

Attachments for item **12**  
provided under separate cover

# *Hollyburn Mews*

## *Cottage-style duplexes and coach houses*



*Revised Rezoning and Development Permit Application  
submitted to*

*The Corporation of the District of West Vancouver by  
GELLER PROPERTIES LTD.*

*April 2011*

SCHEDULE   A    
TO  
ATTACHMENT   H

**GELLER PROPERTIES LTD**  
3366 Deering Island, Vancouver BC V6N 4h9  
geller@sfu.ca , 778 997 9980

April 1, 2011

Ms Geri Boyle  
Manager of Community Planning  
The Corporation of the District of West Vancouver  
750 17<sup>th</sup> Street, West Vancouver BC V7V 3T3

Dear Ms. Boyle

**RE: Hollyburn Mews (Formerly Bowling Green) Reference File Number 08-041  
An Amendment to the Rezoning and Development Permit Application  
for 2031, 2047 & 2063 Esquimalt Avenue, West Vancouver**

Many West Vancouver residents are now living in homes or on properties that are *getting too big*. While some are choosing to move into apartments or townhouses, others would prefer a smaller ground oriented home with its own yard and outdoor spaces. Hollyburn Mews is being designed and developed for these buyers.

By this letter, Geller Properties Ltd. (GPL) is pleased to submit an amended application to rezone three single family lots on Esquimalt Avenue, in order to create nine smaller duplex and coach house units. GPL purchased the lands from Bowling Green Townhomes Ltd (BGTL) in September 2010. BGTL submitted the original application in 2008. This application is to be considered along with an Official Community Plan Amendment for the entire block bounded by Esquimalt Avenue, 20<sup>th</sup> Street, Fulton Avenue and 21<sup>st</sup> Street, within which the subject properties are located.

The revised plans have been prepared by Formwerks Architectural Ltd. and Durante Krueck Landscape Architects. They have been carefully designed to cater to West Vancouver residents seeking new smaller housing choices in their community. The new designs are intended to reflect the style of smaller West Vancouver cottages and homes.

Attention has been given to the concerns raised by local residents during the Community Dialogue on Neighbourhood Character & Housing. We have also addressed comments heard from the general public and potential purchasers at a Public Open House on September 21<sup>st</sup>, 2010. Consideration has also been given to earlier comments from staff, the DRC, and feedback from other architects and planners who were asked to review the earlier plans.

This revised application also incorporates my four decades of experience as an architect, planner and developer involved with the design and development of housing catering to seniors and others seeking alternative forms of housing.

GPL recognizes that the consideration of this application, with its somewhat contentious past, is a very important initiative for West Vancouver. With its more intensified land uses and coach houses in an existing single family neighbourhood, this application represents the first of its kind. If it is granted approval and succeeds, it should increase the likelihood of other similar proposals resulting in much needed new housing choices. If it fails, it could discourage consideration of other infill applications in the immediate future.

This report focuses on the revised submission and the changes that have been made since GPL took over the project. We hope that you will agree that it addresses many of the expressed community concerns and now demonstrates an opportunity to create new housing choices for West Vancouver that, as noted in the title of your May 2010 Housing Forum 'fit us' and 'fit in'. We hope it will meet with staff and Council, and ultimately broad community approval.

