

BUILDING INFORMATION DATA

CMC ADDRESS: 1507 - HAYWOOD AVENUE WEST VANCOUVER, B.C.
 LEGAL DESCRIPTION: LOT 8 BLOCK 1 NORTH 1/2 OF DISTRICT LOT 1055 PLAN 4180
 ZONE: R.S.5
 DESIGN ANALYSIS:
 LOT AREA: 7127.3 SQ.FT. (662.1 SM)
 FAY-PERMITTED: 2551 SQ.FT. (237.0 SM)
 BASEMENT: 1336.6 SQ.FT. (124.2 SM)
 MAIN FLOOR: 1336.6 SQ.FT. (124.2 SM)
 SECOND FLOOR: 1213.6 SQ.FT. (112.7 SM)
 PROPOSED: 2550.2 SQ.FT. (236.9 SM)
 ATTACHED GARAGE PERMITTED: 440 SQ.FT. (40.9 SM)
 PROPOSED: 440 SQ.FT. (40.9 SM)
 SITE COVERAGE PERMITTED: 40% DWELLING: 2850.9 SQ.FT. (264.9 SM)
 PORCH: 1336.6 SQ.FT. (124.2 SM)
 GARAGE: 440 SQ.FT. (40.9 SM)
 PROPOSED: 26.6% TOTAL: 1897.6 SQ.FT. (176.3 SM)
 AVERAGE NATURAL GRADE: (155+155+154+154.8)/4= 154.7 FT. (47.15M)
 AVERAGE FINISHED GRADE: 155.00 FT. (47.24M)

