PAINTED)
- 10 WOOD POSTS (PAINTED)
- 11 WOOD BRACKETS
- 12 WOOD STAIRS
- 13 CONCRETE CHIMNEY BOX
- 14 WOOD LATTICE

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FORMWERKS ARCHITECTURAL

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :
**1425 GORDON AVE
WEST VANCOUVER, B.C.**

Drawing Title :

GARDEN COTTAGE ELEVATIONS

DRAWN BY: MM

CHECKED BY:

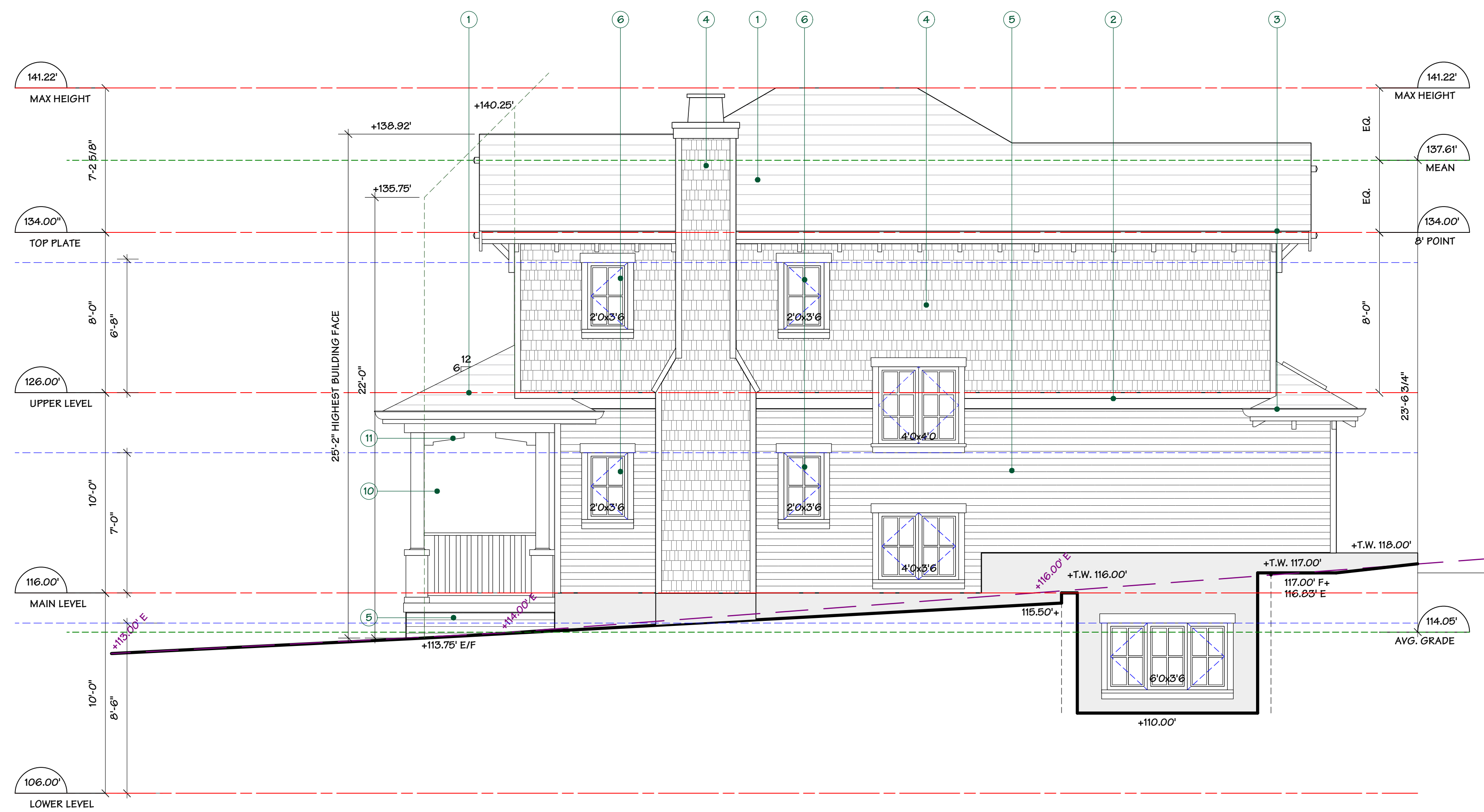
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SHEET

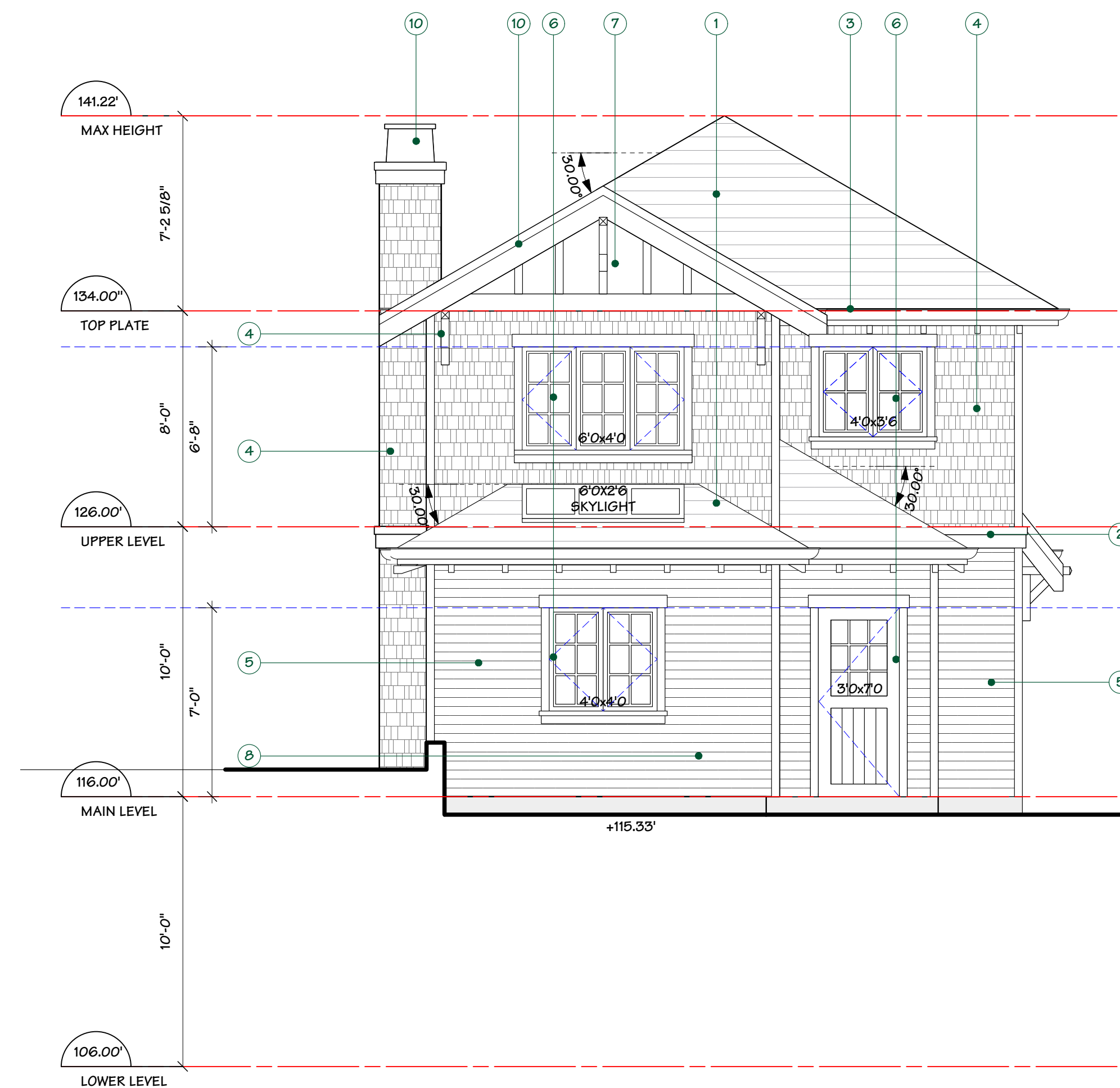
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JOB NUMBER: 4031

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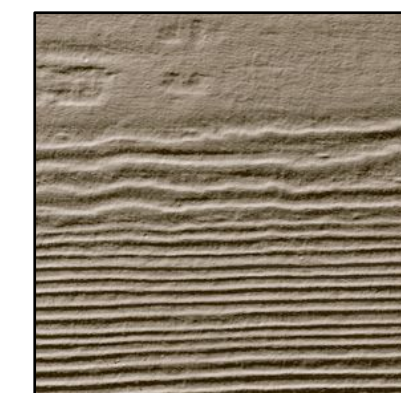
EAST ELEVATION



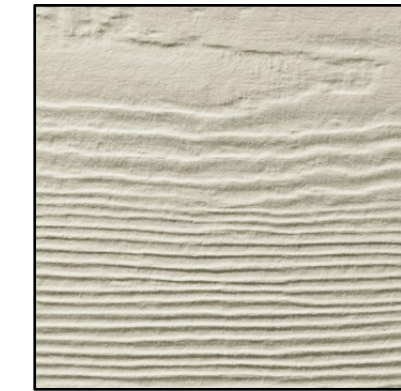
NORTH ELEVATION

FINISH SCHEDULE: GARDEN & L.W. COTTAGE

- 1 ASPHALT ROOF SHINGLES
- 2 2X10 BARGEBOARD W/ 1X4 TRIM
- 3 5" CONTINUOUS METAL GUTTER ON 2X8 FASCIA
- 4 HARDI SHINGLE SIDING
- 5 HARDI HORIZONTAL SIDING
- 6 VINYL WINDOWS c.w. 2x4 TRIM, 2X6 HEAD TRIM
- 7 BOARD & BATTEN
- 8 WOOD DOORS
- 9 WOOD RAILINGS (PAINTED)
- 10 WOOD POSTS (PAINTED)
- 11 WOOD BRACKETS
- 12 WOOD STAIRS
- 13 CONCRETE CHIMNEY BOX
- 14 WOOD LATTICE



KHAKI BROWN (JAMES HARDI)
-HARDI SHINGLES
-HORIZONTAL SIDING



COBBLESTONE (JAMES HARDI)
-WOOD DETAILING
(TRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS, RAILINGS)

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HRA APP	16.04.01

FORMWERKS ARCHITECTURAL

1 2 3 4 5 6 7 8 9 10 11 12 13 14

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :

1425 GORDON AVE
WEST VANCOUVER, B.C.

Drawing Title :

GARDEN COTTAGE ELEVATIONS

DRAWN BY: MM

CHECKED BY:

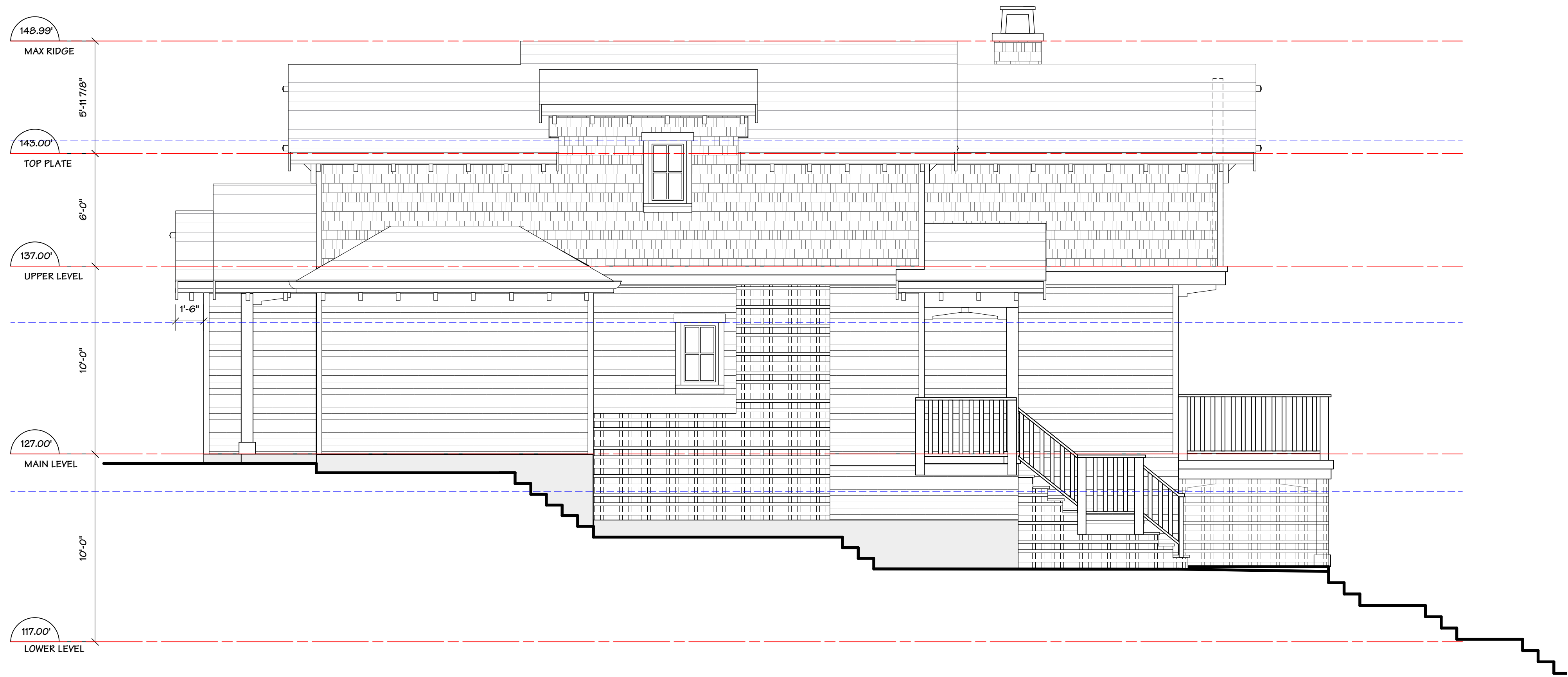
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SHEET

DATE: MARCH 2016

JOB NUMBER: 4031

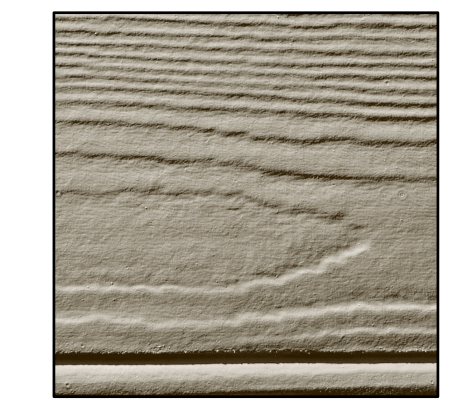
A 12



WEST ELEVATION

FINISH SCHEDULE: GARDEN & L.W. COTTAGE

- 1 ASPHALT ROOF SHINGLES
- 2 2X10 BARGEBOARD W/ 1X4 TRIM
- 3 5" CONTINUOUS METAL GUTTER ON 2X8 FASCIA
- 4 HARDI SHINGLE SIDING
- 5 HARDI HORIZONTAL SIDING
- 6 VINYL WINDOWS c.w. 2x4 TRIM, 2X6 HEAD TRIM
- 7 BOARD & BATTEN
- 8 WOOD DOORS
- 9 WOOD RAILINGS (PAINTED)
- 10 WOOD POSTS (PAINTED)
- 11 WOOD BRACKETS
- 12 WOOD STAIRS
- 13 CONCRETE CHIMNEY BOX
- 14 WOOD LATTICE



MONTEREY TAUPE (JAMES HARDI)
-HARDI SHINGLES
-HORIZONTAL SIDING



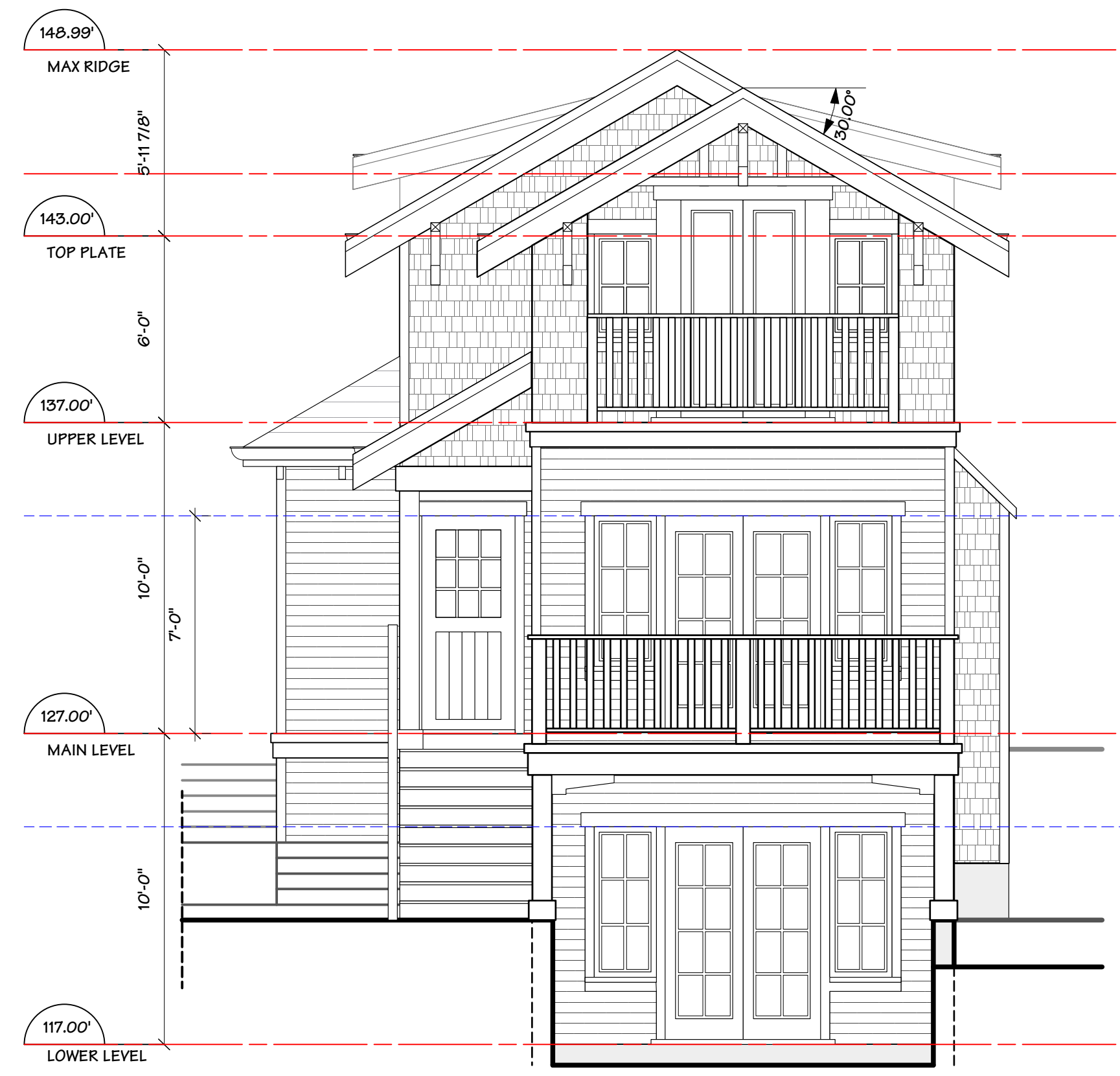
COBBLESTONE (JAMES HARDI)
-WOOD DETAILING
(TRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS,
RAILINGS, LATTICE)

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REVISIONS

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DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01



SOUTH ELEVATION

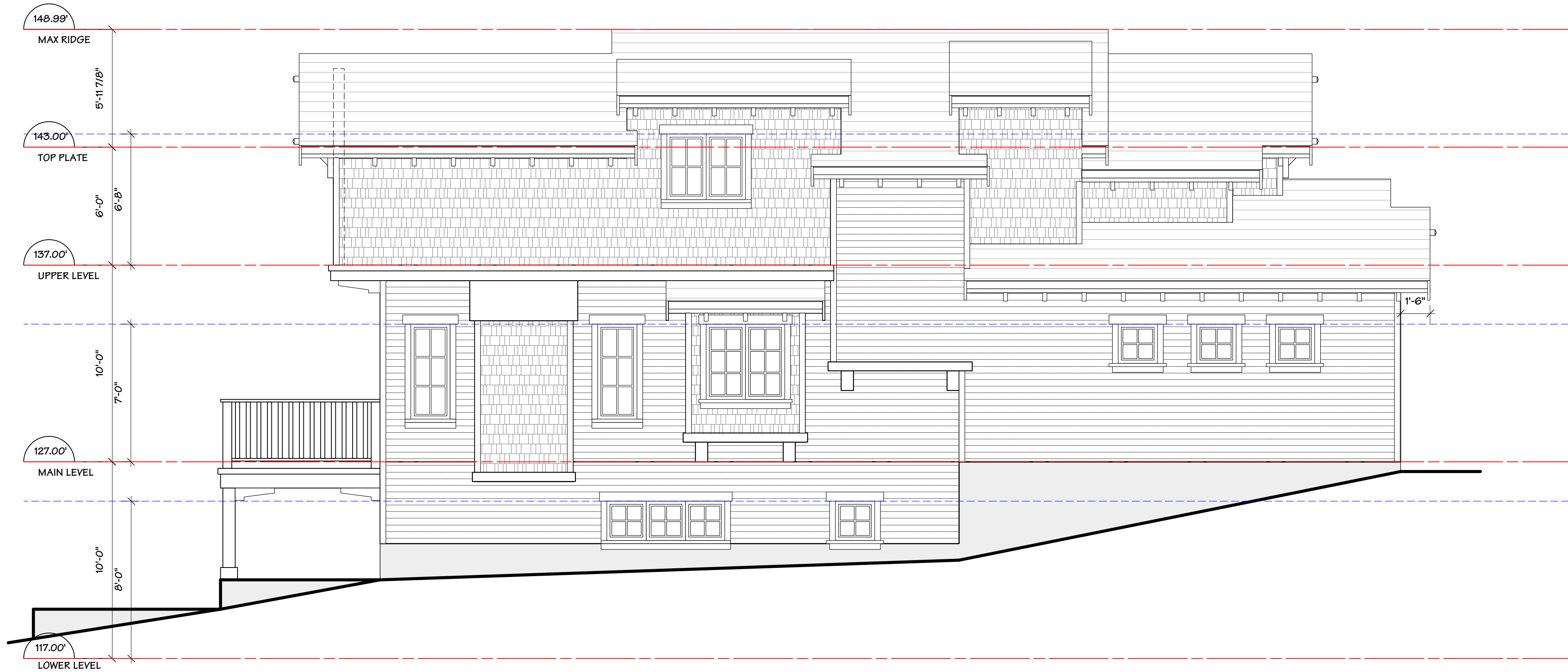
FORMWERKS ARCHITECTURAL
I N C O R P O R A T E D