Yours sincerely,



Michael Geller B.Arch, MAIBC, FCIP



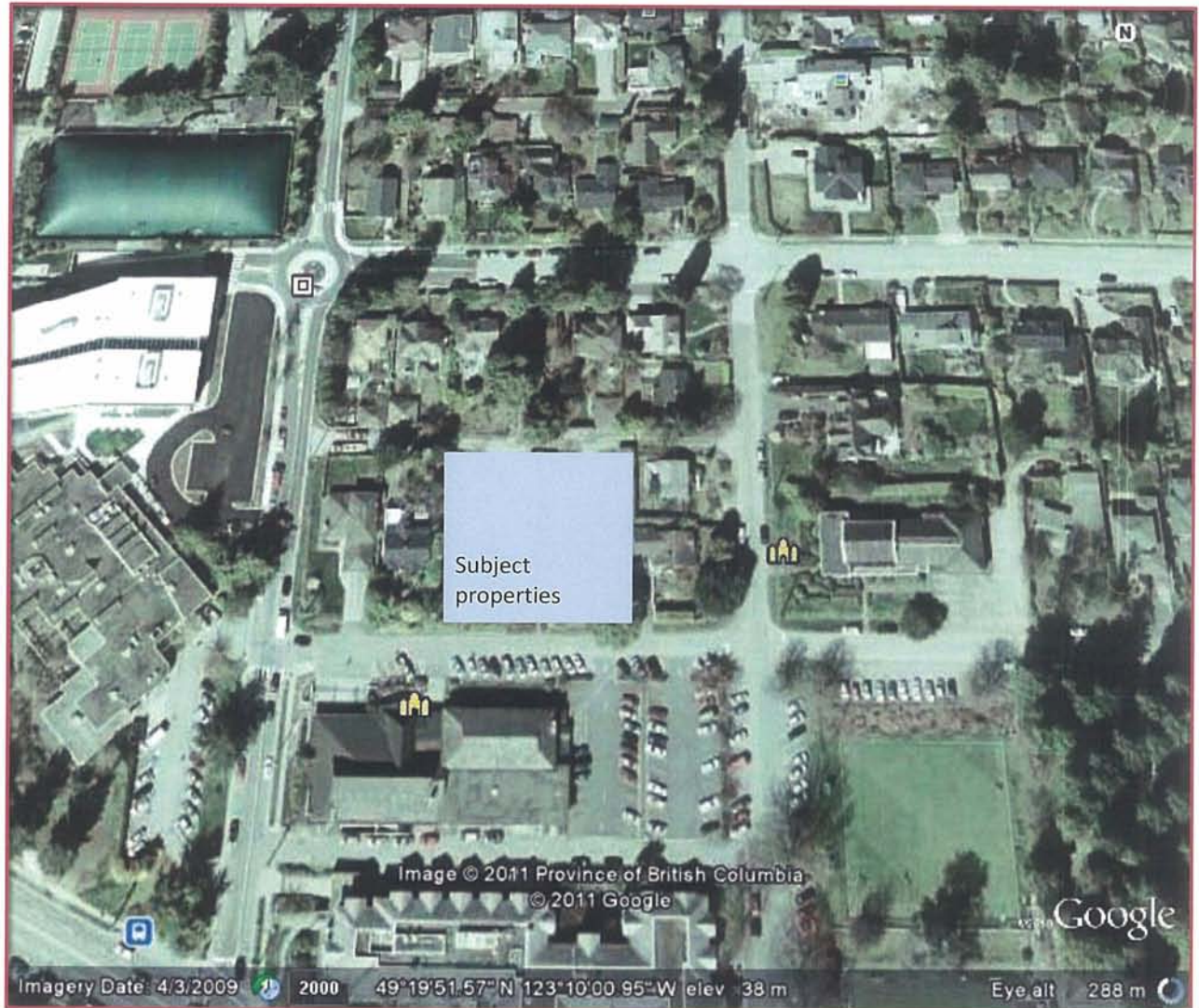
## Site Location and Amenities

There is probably no better location in West Vancouver for the type of development being proposed. The property is located only one block north of Marine Drive, two houses away from the Seniors' Centre and new Recreational Centre. Immediately to the south is West Vancouver United Church, and Hollyburn House. St. Stephens Anglican and Christian Science Church are both nearby. The West Vancouver Bowling Greens are immediately to the south-east.

The property is very close to public transit, the West Vancouver Public Library, and the shops and services of nearby Ambleside Village. Moreover, the area is relatively flat which makes it easy to walk to all of these facilities.

The block within which the three lots are located is very unique, by virtue of the surrounding uses and conditions. Fulton Avenue separates it from the more typical single family neighbourhoods to the north. A successful townhouse development was constructed along Gordon Avenue to the north-west and Council is considering a proposal for a new seniors oriented development on the former Wetmore Motors site immediately west of the senior's centre. The Kiwanis Seniors' complex is also nearby.