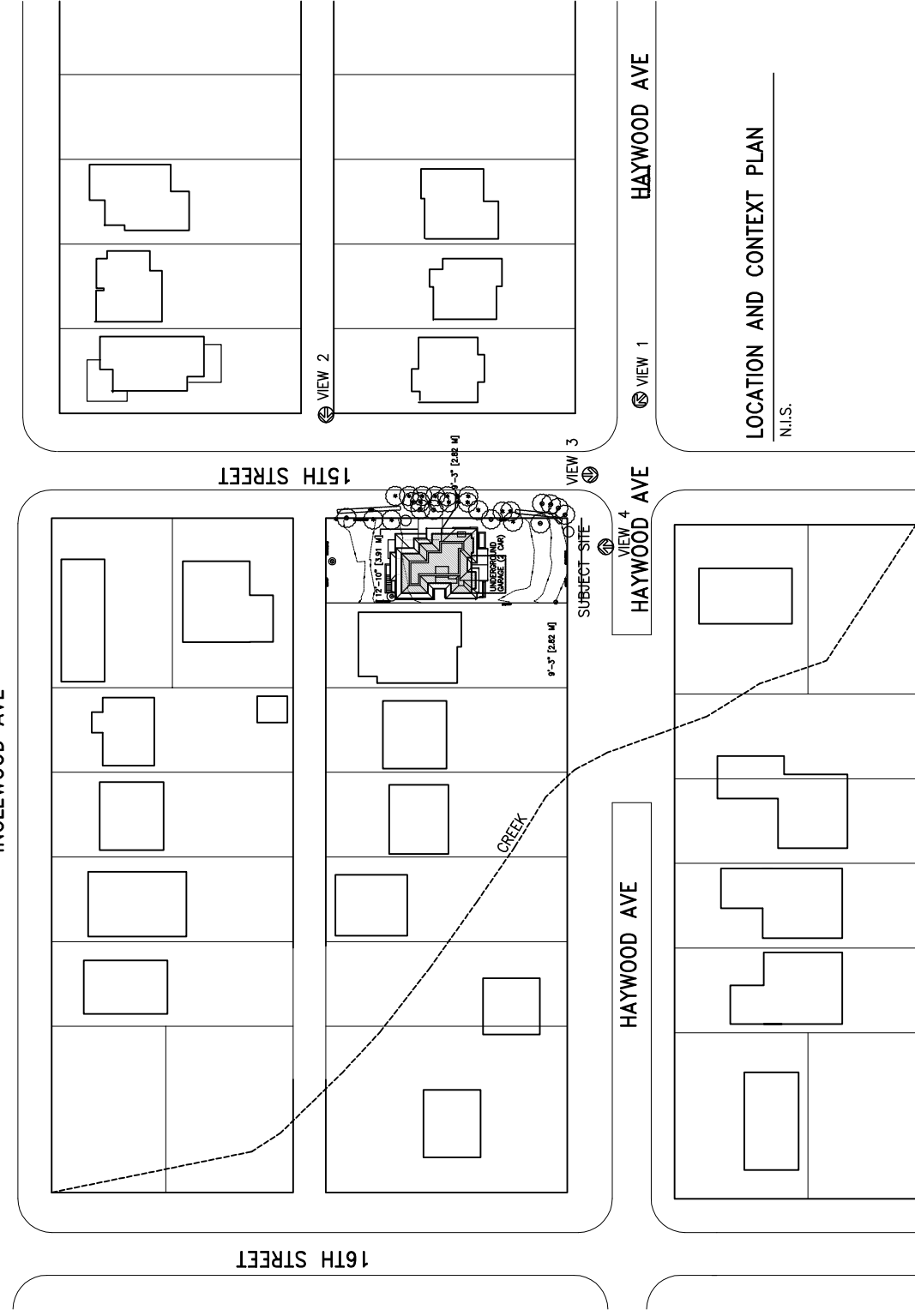
GENERAL NOTES

1. ALL CONSTRUCTIONS SHALL CONFORM TO THE BC BUILDING CODE 2012 AND WEST VANCOUVER BY-LAWS.
2. ELECTRICAL WORK SHALL CONFORM TO CANADIAN ELECTRICAL CODES
3. PLUMBING WORK SHALL CONFORM TO B.C. PLUMBING CODE
4. CONTRACTOR SHOULD CHECK AND COORDINATE ALL DIMENSIONS PRIOR TO PROCEEDING
5. ALL CONCRETE FOUNDATION WALL TO BE DAMPROOFED W/2 COATS OF ASPHALT DAMPROOFING
6. CONCRETE USED SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3600 PSI @ 28 DAYS (25 MPa) FOR GARAGE SLAB - 32 MPa.
7. ALL WOOD PLATES ON CONCRETE FOUNDATION TO BE DAMPROOFED W/1/4" FELT
8. DOUBLE JOISTS UNDER ALL PARTITIONS
9. ALL WINDOWS TO BE DOUBLE GLAZED W/ 1/2" AIR SPACE BETWEEN GLAZING
10. ALL CHIMNEYS, VENTS AND FLUES, AS WELL AS ANY ROOF PUNCTURE, TO BE PROPERLY FLASHED
11. ALL EXTERIOR ELECTRICAL OUTLETS BE PROVIDED W/ SPRING LOAD W.P. CAPS
12. NO CABLES TO BE ROUTED OVER ANY DECK AREA
13. INSULATED ROOF AREA
14. ALL GRADES SHOWN ARE EXISTING AND FINISH GRADE
15. SMOKE ALARMS TO BE PROVIDED AS SHOWN ON PLANS

SITE PLAN NOTES:

- DRAIN ALL IMPERVIOUS SURFACE AND PROVIDE SITE DRAINAGE;
- PROVIDE PERIMETER DRAIN TILES;

LEGEND:
 ELEV2 FINISHED GRADE ELEVATION
 ELEV2 EXISTING GRADE ELEVATION



CDS CHEN DESIGN STUDIO LTD.

#255 - 11181 VOYAGEUR WAY
 Richmond, BC V6X 3N9
 Tel: (604) 275-8882
 Fax: (604) 909-1736

This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

Date: 18DEC2014
 Issued For:
 A A DETAIL NUMBER
 B B LOCATION SHEET
 C C DETAIL SHEET

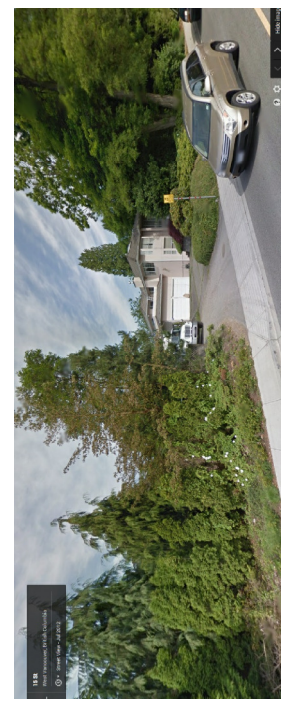
Project:
 1507 HAYWOOD AVE
 W. CHEN RESIDENCE

1507 HAYWOOD AVE
 WEST VANCOUVER, BC

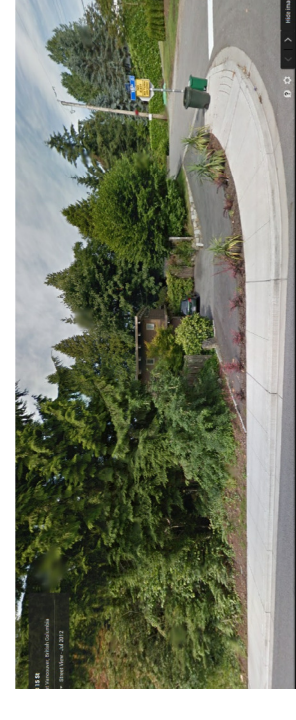
Drawing Title:
 LOCATION AND
 CONTEXT PLAN

Date: NOV2014
 Scale: 1/4"=1'-0"
 Drawn By: XC
 Checked By: XC
 Project No.: 141114
 Drawing No.:

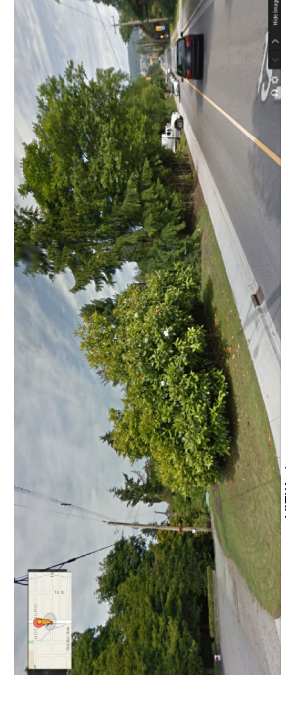
A-1



VIEW 2



VIEW 4



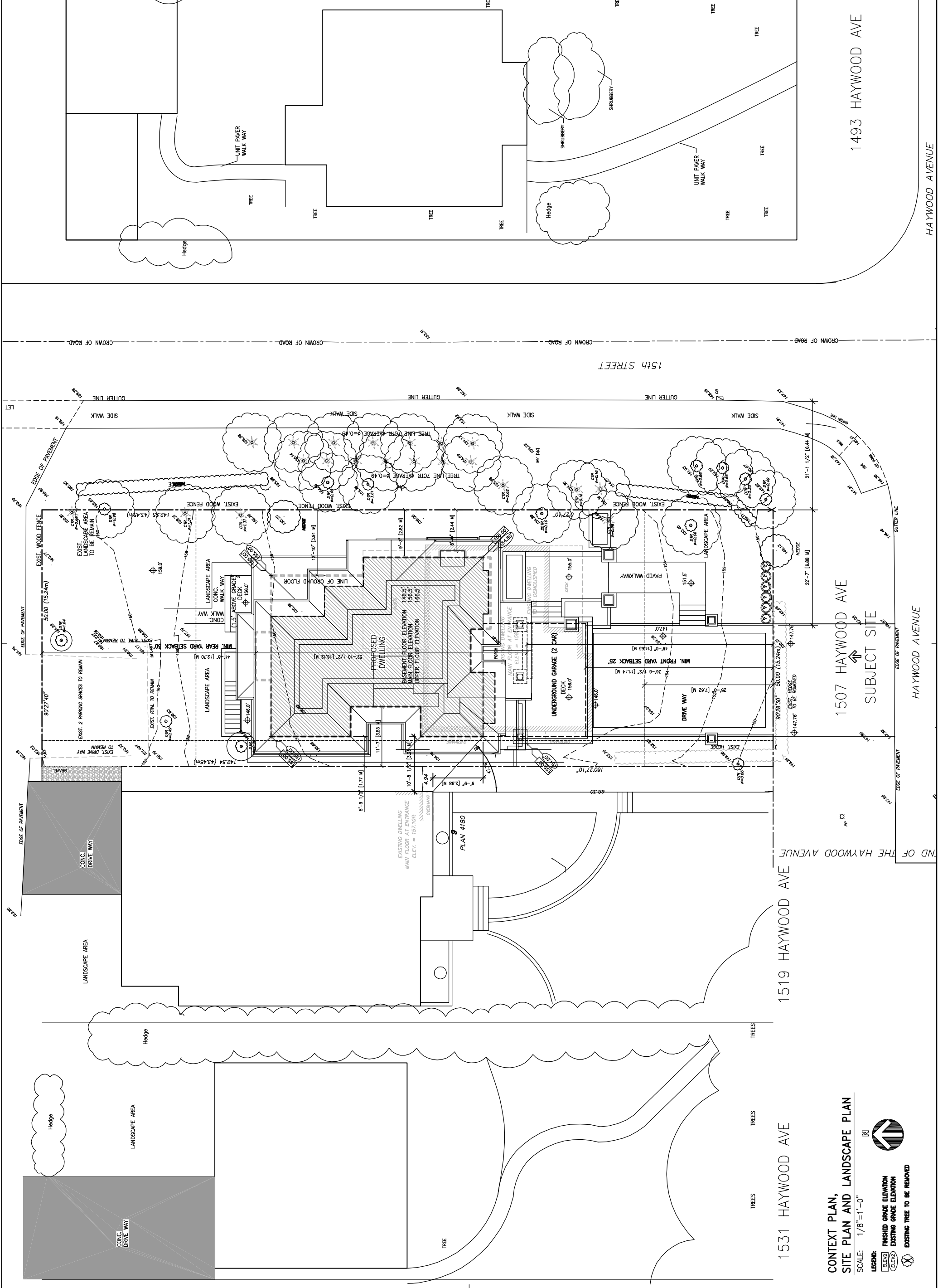
VIEW 1



VIEW 3



LOCATION AND CONTEXT PLAN
 N.I.S.



**CONTEXT PLAN,
SITE PLAN AND LANDSCAPE PLAN**

SCALE: 1/8" = 1'-0"

LEGEND:

- FINISHED GRADE ELEVATION (ELEV)
- EXISTING GRADE ELEVATION (ELEV)
- EXISTING TREE TO BE REMOVED

1507 HAYWOOD AVE
SUBJECT SITE

1493 HAYWOOD AVE

HAYWOOD AVENUE

1519 HAYWOOD AVE

1531 HAYWOOD AVE

15th STREET

PLAN 4180

142.54 (43.45m)

15'-6 1/2"

13'-8"

12'-1 1/2"

2'-4 1/4"

180'27"10"

142.54 (43.45m)

15'-6 1/2"

13'-8"

12'-1 1/2"

2'-4 1/4"

180'27"10"

142.54 (43.45m)