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

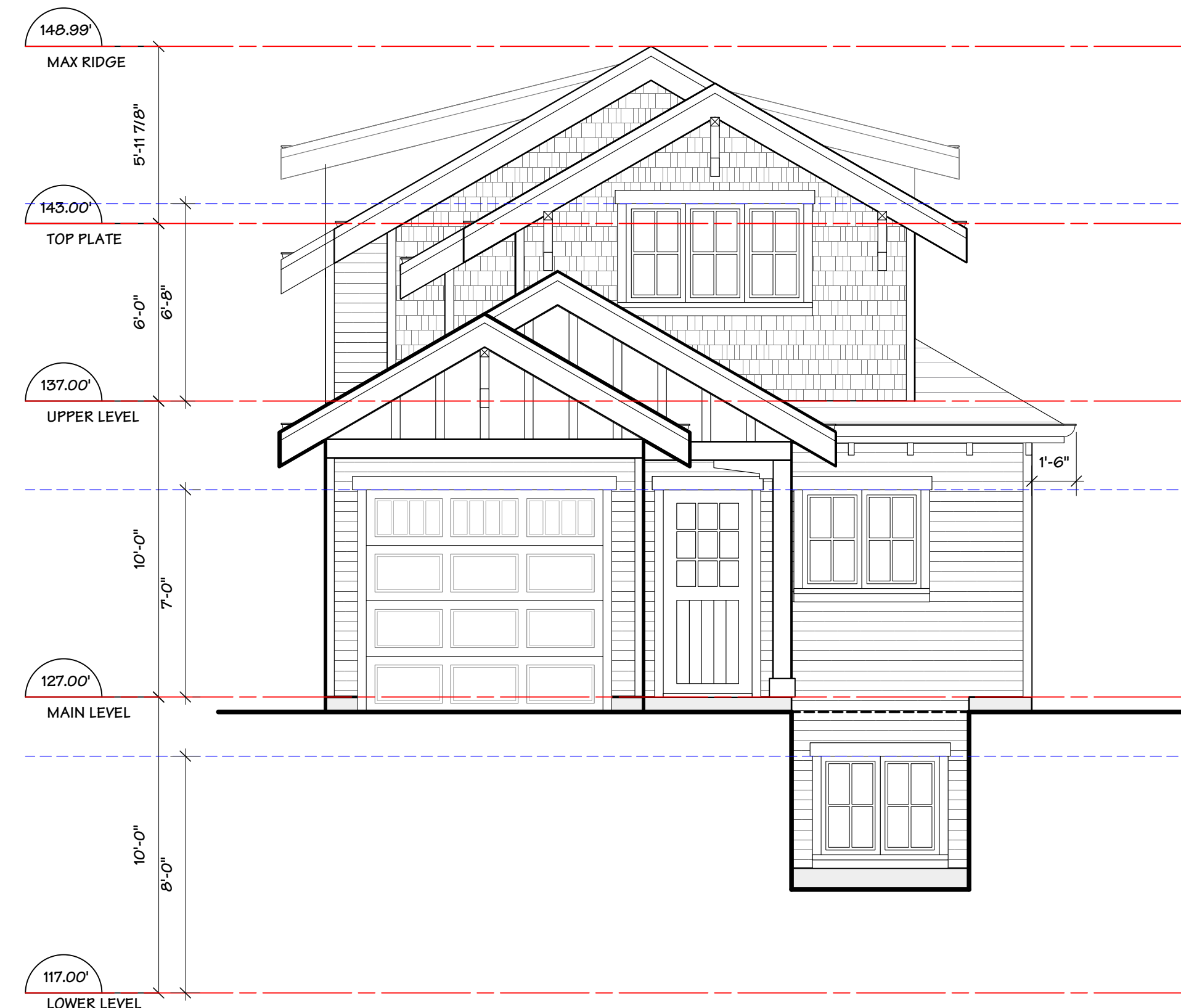
Project :
**1425 GORDON AVE
WEST VANCOUVER, B.C.**

Drawing Title :
LANEWAY COTTAGE ELEVATIONS

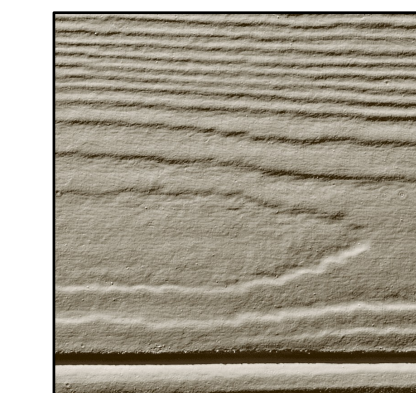
DRAWN BY: MM	CHECKED BY:
SCALE: 1/4" = 1'0"	SHEET
DATE: MARCH 2016	A 13
JOB NUMBER: 4031	



EAST ELEVATION



NORTH ELEVATION



MONTEREY TAUPE (JAMES HARDI)
-HARDI SHINGLES
-HORIZONTAL SIDING



COBBLESTONE (JAMES HARDI)
-WOOD DETAILING
(TRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS,
RAILINGS, LATTICE)

FINISH SCHEDULE: GARDEN & L.W. COTTAGE

- 1 ASPHALT ROOF SHINGLES
- 2 2X10 BARGEBOARD W/ 1X4 TRIM
- 3 5" CONTINUOUS METAL GUTTER ON 2X8 FASCIA
- 4 HARDI SHINGLE SIDING
- 5 HARDI HORIZONTAL SIDING
- 6 VINYL WINDOWS c.w. 2x4 TRIM, 2X6 HEAD TRIM
- 7 BOARD & BATTEN
- 8 WOOD DOORS
- 9 WOOD RAILINGS (PAINTED)
- 10 WOOD POSTS (PAINTED)
- 11 WOOD BRACKETS
- 12 WOOD STAIRS
- 13 CONCRETE CHIMNEY BOX
- 14 WOOD LATTICE

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REVISIONS

ISSUED FOR...

CLIENT REVIEW	JUNE 2015
CLIENT REVIEW	JULY 2015
CLIENT REVIEW	AUG 2015
RFP	OCT 2015
DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01

FORMWERKS ARCHITECTURAL

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :

1425 GORDON AVE
WEST VANCOUVER, B.C.

Drawing Title :

LANEWAY COTTAGE ELEVATIONS

DRAWN BY: MM

CHECKED BY:

SCALE: 1/4" = 1'0"

SHEET

DATE: MARCH 2016

JOB NUMBER: 4031

A 14

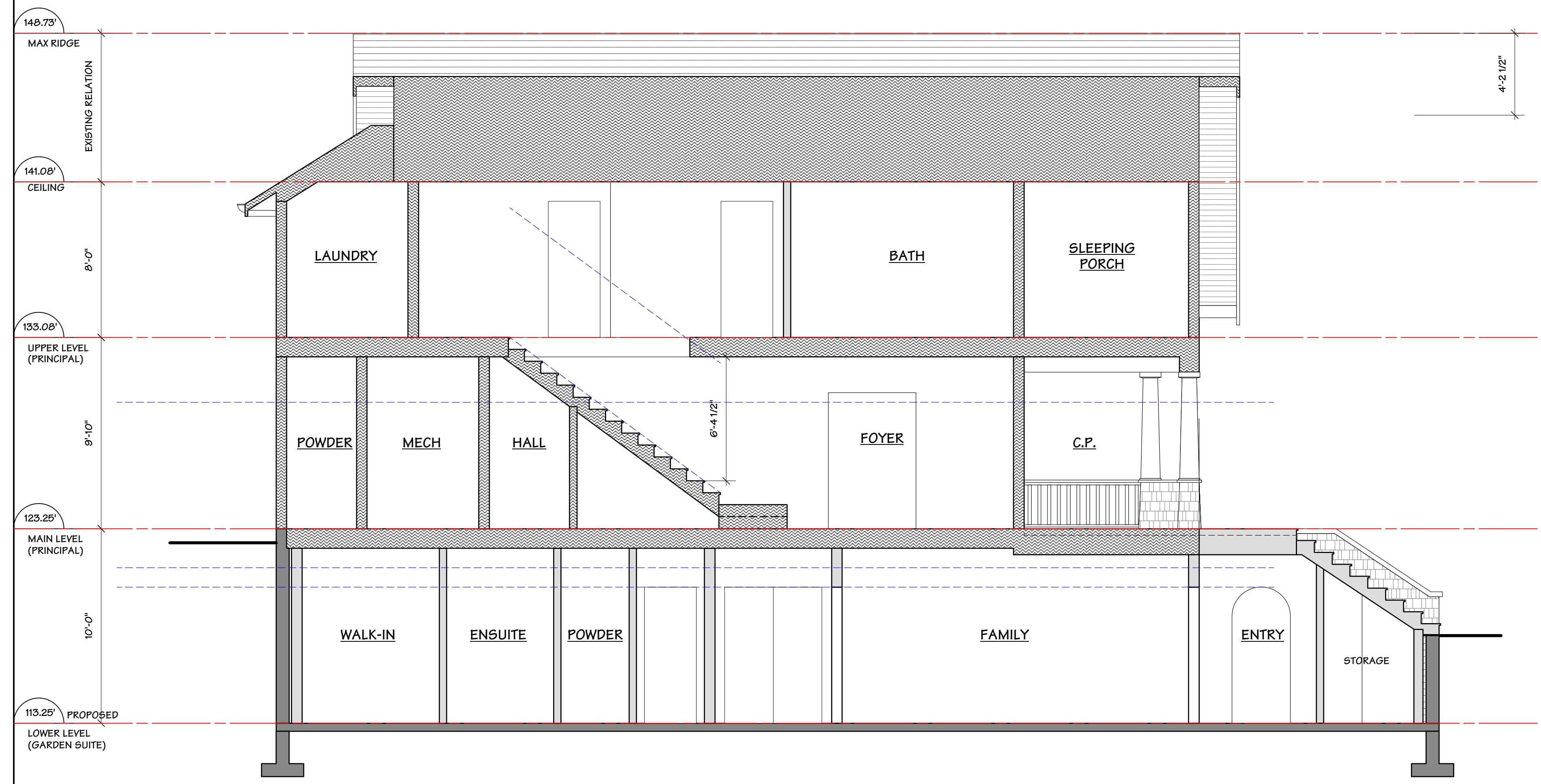
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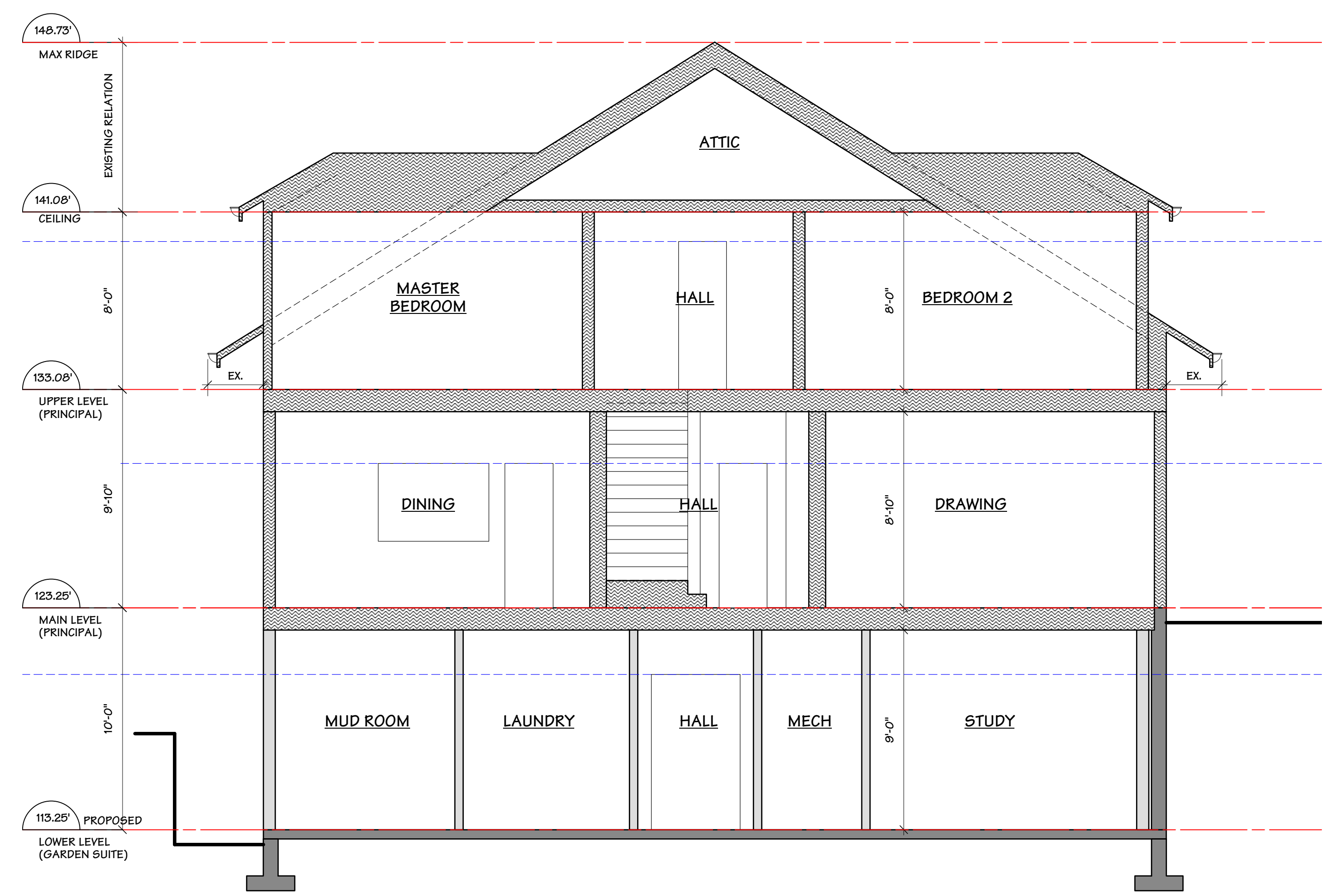
REVISIONS

ISSUED FOR...