For all of these reasons, this is considered a most suitable location for a new cluster infill development, offering duplexes and coach houses designed for longstanding West Vancouver residents who are ready to downsize. It will allow them to be closer to a broad array of services and amenities that are easily accessible, without having to get into a car.



### *Previous Plans and Model*

This revised application maintains the innovative design concept conceived by Mehrdad Rahbar of Vernacular Design to replace three older single family houses with three duplexes, each designed to appear like a larger single family house, and three laneway coach houses. However, following a careful review of the planning history of this application, GPL thought that the overall site design, individual building designs and landscaping plan could be improved to increase liveability for the residents and improve the overall neighbourhood 'fit'. The following summarizes the key objectives of the design revisions.



#### ***Previous Ground Floor Site Plan***

*One of the concerns with the earlier scheme was the manner in which the buildings were lined up along the lane. There was also a privacy and security concern since the bedrooms of the coach houses were located at grade.*



#### ***Previous Second Floor Plans***

*There was also a concern with the suitability and amenity of the large north-facing decks above the garages, serving the upper level of the coach houses.*



#### ***Model of Previous Proposal***

*While the overall concept was considered very innovative and appropriate, there appeared to be too little space between the coach houses and duplexes, and too many pathways traversing the site.*

### *Design Revision Objectives*

Improve the overall appearance and neighbourhood fit through the creation of a more traditional West Vancouver cottage-style form of development;

Decrease the 'bulk' of the coach houses while increasing the variation of spaces and buildings along the lane;

Increase the amount of off-street parking;

Increase the distance and sense of open space between the duplexes and coach houses;

Introduce a more informal 'garden-like' landscape character with increased landscaped areas and reduce paved walkways;

Balance the building size, *site coverage* and *floor space ratio* across the property;

Improve liveability and accessibility for 'empty nesters' and seniors seeking to *age in place* on this exceptionally well located property.



As illustrated in this model of the **previous proposal**, the amount of green space between the duplexes and coach houses was limited. A key objective is to increase the open space between the duplexes and coach houses.



An example of the type of porch being proposed for each of the duplexes and coach houses.



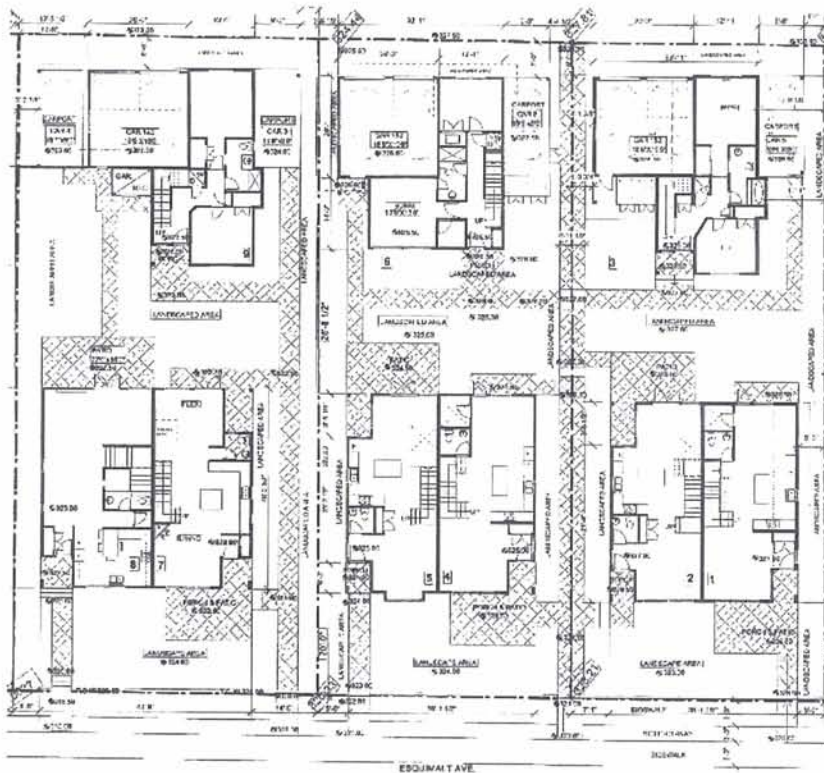
An example of a more communal, informal garden-like landscape character considered appropriate for the site

### Previous Site Plan

The previous application maintained the existing property boundaries with a 60' lot at the western end of the property, and two contiguous 50' lots. Three separate residential bare land strata plans were proposed.