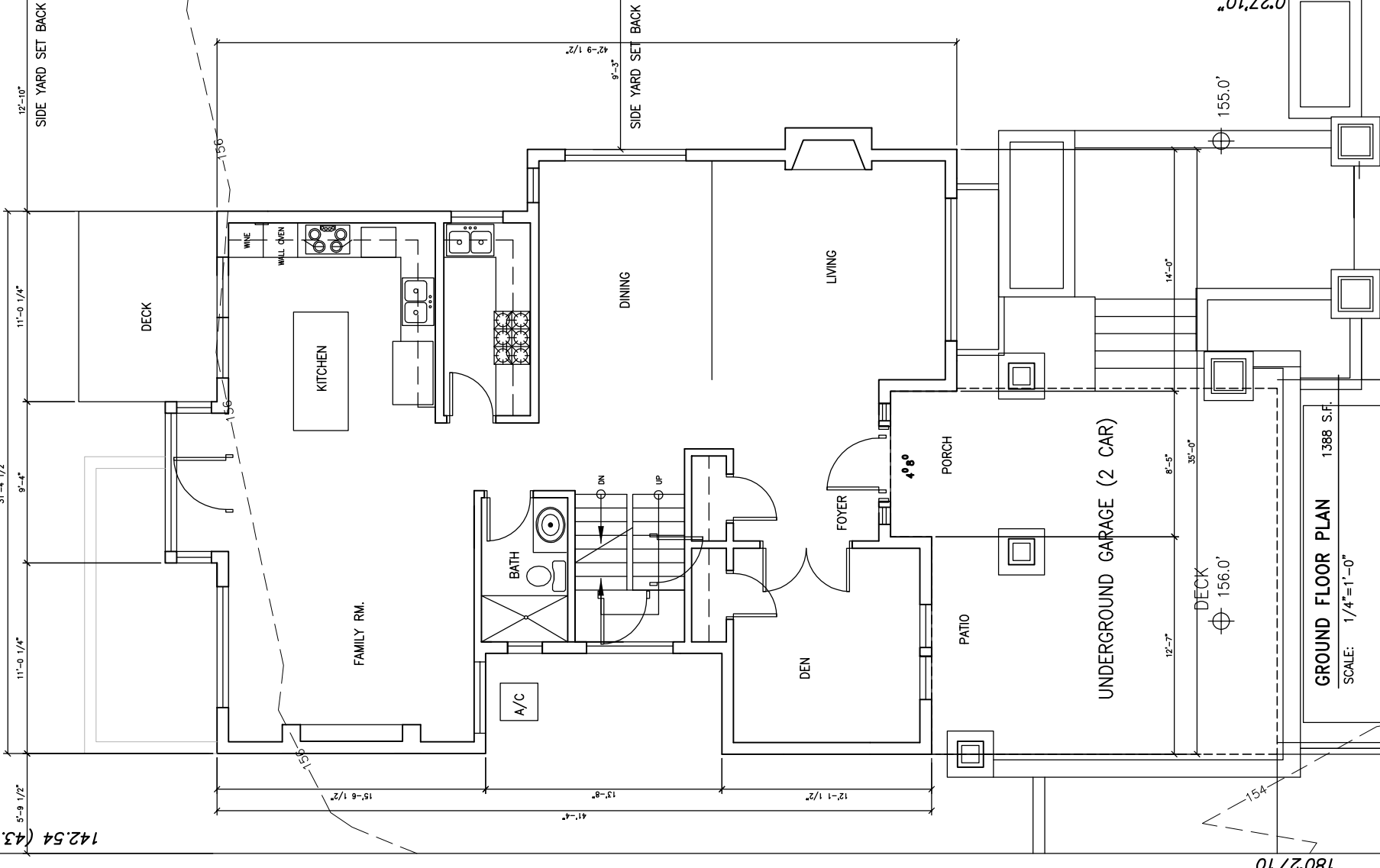
15'-6 1/2"

13'-8"

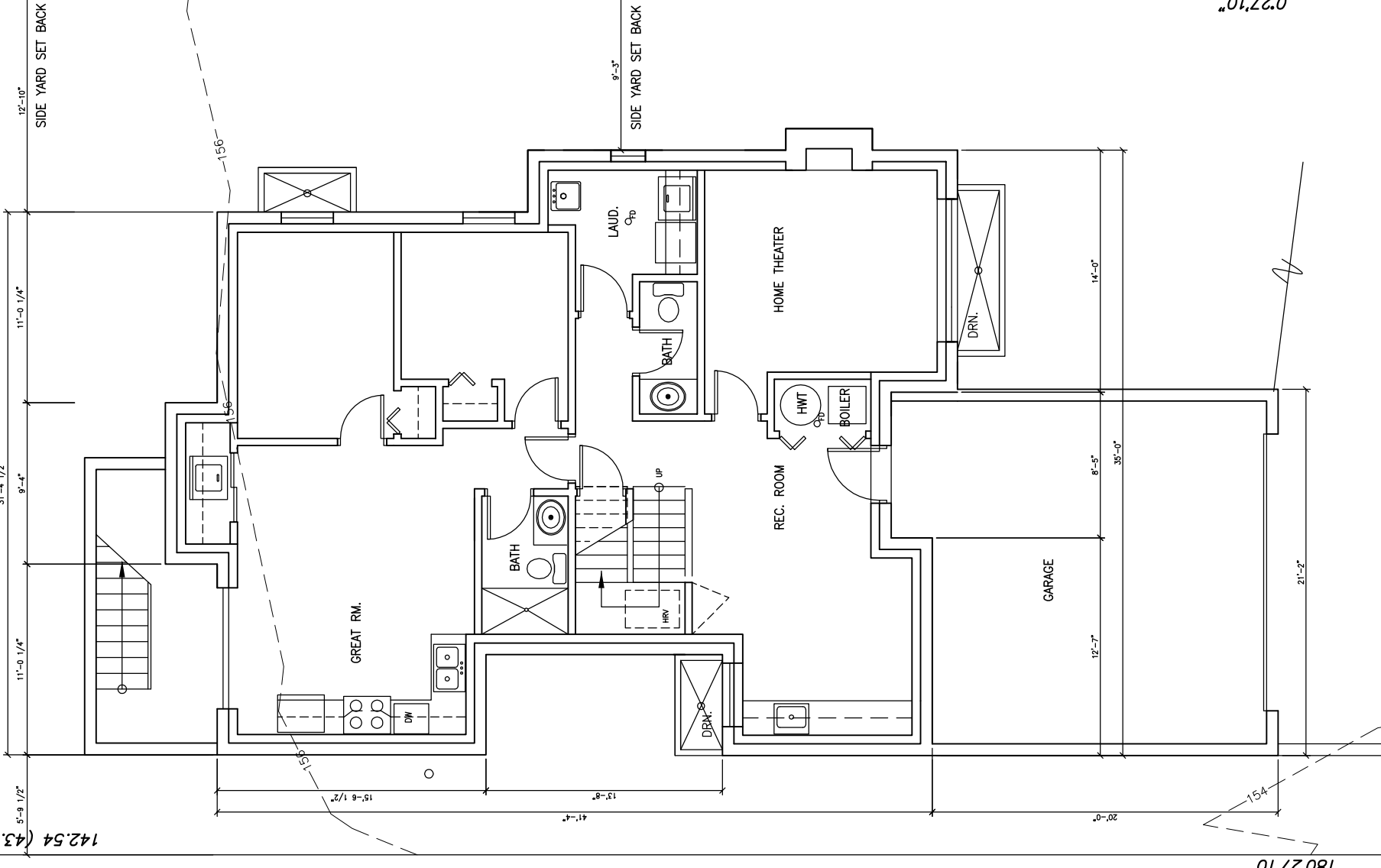
12'-1 1/2"