CLIENT REVIEW	JUNE 2015
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CLIENT REVIEW	AUG 2015
RFP	OCT 2015
DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01



SECTION BB



SECTION AA

FORMWERKS ARCHITECTURAL
INCORPORATED

1625 W.5th Avenue, Vancouver, BC V6J 1N5
 Fax 685-2076 Phone 683-5441

Project :
**1425 GORDON AVE
 WEST VANCOUVER, B.C.**

Drawing Title :
PRINCIPAL HOUSE SECTIONS

DRAWN BY: MM	CHECKED BY:
SCALE: 1/4" = 1'0"	SHEET
DATE: MARCH 2016	A 15
JOB NUMBER: 4031	

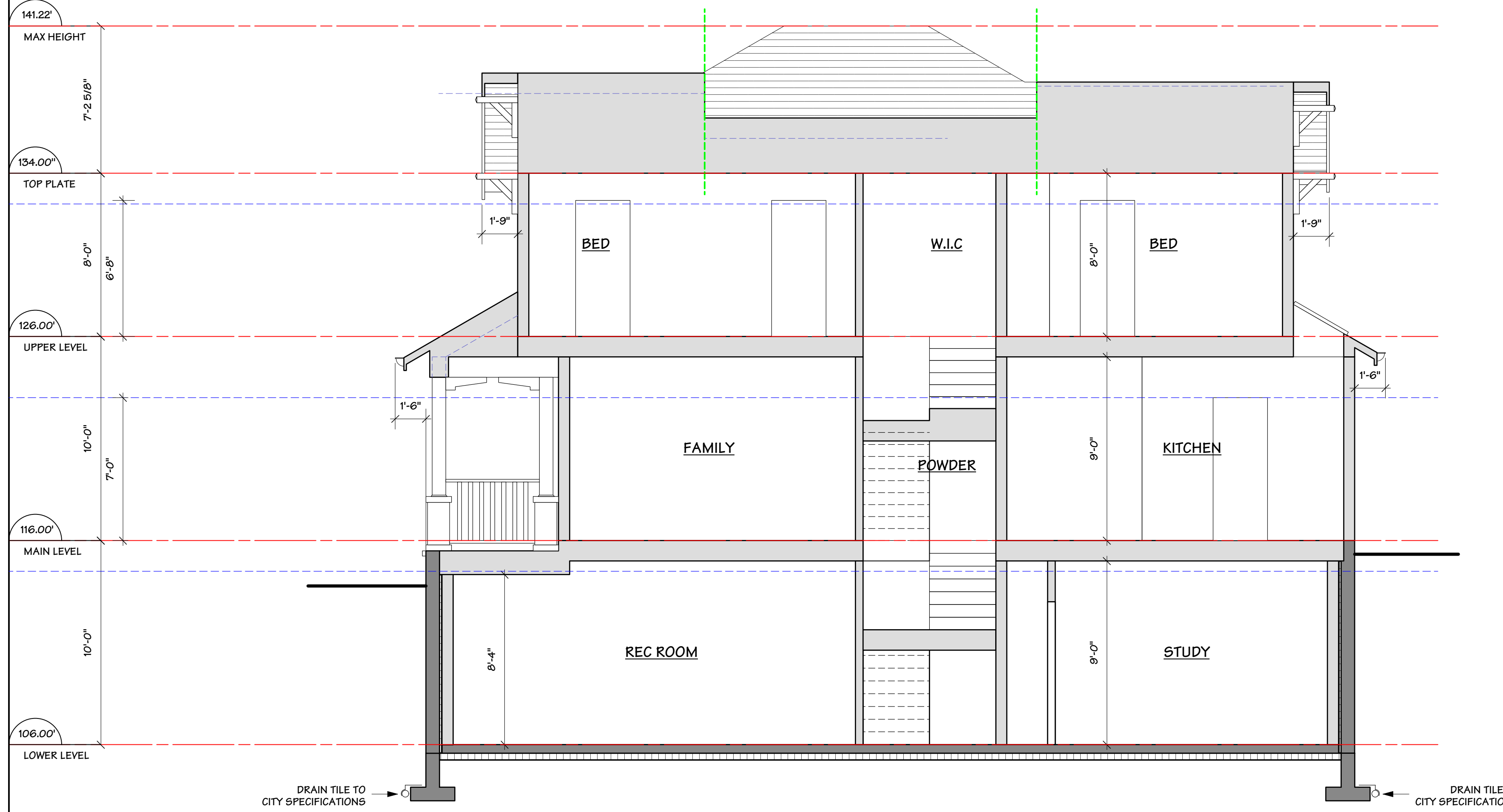
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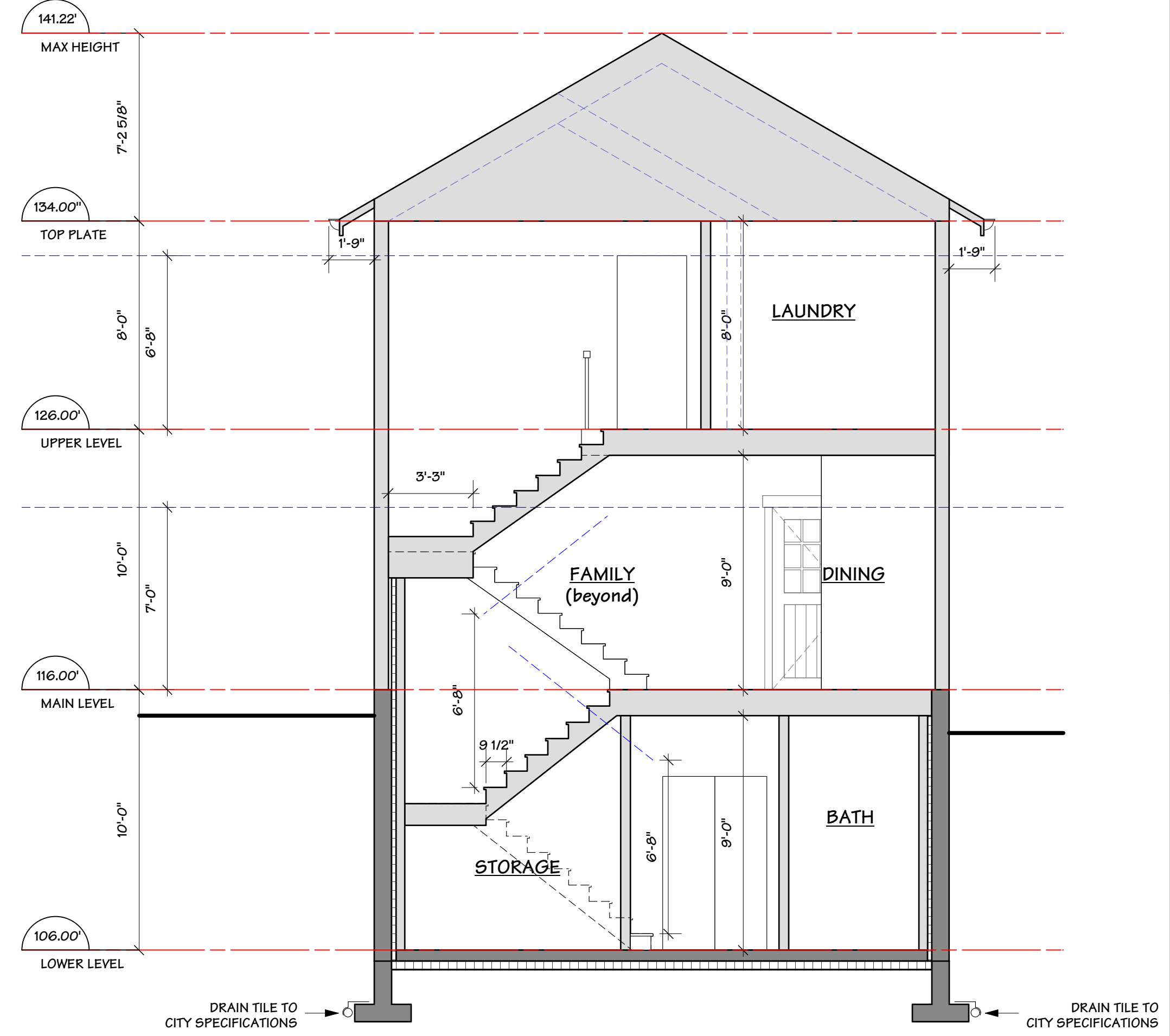
REVISIONS

ISSUED FOR...

CLIENT REVIEW	JUNE 2015
CLIENT REVIEW	JULY 2015
CLIENT REVIEW	AUG 2015
RFP	OCT 2015
DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
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SECTION BB



SECTION AA

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ARCHITECTURAL

1 N * C * O * R * P * O * R * A * T * E * D

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :

1425 GORDON AVE
WEST VANCOUVER, B.C.

Drawing Title :

GARDEN COTTAGE SECTION

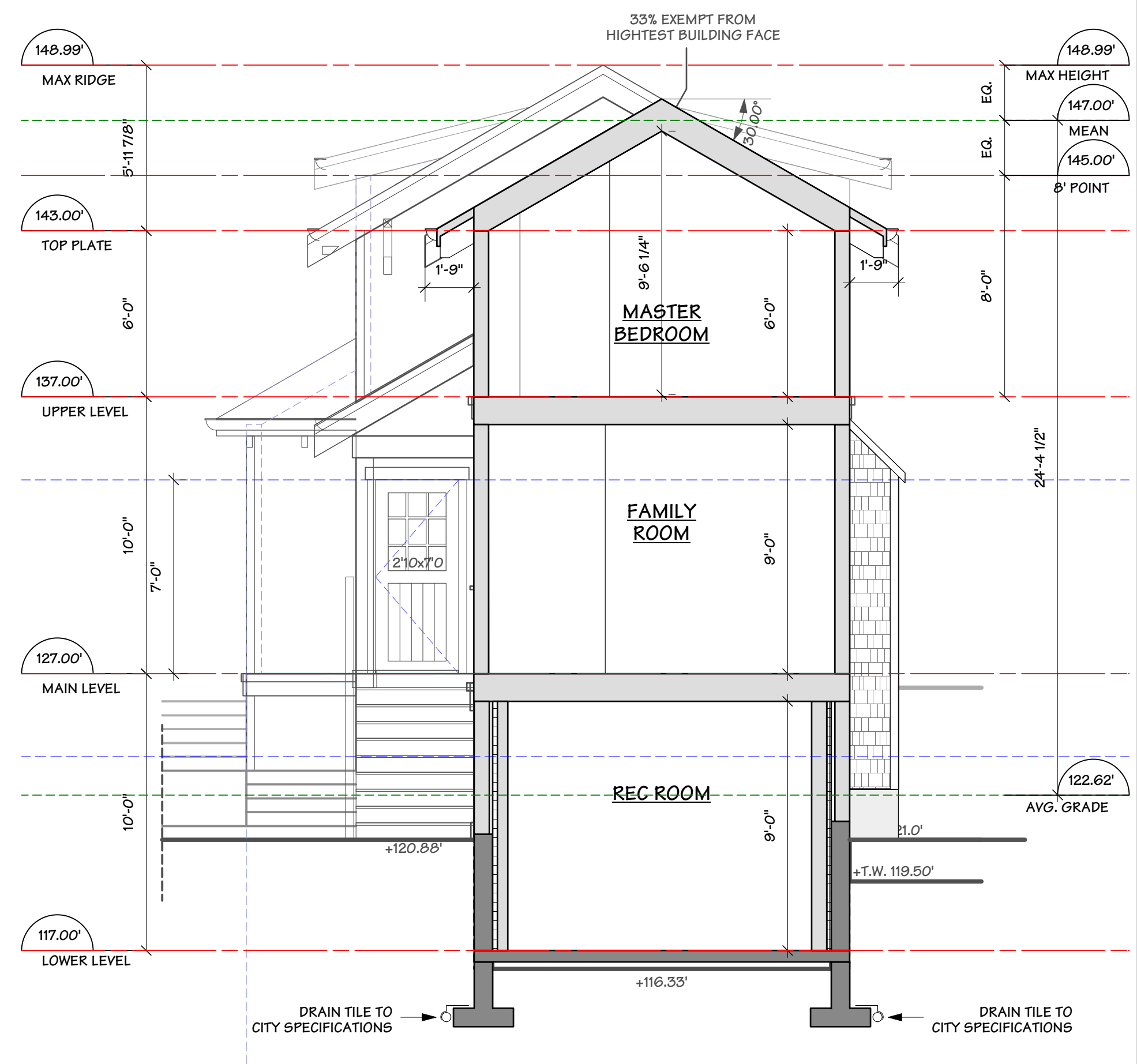
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SCALE: 1/4" = 1'0"	SHEET
DATE: MARCH 2016	A 16
JOB NUMBER: 4031	