While this was seen as a way of maintaining the single family pattern of development along Esquimalt Avenue, it did create anomalies in terms of building size, density and site coverage across the properties. Moreover there was a potential for conflicts amongst the strata corporations over the future maintenance of the landscaped areas.

Since the coach houses had their bedrooms at grade, it was not possible to create individual entries to the units from the lane. This resulted in a less active 'lanescape'.

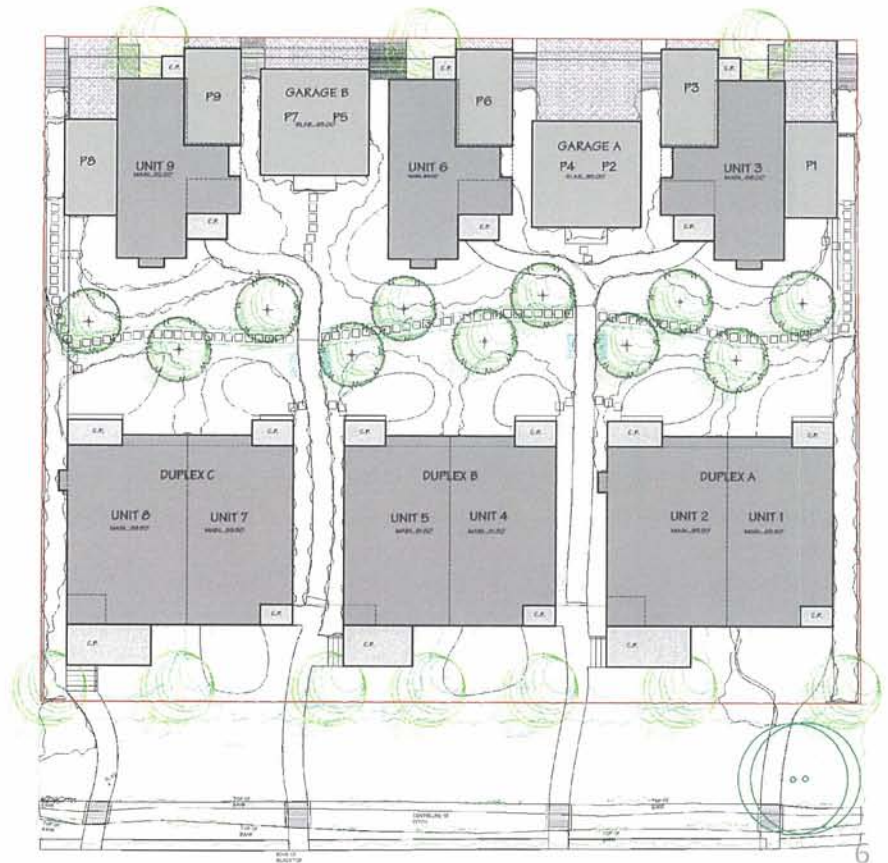


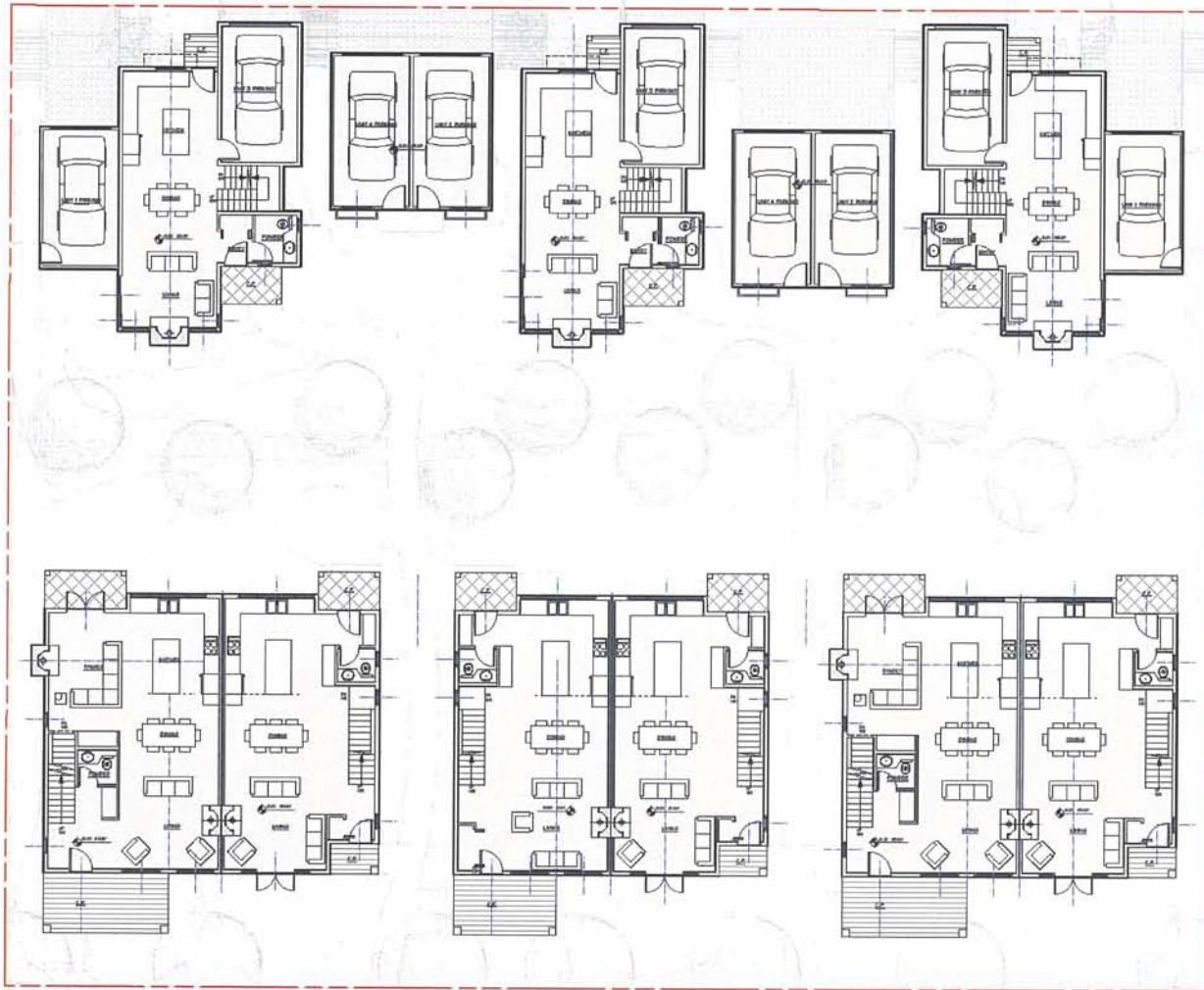
### Revised Site Plan

The revised plan maintains a single family pattern with a central 50' lot flanked by two 55' lots. However, it is proposed that the three lots be legally consolidated to allow one strata plan for the development, and more variety in the spacing between the coach houses and parking garages along the lane.

The revised plan results in an improved 'lanescape' by separating some of the garages from the coach house units, and varying the set-backs for the garages. By reversing the coach house floor plans, and putting the living spaces at grade, the coach houses also have 'back doors' to the lane along with increased setbacks.

Given the unusually wide boulevard along Esquimalt Avenue, it is proposed that the front yard setback be reduced to 15 feet from the property line to the building face, thus increasing the separation space between the duplexes and coach house units, and creating a more intimate, 'neighbourly' character along the street.





### *Features of the new plans*

The new site plan generally achieves the design revision objectives. The separation space between the duplexes and coach houses has been increased as a result of a reduction in the depth of some units and the reduced setback along the street.