2'-4 1/4"

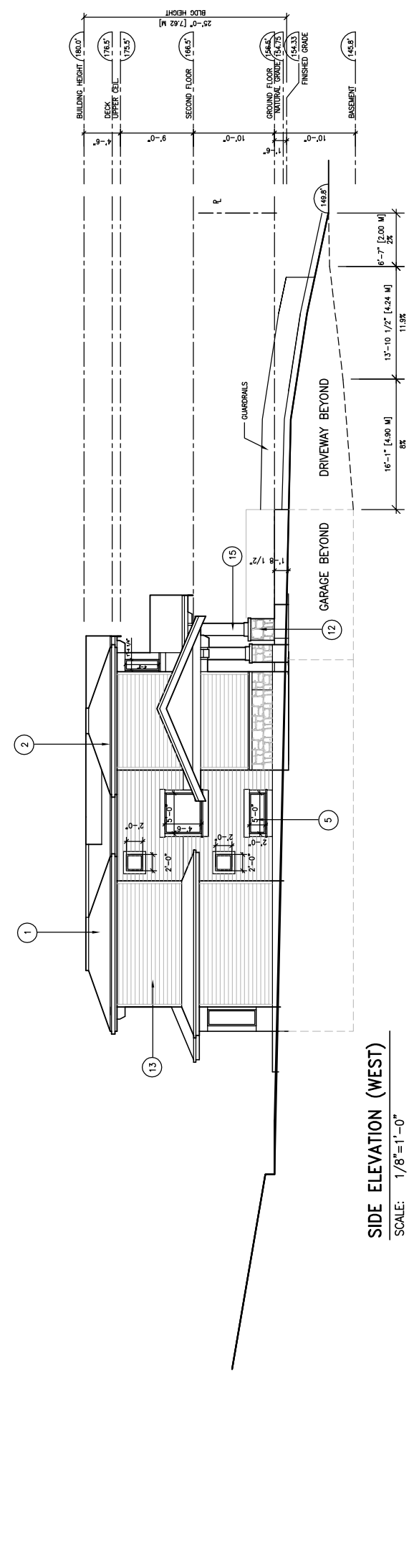
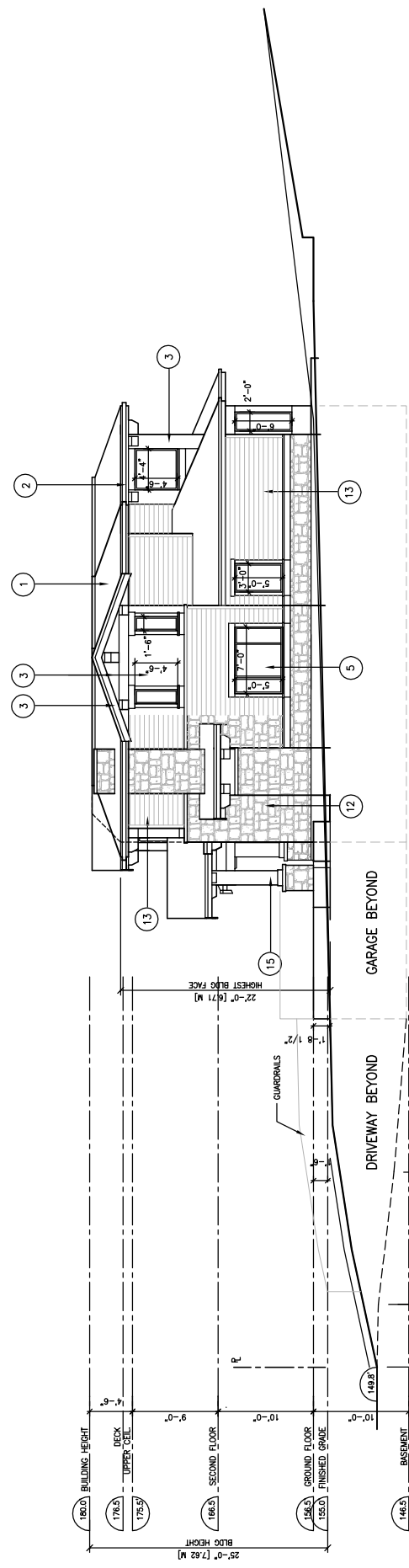
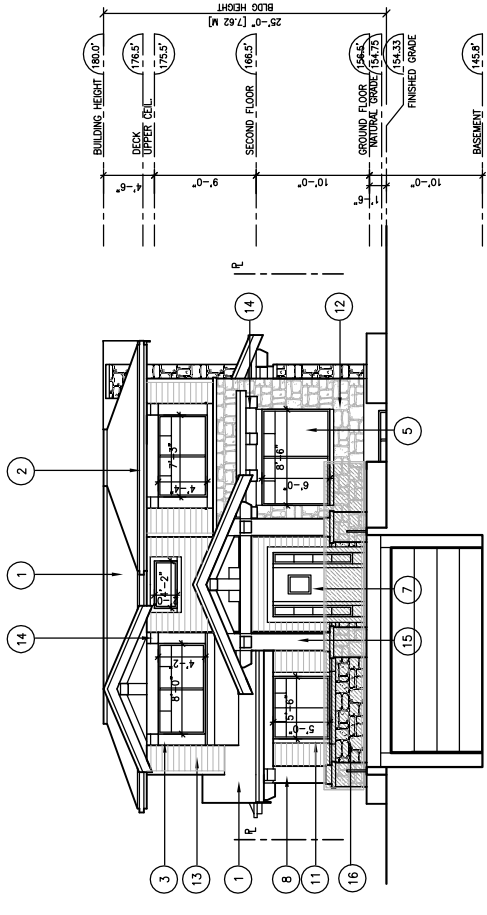
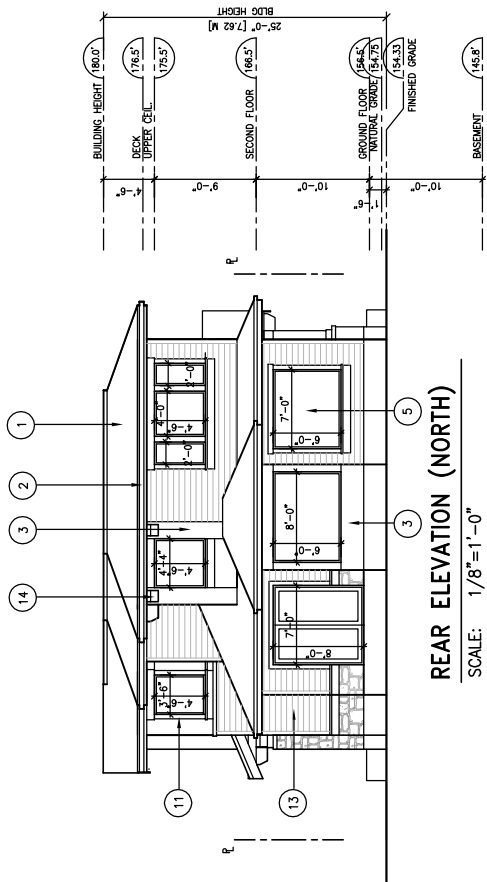
180'27"10"