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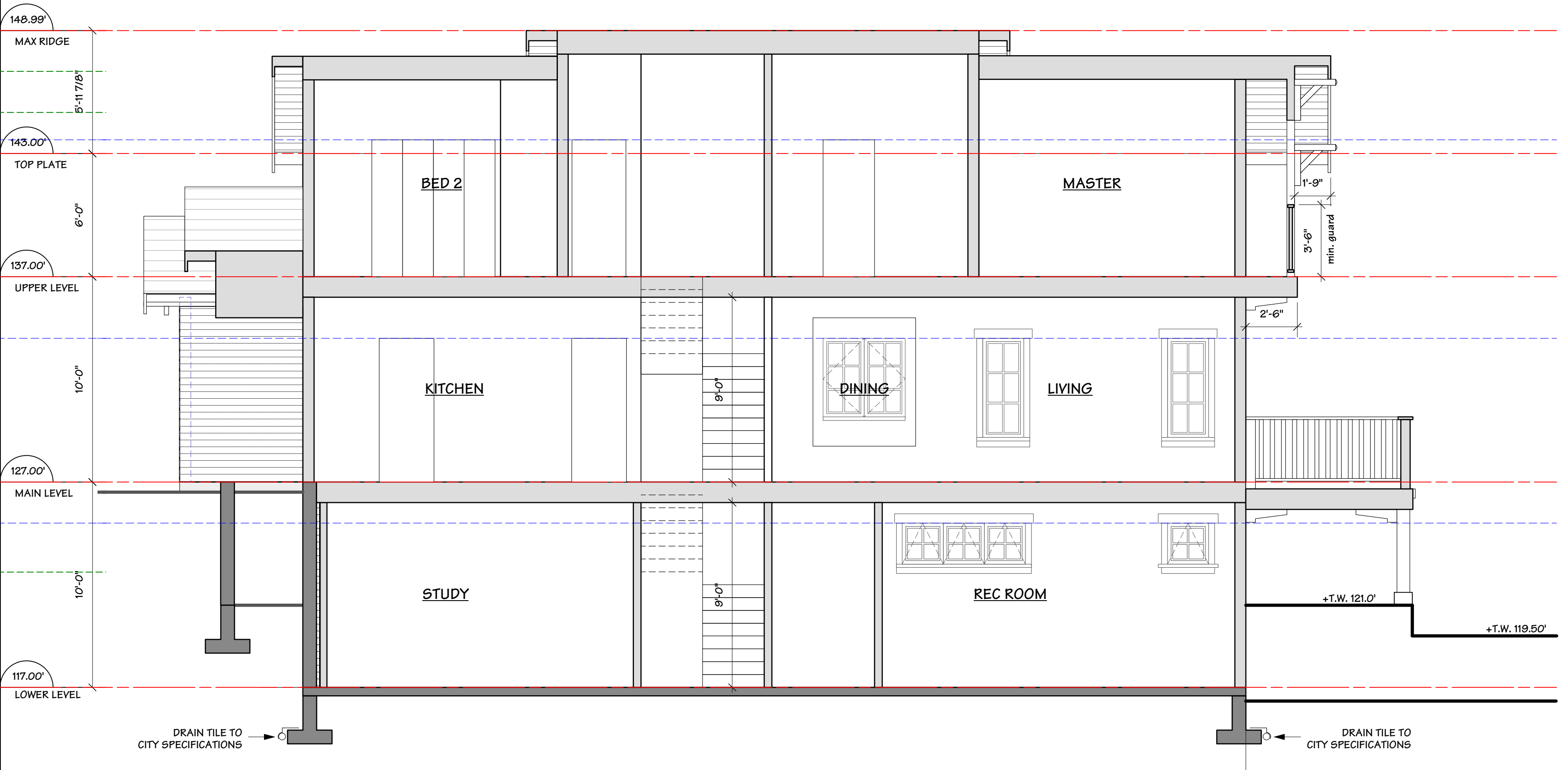
REVISIONS

ISSUED FOR...

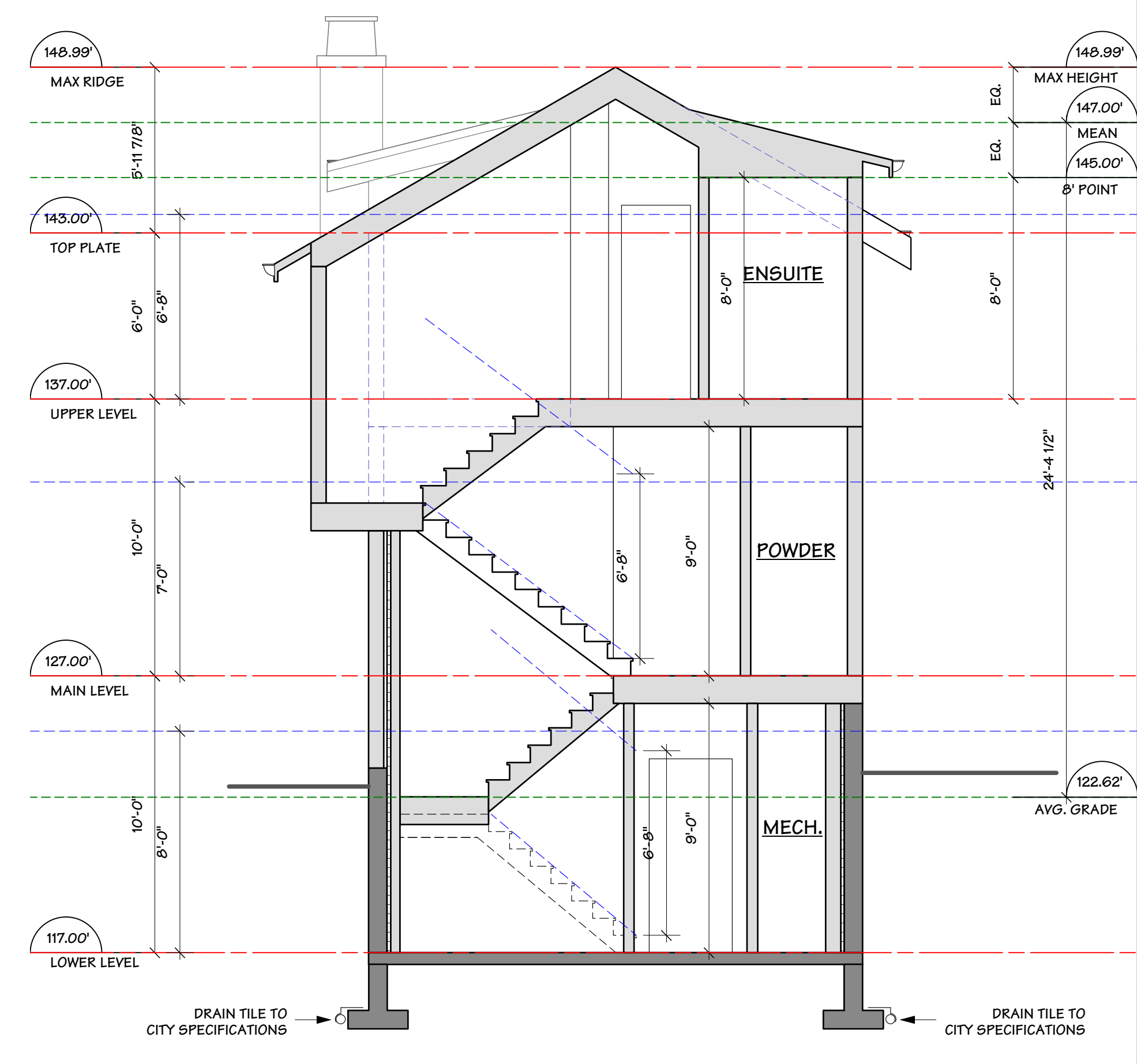
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CLIENT REVIEW	AUG 2015
RFP	OCT 2015
DISTRICT REVIEW	OCT 2015
DE/HRA APP	NOV 2015
DE Re-APP	DEC 2015
HRA APP	16.04.01



SECTION CC



SECTION BB



SECTION AA

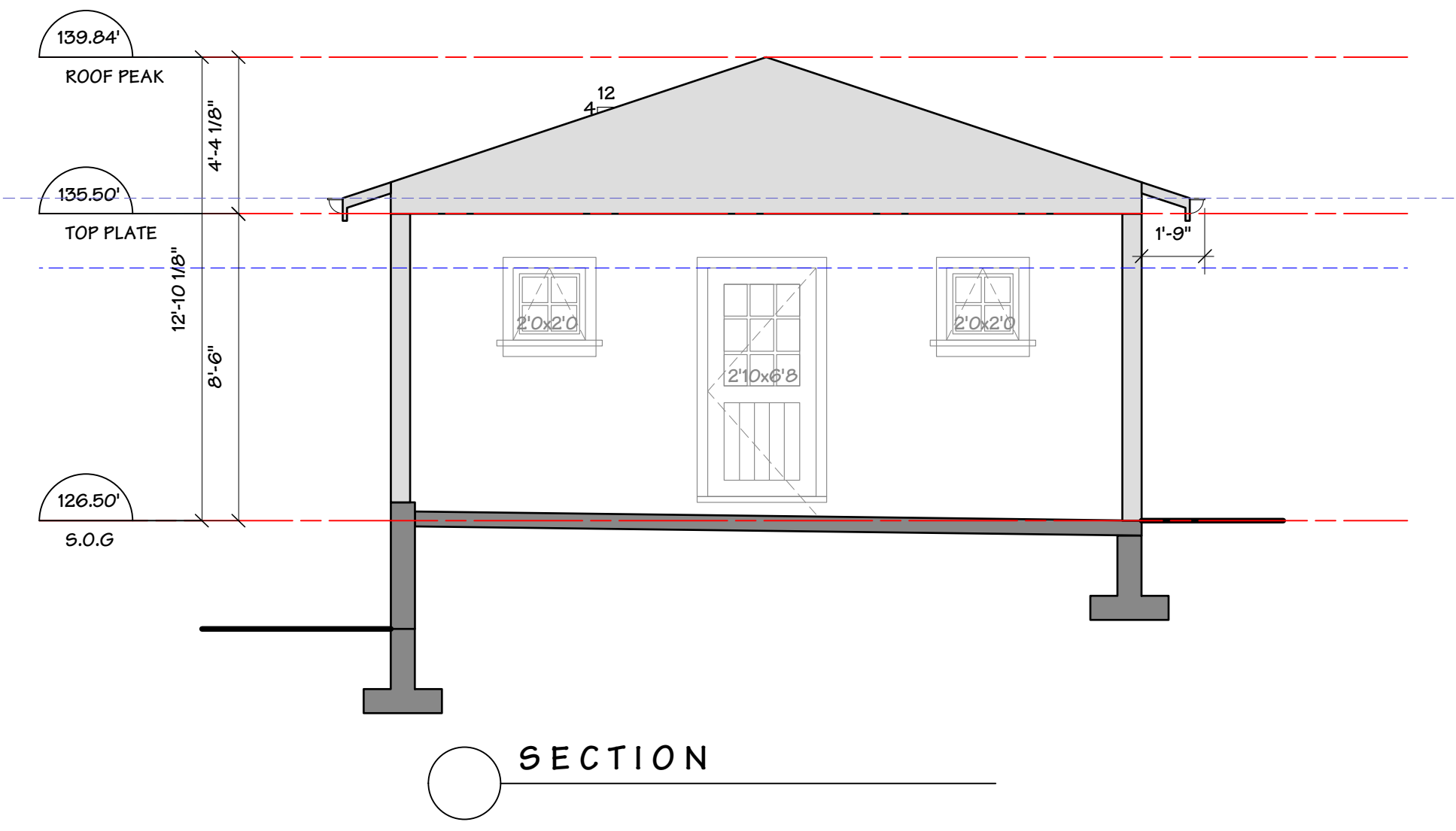
FORMWERKS ARCHITECTURAL
I N C O R P O R A T E D