The number of parking spaces has increased from 10 to 13. Nine of the spaces are in garages. The remaining spaces, primarily for visitors, are located in front of the garages. This is discussed in more detail later in the report.

Each duplex block has a large front porch at its western end, raised approximately 2 feet off grade to accommodate the site grades. There are also small covered porches at the rear of each unit to add amenity and contribute to a greater sense of neighbourliness and privacy.

The coach houses have a small covered porch at each entry from the garden. A second covered entry leads from each coach house to the lane.

The number of pathways from the street has been reduced along with the number of pathways linking the garages to the rear of the units. The east-west pathway has been eliminated and replaced by a stepping stone path to allow neighbours to go from one part of the community to the other.

There are three unit types: a smaller duplex, (4 units); a larger duplex (2 units), and a coach house (3 units). Although the units are not large, considerable attention has been given to the creation of flexible, 'furnishable' and liveable spaces.

'L-shaped' kitchens each have a central island with seating, full height pantries, and large windows over the sink. Each of the homes has a built in desk area to accommodate computers and printers.

The bedroom levels have been revised to provide for two 'master bedrooms', each with its own en-suite bathroom. This is considered appropriate for empty nesters and seniors who often prefer separate bedrooms or an en-suite bedroom for adult children or guests.

Considerable attention has been given to creating a variety of covered and open outdoor spaces for each unit.



**LEGEND**

- 4' wide paved walkways
- Paved patios
- Gravel
- Concrete
- Low planting (0-3' ht.)
- Screen planting (3-5' ht.)
- Grasscrete at driveways
- Lawn
- 1.5' sq. pavers
- Possible Aluminum Fence (5' ht.) OR Wood Fence (3' ht.)
- Low retaining wall around patios



4	April 13, 2011	Revised Proposal
3	March 7, 2011	Parking Plan Submission
2	Feb 16, 2011	Finalize
1	Jan 21, 2011	Send for Planning
0	Jan 11, 2011	Start

Project:  
 Hollyburn Mews  
 #2031, 2047, 2063  
 Esquimalt Ave.  
 West Vancouver, BC

Project:  
**Hollyburn Mews**  
 #2031, 2047, 2063  
 Esquimalt Ave.  
 West Vancouver, BC

Drawn by: JC  
 Checked by: Jane Duran  
 Date: Jan 21, 2011  
 Scale: 1/8" = 1'-0"  
 Drawing Title: Landscape Plan

Project No: JD11-01  
 Sheet No:



### *Landscaping concept*

The new landscaping concept is an integral aspect of the revised design. The goal is to create an attractive, informal garden setting with a variety of perennials and planting materials of varying heights. The inspiration for the design comes from traditional West Vancouver 'English Country Gardens' and gardens found in some of the newer 'cottage-style' developments being created in the Pacific Northwest, as illustrated on this page.

There is a need to review with engineering and BC Hydro whether an evergreen tree on the public boulevard near the south-east corner of the property can be retained, noting the obligation to underground the BC Hydro service currently running above this tree.

A new 4 to 5 foot gravel sidewalk is proposed immediately adjacent to the road surface. This location is preferred since it will be easier to connect to a desired sidewalk fronting the properties to the west and east of the subject properties. GPL will offer to extend this sidewalk across the properties to the east and west, in order to create a safer pedestrian route to the nearby seniors centre, at no cost to the owners.

Particular effort has been given to minimizing the number of pathways running through the site. The 6 duplex units are served by 4 pathways from the street. 'Tumbled pavers' are proposed for the pathways and patio areas. A landscaped trellis structure between the duplex buildings will lead to the coach houses that also have separate entrances from the lane.

Drought resistant native plantings, combined with wildflowers and other perennials will be used throughout. However, raised beds will also be provided where individuals can plant annuals if they so desire. Some of the existing plant materials will be reused where feasible.

While some lower fencing may be provided in some areas, the goal is to create a continuous landscaped environment that is not broken up by high fences and property lines.

Two small communal seating areas are proposed along the shared pathways, near the intersection of the east-west stepping stone path.