GROUND FLOOR PLAN
1388 S.F.
SCALE: 1/4"=1'-0"



- EXTERIOR FINISH & COLOR**
- 1 ASPHALT SHINGLES - DUAL BLACK - #10
 - 2 5" ALUM. GUTTER ON 2x6 WOOD FASCIA BOARD - PAINTED (TP)
 - 3 HARDBOARD
 - 4 WOOD TRIM - MATCH THE SIDING COLOR
 - 5 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES 6"X 24" SILL (SLOPE 1:5) & 24" SIDE & TOP TRIM 6"X FLUSHING OVER TRIM PAINTED
 - 6 LIGHT FIXTURE
 - 7 SOLID CORE WOOD DOOR
 - 8 BUILT-UP WOOD COLUMN & POST W/HARDBOARD-PAINTED (TP)
 - 9 GARAGE DOOR
 - 10 LIGHT FIXTURE
 - 11 TRIM BOARD
 - 12 STONE VENEER (NATURAL STONE)
 - 13 HARDBOARD
 - 14 PAINTED OR STAINED WOOD BRACKET
 - 15 PAINTED OR STAINED HEAVY TIMBER
 - 16 GLASS RAILING



This drawing and all the work herein are the property of CDS Chen Design Studio Ltd. and shall remain confidential.