1625 W.5th Avenue, Vancouver, BC V6J 1N5
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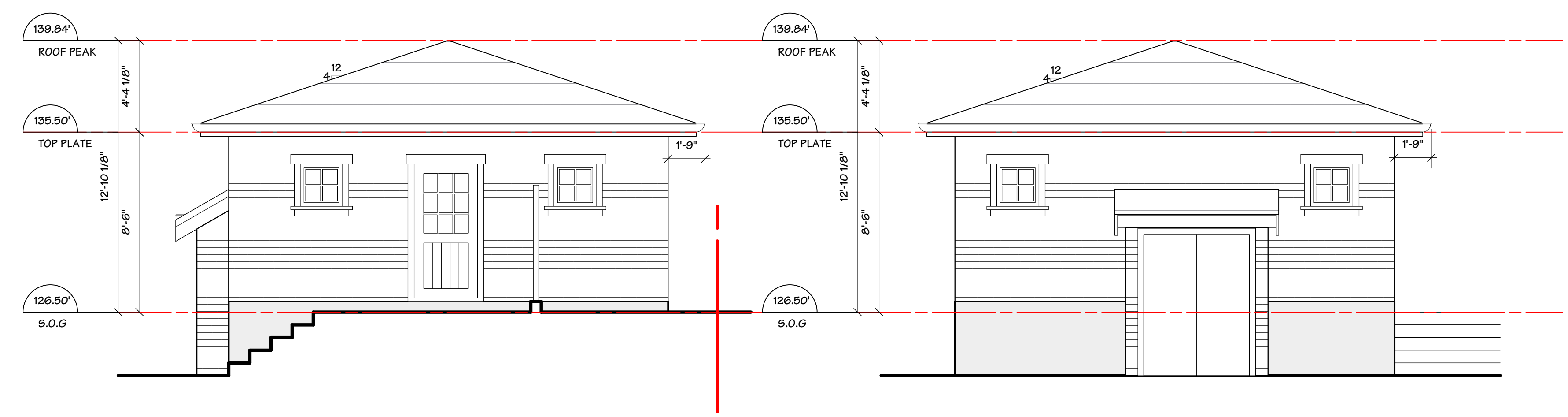
Project :
**1425 GORDON AVE
 WEST VANCOUVER, B.C.**

Drawing Title :
LANEWAY COTTAGE SECTION

DRAWN BY: MM	CHECKED BY:
SCALE: 1/4" = 1'0"	SHEET
DATE: MARCH 2016	A 17
JOB NUMBER: 4031	

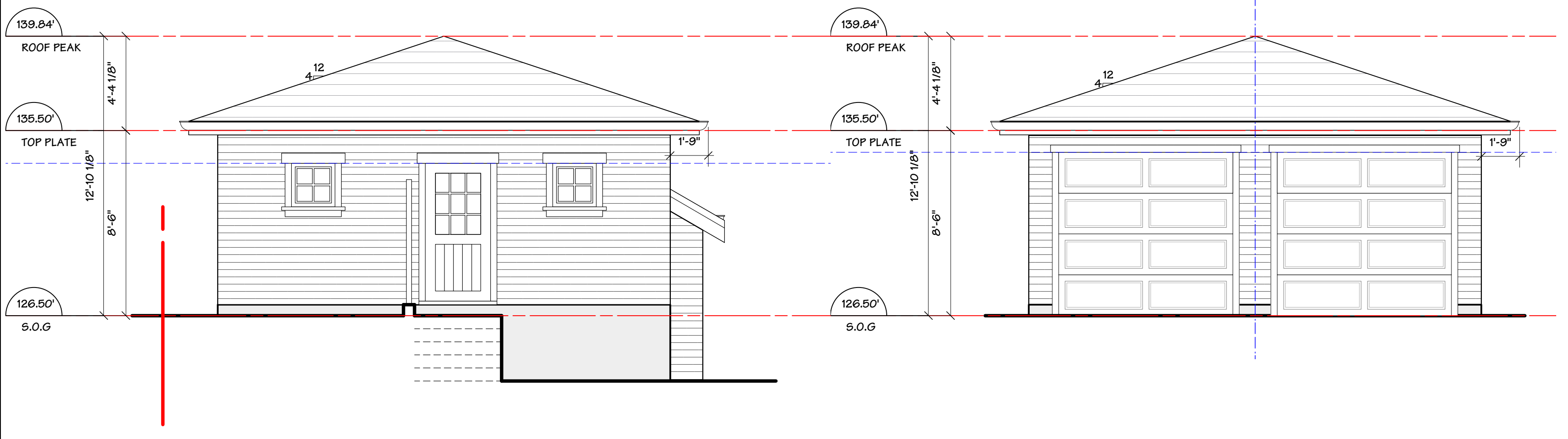


SECTION



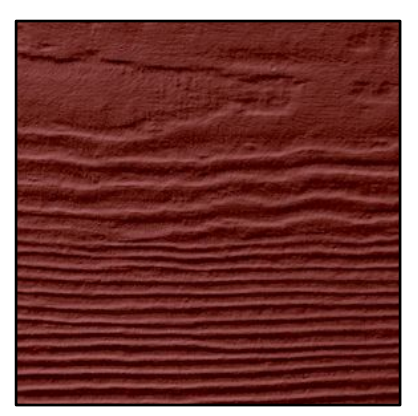
EAST

SOUTH

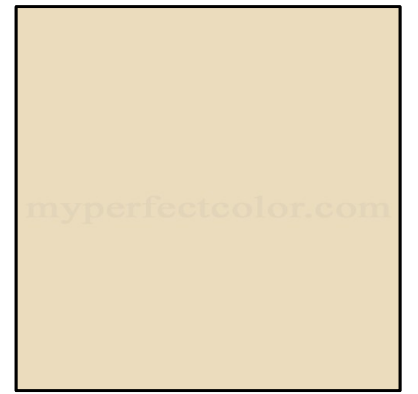


WEST

NORTH



TRADITIONAL RED (HARDIE)
-CEDAR WALL SHINGLE
-HARDI SHINGLE
-VERTICAL BATTE



OXFORD IVORY (BM - VC-1)
-WINDOWS
-WOOD DETAILING
(WINDOW FRAMESTRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS, RAILINGS)

FINISH SCHEDULE: GARDEN & L.W. COTTAGE

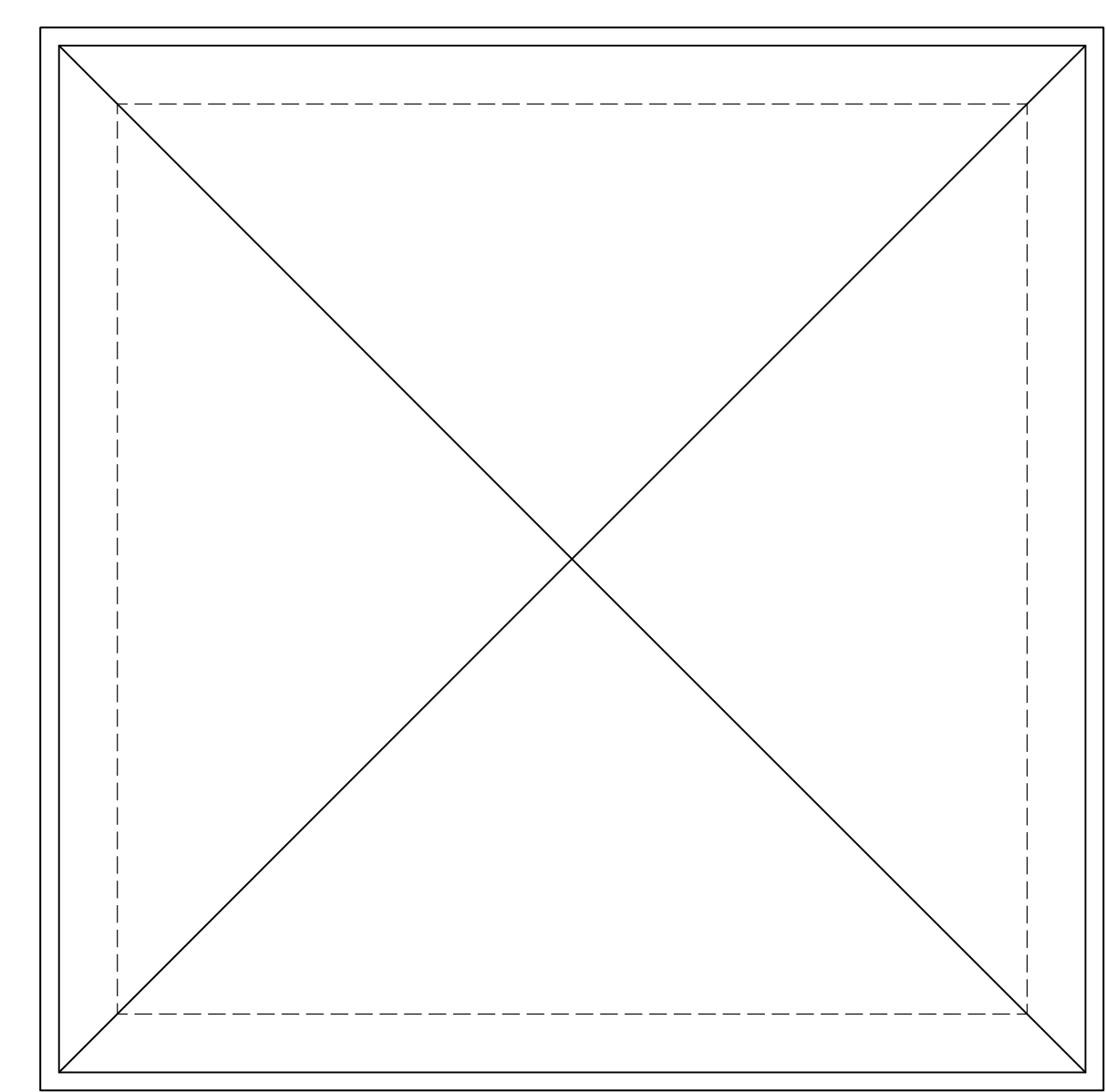
- 1 ASPHALT ROOF SHINGLES
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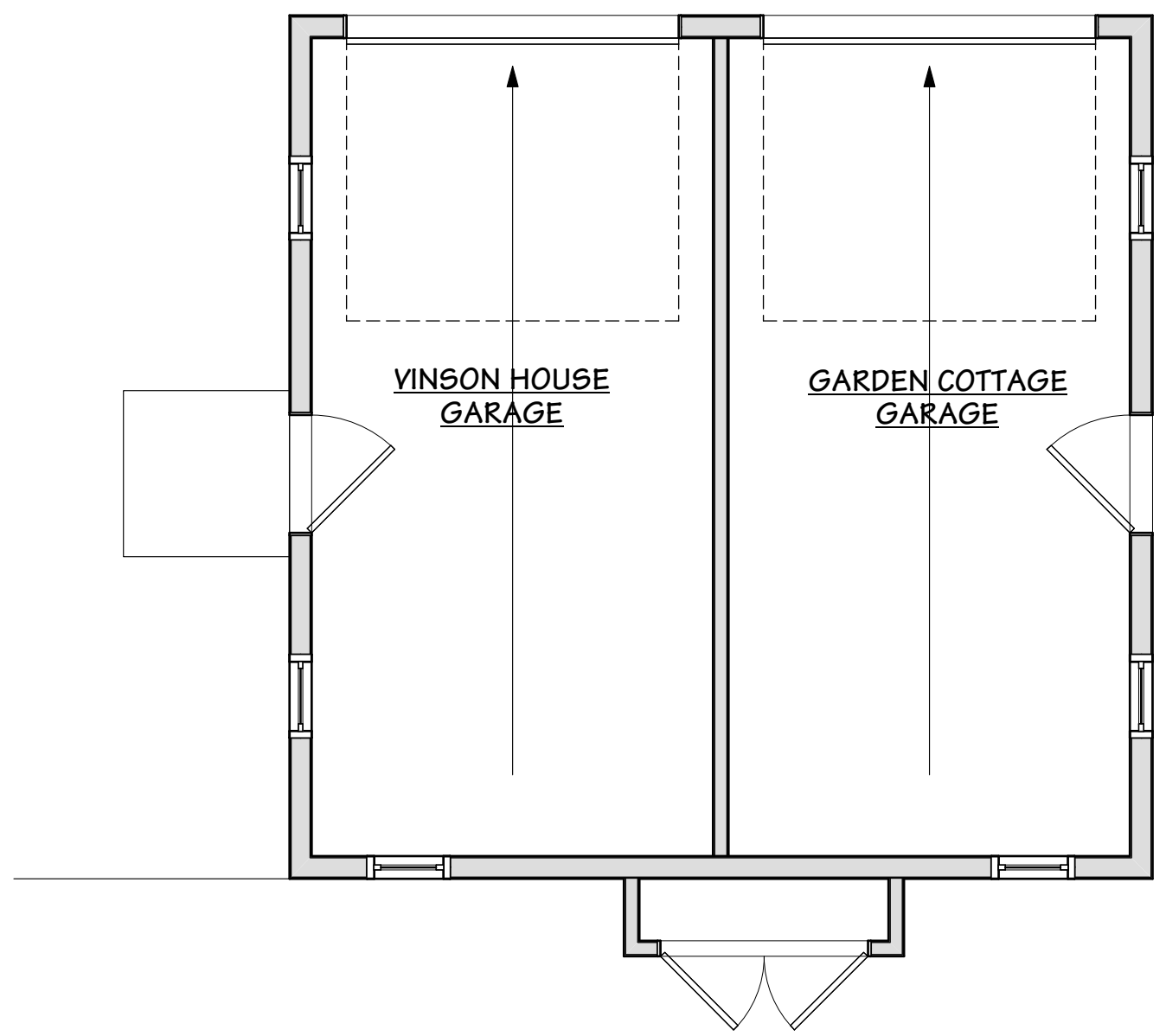
REVISIONS

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CLIENT REVIEW	JUNE 2015
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ROOF PLAN



PLAN

FORMWERKS ARCHITECTURAL
I N C O R P O R A T E D

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Fax 685-2076 Phone 683-5441

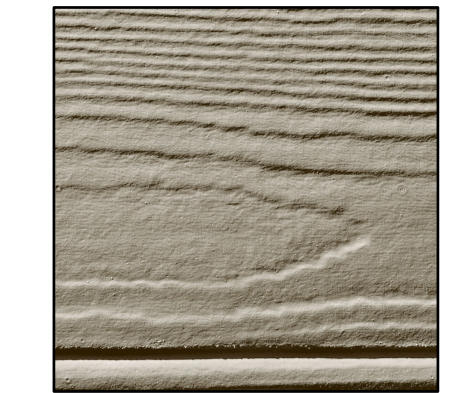
Project :
**1425 GORDON AVE
WEST VANCOUVER, B.C.**

Drawing Title :
**VINSON & GARDEN COTTAGE
ACCESSORY PLAN**

DRAWN BY: MM	CHECKED BY:
SCALE: 1/4" = 1'0"	SHEET
DATE: MARCH 2016	A 18
JOB NUMBER: 4031	

FINISH SCHEDULE: GARDEN & L.W. COTTAGE

- 1 ASPHALT ROOF SHINGLES
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MONTEREY TAUPE (JAMES HARDI)
-HARDI SHINGLES
-HORIZONTAL SIDING



COBBLESTONE (JAMES HARDI)
-WOOD DETAILING
(TRIMS, BRACKETS, COLUMNS,
BARGEBOARD, RAFTER TAILS,
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FORMWERKS ARCHITECTURAL

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

1625 W.5th Avenue, Vancouver, BC V6J 1N5
Fax 685-2076 Phone 683-5441

Project :

1425 GORDON AVE
WEST VANCOUVER, B.C.

Drawing Title :

GARDEN SUITE
ACCESSORY PLAN

DRAWN BY: MM

CHECKED BY:

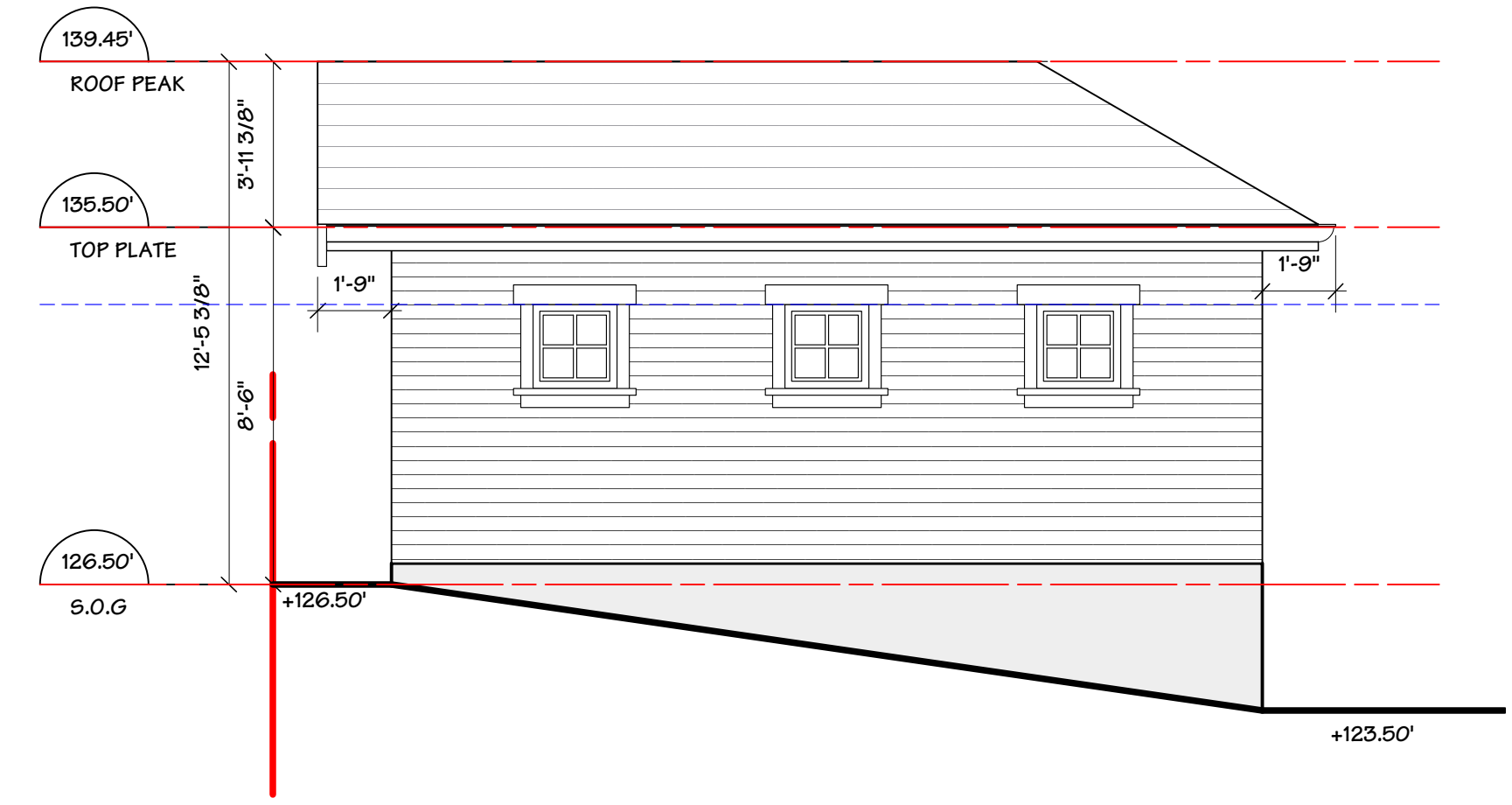
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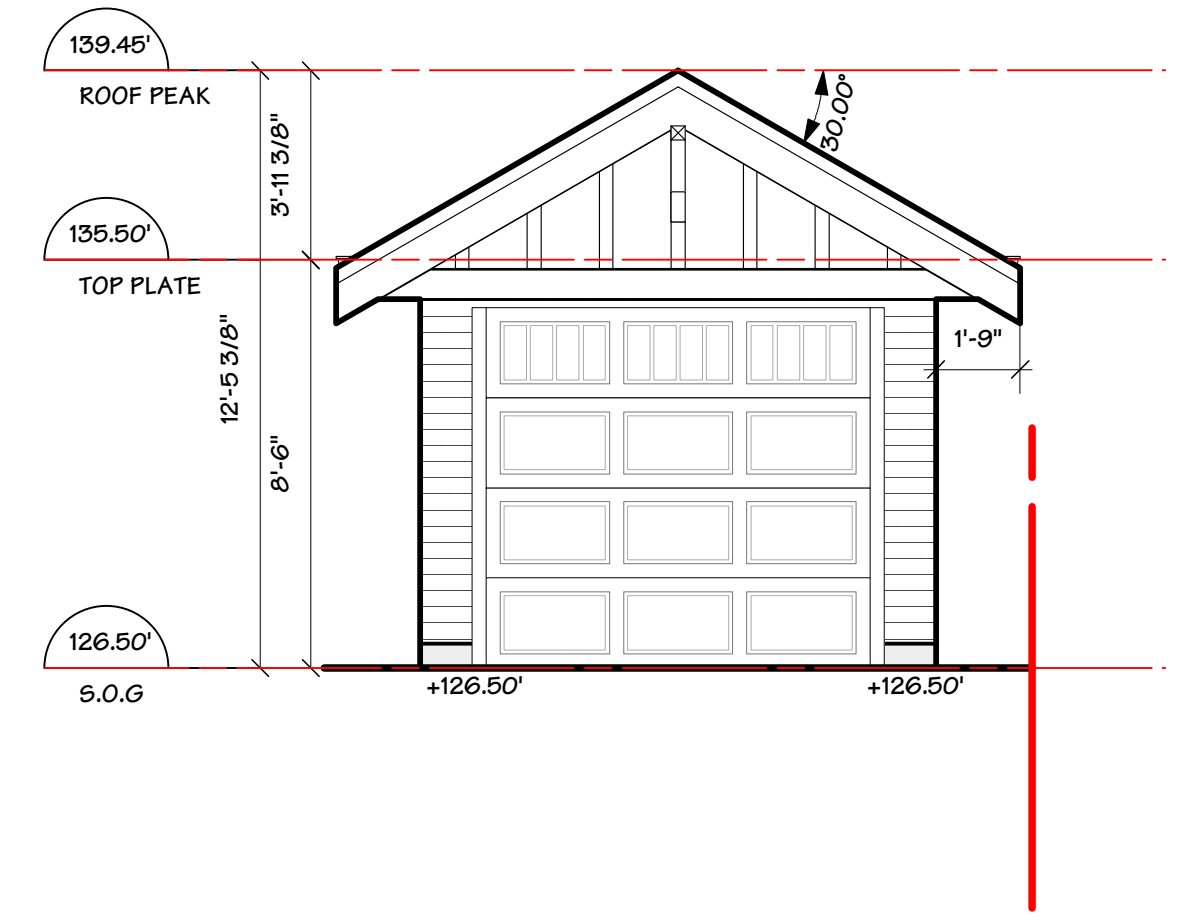
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JOB NUMBER: 4031