DATE	REVISION	BY	DESCRIPTION

DATE	REVISION	BY	DESCRIPTION

DATE: 11/14/2014
 DRAWN BY: XC
 CHECKED BY: XC
 PROJECT NO.: 141114
 DRAWING NO.: A-6

Project: 1507 HAYWOOD AVE
 W. CHEN RESIDENCE

1507 HAYWOOD AVE
 W. CHEN RESIDENCE

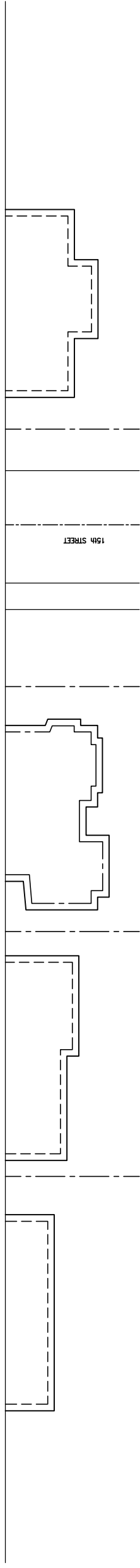
1507 HAYWOOD AVE
 WEST WAKEFIELD, MA

Drawing Title:
STREETSCAPE ELEVATION, CONTEXT ELEVATION AND SECTIONS

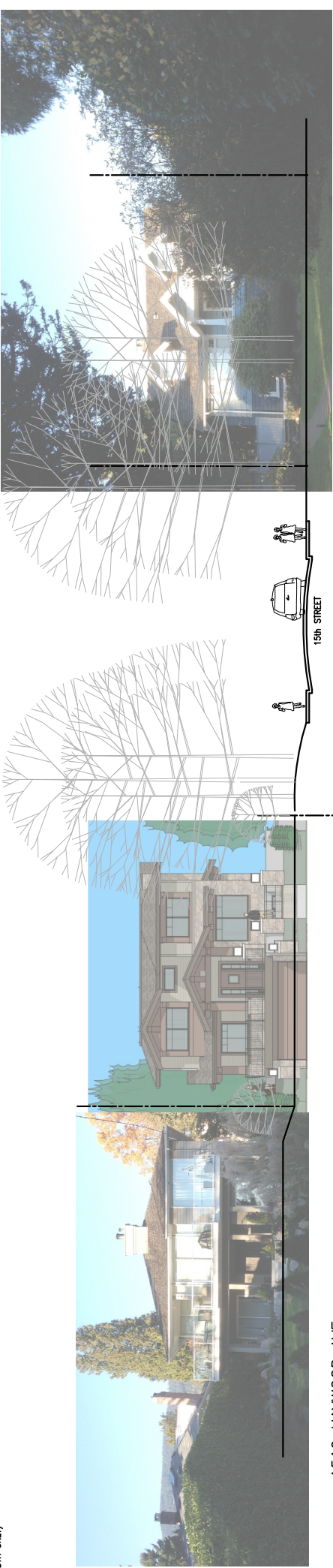
Date: NOV2014
 Scale: 1/4"=1'-0"

Drawn By: XC
 Checked By: XC

Project No.: 141114
 Drawing No.: A-6



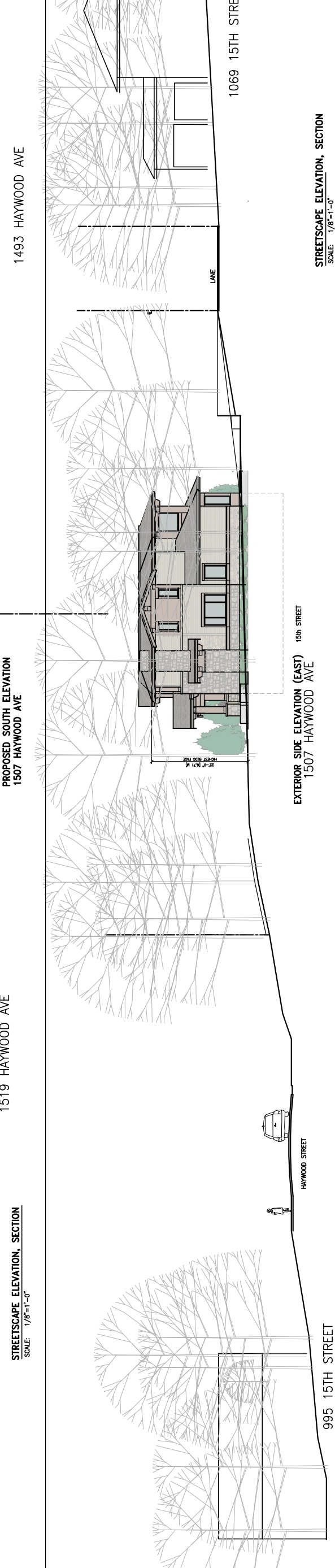
LOT WIDTH AND BUILDING WIDTH REFERENCES FOR STREET SCAPE DRAWING ALONG HAYWOOD AVENUE
 SCALE: 1/8"=1'-0" (USED FOR LOT AND BUILDING WIDTH ONLY)



STREETSCAPE ELEVATION, SECTION
 SCALE: 1/8"=1'-0"

PROPOSED SOUTH ELEVATION
 1507 HAYWOOD AVE

EXTERIOR SIDE ELEVATION (EAST)
 1507 HAYWOOD AVE



STREETSCAPE ELEVATION, SECTION
 SCALE: 1/8"=1'-0"

This drawing shall not be used for construction unless it is counter-signed by the CONSULTANT.

05FEB15	CITY COMMENTS
18DEC2014	

Date: Issued For:

A	A	DETAIL NUMBER
	B	LOCATION SHEET
	C	DETAIL SHEET

All drawings, specifications and other related documents shall be submitted to the CONSULTANT and shall be returned upon request. Reproduction of drawings and related documents without the written permission of the CONSULTANT. The contractor shall check and verify all dimensions and materials and report any discrepancies to the CONSULTANT before proceeding with the work.