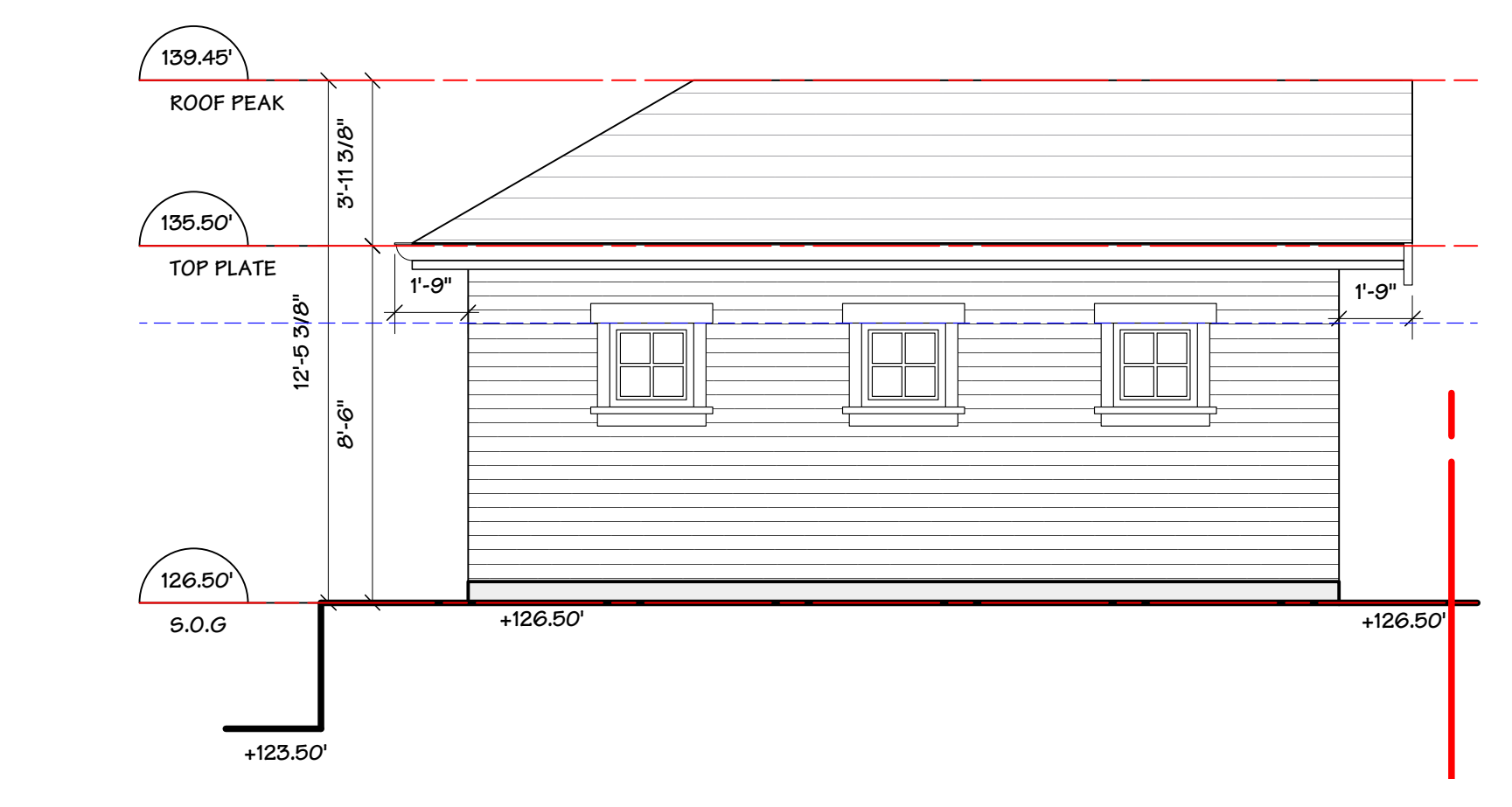
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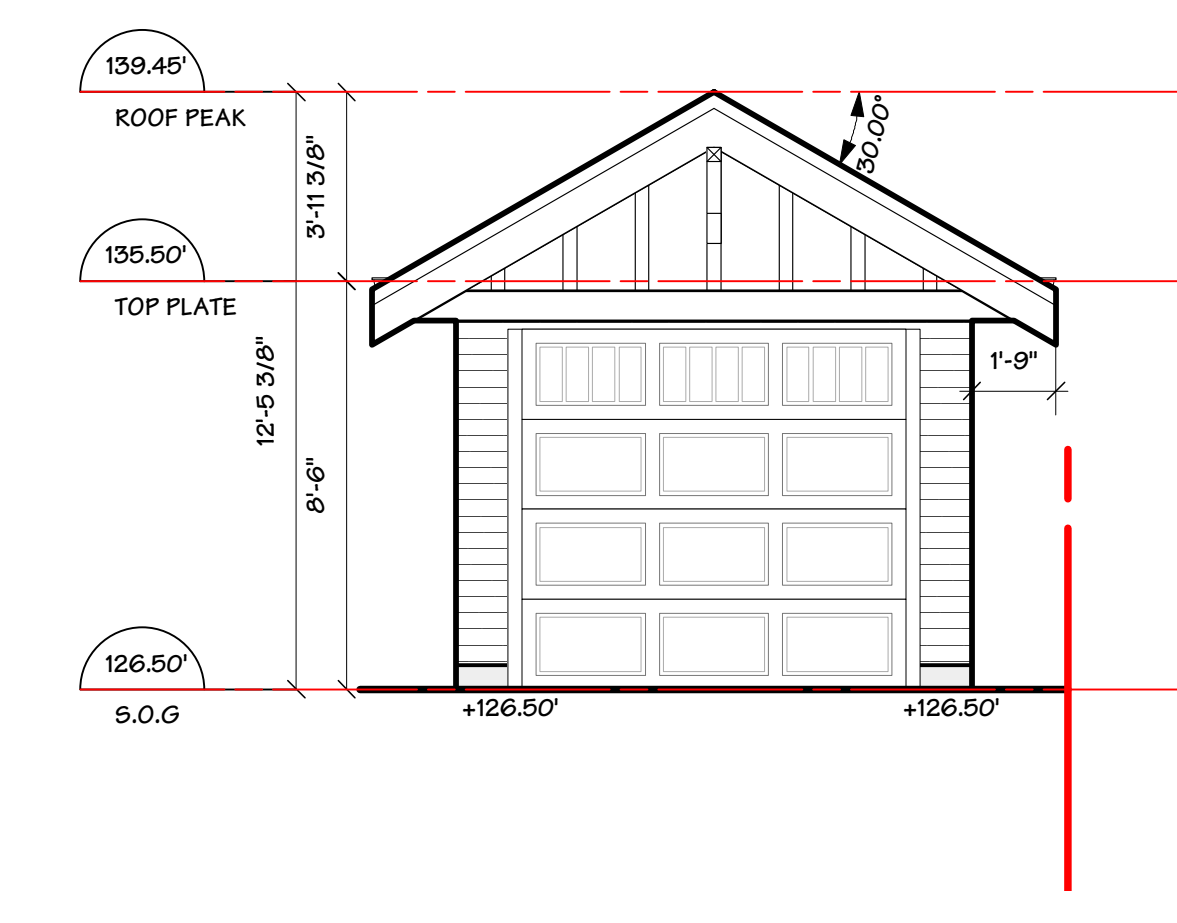
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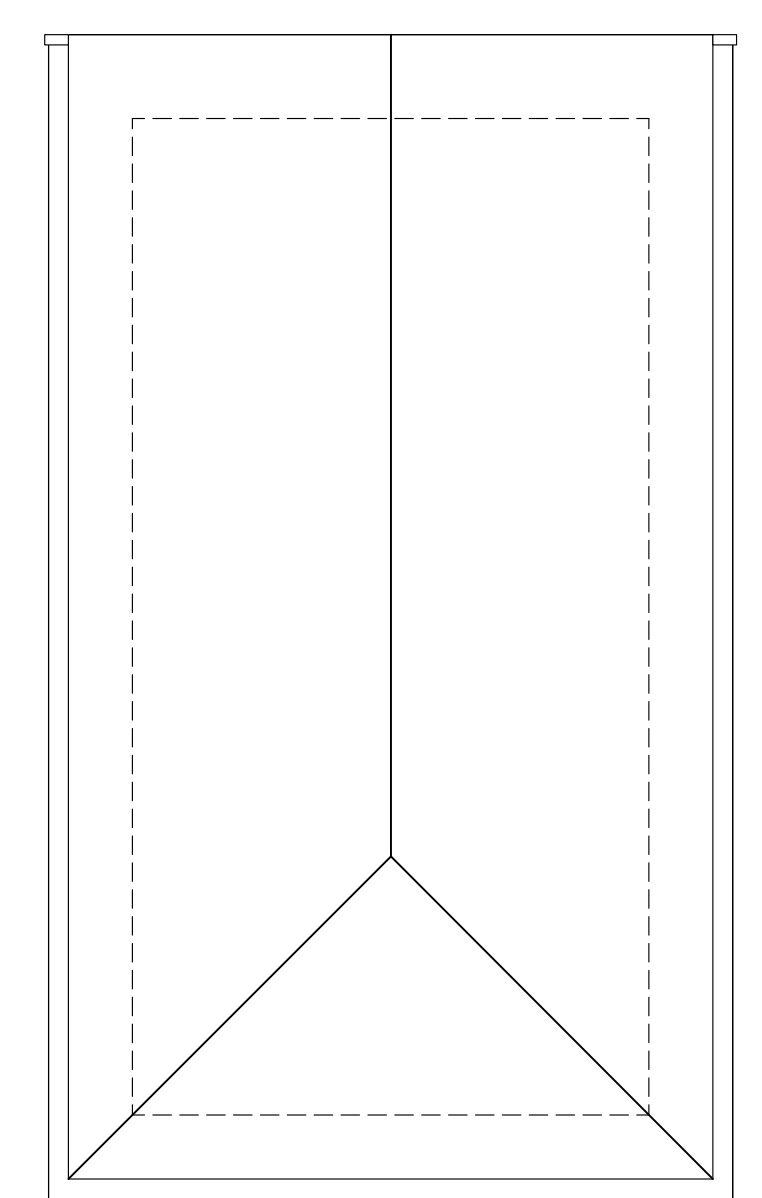
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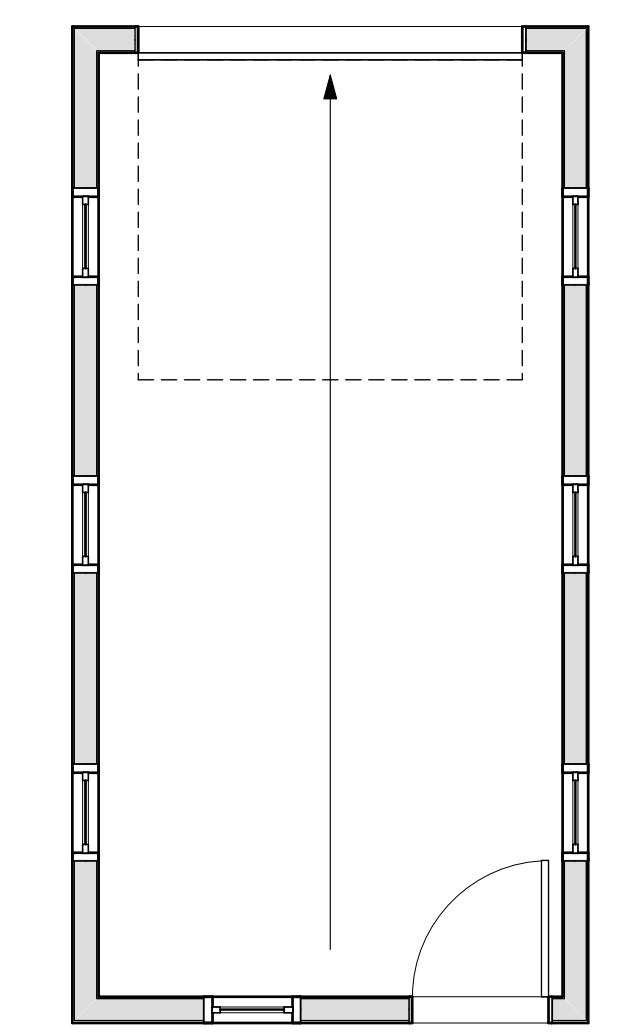
WEST



NORTH



ROOF PLAN



PLAN