Project:

1507 HAYWOOD AVE
W. CHEN RESIDENCE

1507 HAYWOOD AVE
WEST VANCOUVER, BC

Drawing Title:

PERSPECTIVES

Date: NOV2014

Scale: 1/4"=1'-0"

Drawn By: XC

Checked By: XC

Project No.: 141114

Drawing No.:



This drawing shall not be used for construction unless it is counter-signed by the CONSULTANT.

Date: 18DEC2014

Issued For:

A DETAIL NUMBER
B LOCATION SHEET
C DETAIL SHEET

All drawings, specifications and other related documents shall be read in conjunction with the CONSULTANT's contract documents. Reproduction of drawings and related documents without the written permission of the CONSULTANT is prohibited. The contractor shall check and verify all dimensions and elevations against the drawings and specifications before proceeding with the work.

Project:

1507 HAYWOOD AVE
W. CHEN RESIDENCE

1507 HAYWOOD AVE
WEST VANCOUVER, BC

Drawing Title:

BUILDING HEIGHT
CALCULATION

Date: NOV2014

Scale: 1/4"=1'-0"

Drawn By: XC

Checked By: XC

Project No.: 141114

Drawing No.:

CALCULATIONS FOR BOTH AVERAGE
NATURAL AND AVERAGE FINISHED GRADE:

DWELLING

GARAGE

AVERAGE NATURAL GRADE:

ELEVATION X LENGTH =

(A+B)/2 x L1 =	(155 + 154.76) /2 X 15.54	= 2406.84
(B+C)/2 x L2 =	(154.76 + 154.76) /2 X 5.79	= 896.06
(C+D)/2 x L3 =	(154.76 + 154.76) /2 X 13.67	= 2115.57
(D+E)/2 x L4 =	(154.76 + 154.76) /2 X 5.83	= 902.25
(E+F)/2 x L5 =	(154.76 + 153.70) /2 X 12.13	= 1870.81
(F+J)/2 x L6 =	(153.70 + 154.81) /2 X 27.21	= 4197.28
(J+K)/2 x L10 =	(154.81 + 154.80) /2 X 10.58	= 1637.84
(K+L)/2 x L11 =	(154.80 + 154.80) /2 X 4.92	= 761.62
(L+M)/2 x L12 =	(154.80 + 154.80) /2 X 1.25	= 193.50
(M+N)/2 x L13 =	(154.80 + 154.89) /2 X 5.00	= 774.23
(N+O)/2 x L14 =	(154.89 + 154.89) /2 X 1.25	= 193.61
(O+P)/2 x L15 =	(154.89 + 155) /2 X 14.92	= 2311.78
(P+Q)/2 x L16 =	(155 + 155) /2 X 3.58	= 554.90
(Q+R)/2 x L17 =	(155 + 155) /2 X 17.96	= 2783.80
(R+S)/2 x L18 =	(155 + 155) /2 X 11.02	= 1708.10
(S+T)/2 x L19 =	(155 + 155) /2 X 3.00	= 465.00
(T+U)/2 x L20 =	(155 + 155) /2 X 9.33	= 1446.15
(U+V)/2 x L21 =	(155 + 155) /2 X 3.00	= 465.00
(V+A)/2 x L22 =	(155 + 155) /2 X 11.02	= 1708.10
TOTAL:	177.00	27392.44
AVERAGE GRADE=	27392.44 / 177.00	= 154.76

AVERAGE FINISHED GRADE:

ELEVATION X LENGTH =

(A+B)/2 x L1 =	(155 + 155) /2 X 15.54	= 2408.70
(B+C)/2 x L2 =	(155 + 155) /2 X 5.79	= 897.45
(C+D)/2 x L3 =	(155 + 155) /2 X 13.67	= 2118.85
(D+E)/2 x L4 =	(155 + 155) /2 X 5.83	= 903.65
(E+F)/2 x L5 =	(155 + 155) /2 X 12.13	= 1880.15
(F+J)/2 x L6 =	(155 + 155) /2 X 27.21	= 4217.55
(J+K)/2 x L10 =	(155 + 155) /2 X 10.58	= 1639.90
(K+L)/2 x L11 =	(155 + 155) /2 X 4.92	= 762.60
(L+M)/2 x L12 =	(155 + 155) /2 X 1.25	= 193.75
(M+N)/2 x L13 =	(155 + 155) /2 X 5.00	= 775.00
(N+O)/2 x L14 =	(155 + 155) /2 X 1.25	= 193.75
(O+P)/2 x L15 =	(155 + 155) /2 X 14.92	= 2312.60
(P+Q)/2 x L16 =	(155 + 155) /2 X 3.58	= 554.90
(Q+R)/2 x L17 =	(155 + 155) /2 X 17.96	= 2783.80
(R+S)/2 x L18 =	(155 + 155) /2 X 11.02	= 1708.10
(S+T)/2 x L19 =	(155 + 155) /2 X 3.00	= 465.00
(T+U)/2 x L20 =	(155 + 145.8) /2 X 9.33	= 1403.23
(U+V)/2 x L21 =	(145.8 + 145.8) /2 X 3.00	= 437.40
(V+A)/2 x L22 =	(145.8 + 155) /2 X 11.02	= 1657.41
TOTAL:	177.00	27313.79
AVERAGE GRADE=	27313.79 / 177.00	= 154.32