*A new gravel sidewalk is proposed along the Esquimalt Avenue frontage; a large tree near the south east corner of the property will hopefully be maintained (below)*



*The natural character of the rear lane will be maintained and upgraded; careful attention will be given to new landscaping and accommodating garbage cans*





Tumbled Pavers at Patio's - to be grey in colour



Rectangular Pavers at main walkways thru site



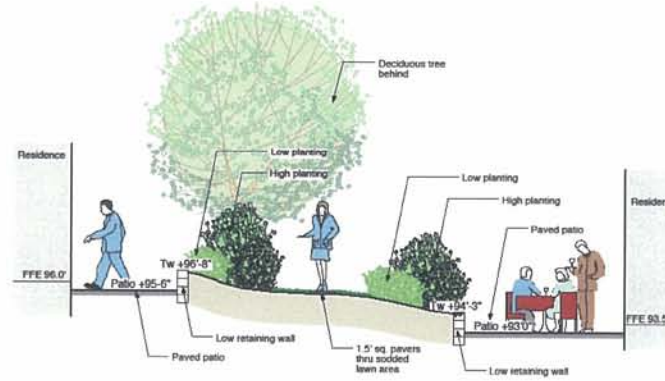
3' ht. Wood fence (as appropriate and if required)



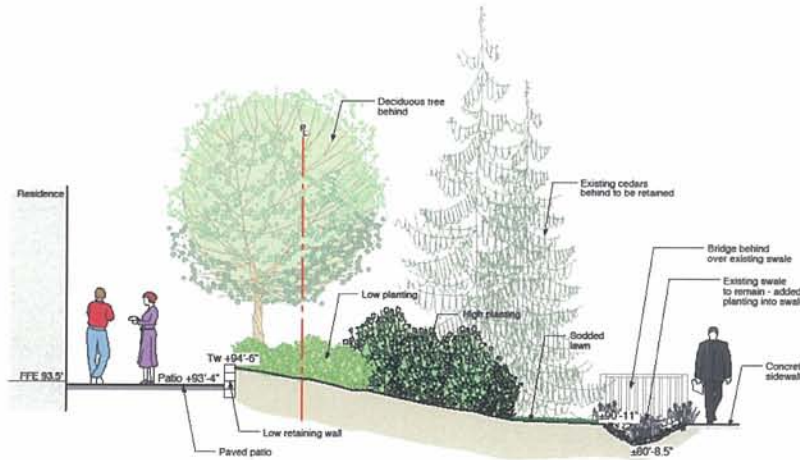
6' ht. Metal fence (as appropriate and if required)



Low retaining wall around patios



Section A - Back Patios of Units 1 and 3 (at north east corner)  
Scale 1/4" = 1'



Section B - Front Patio at Unit 1 Facing Esquimalt Ave. (south east corner)  
Scale 1/4" = 1'

Rev.	Date	Revision
2	Feb. 15, 2011	Revisions Issued for Reviewing
1	Jan. 21, 2011	

Revisions:

*Jane Durante*

Jane Durante Landscape Architect

Project:

**Hollyburn Mews**

#2031, 2047, 2063  
Esquimalt Ave.,  
West Vancouver, BC

Drawn by: JE

Checked by: Jane Durante

Date: Jan. 21, 2011

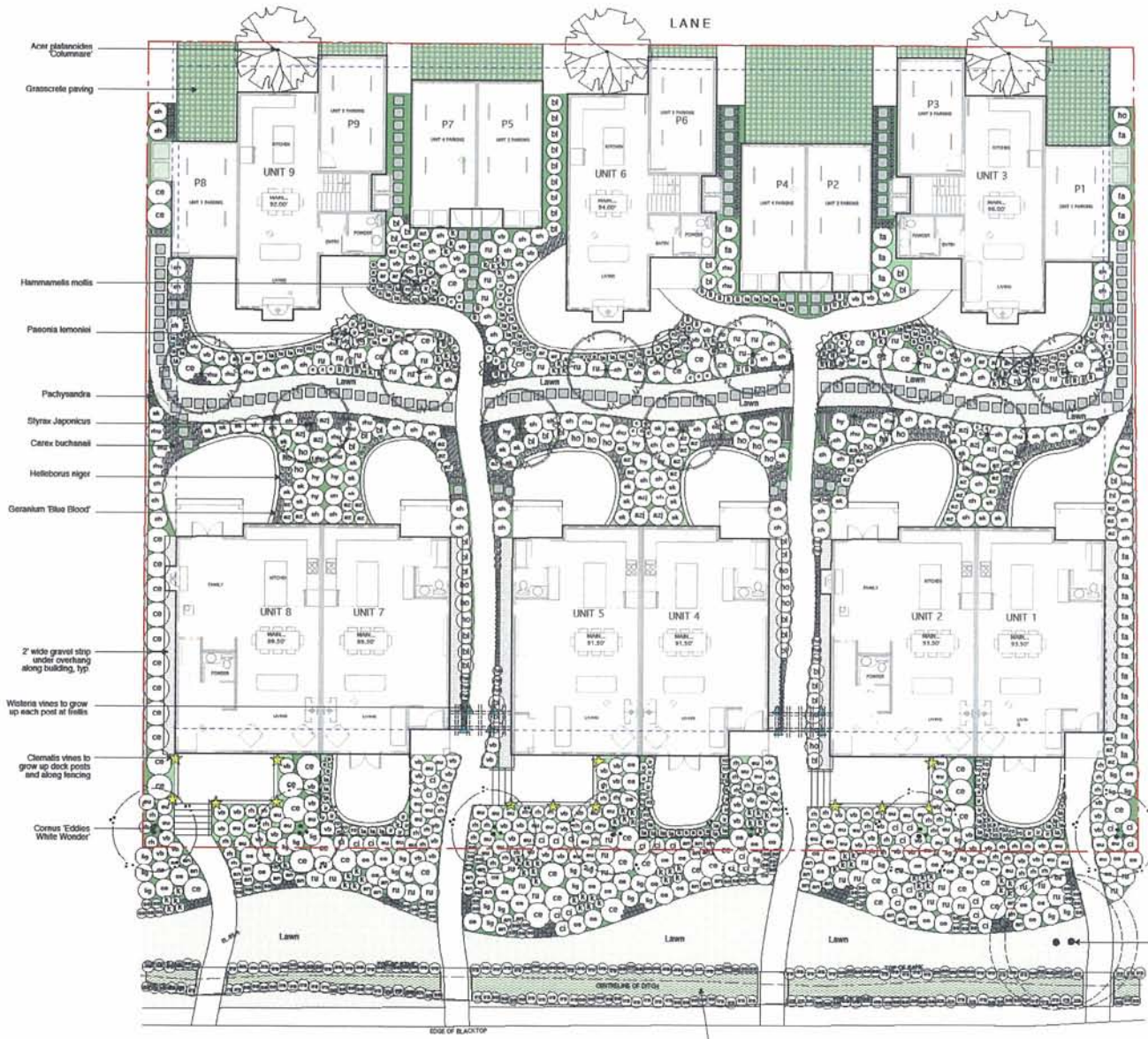
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Drawing Title:

**Sections**

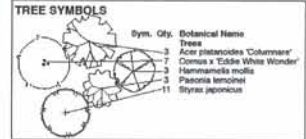
Project No.:  
**JD11-01**

Sheet No.:



**PLANT LIST**

Sym.	Qty.	Botanical Name	Common Name	Comments
<b>Trees</b>				
See	3	Acer platanoides 'Columnare'	Columnar Maple	7m cal. D&D
See	3	Cornus x 'Eddie White Wonder'	Eddie White White Dogwood	7m cal. D&D
See	3	Hammamelis mollis	Chinese Witch Hazel	2m Ht. Multistem
See	11	Paeonia lemoinei	Tree Peony	2m cal. D&D
See	11	Styrax japonicus	Japanese Snowbell	7m cal. D&D
<b>Shrubs</b>				
See	28	Azalea 'Dumco White'	White Azalea	#2 pot
See	6	Azalea mollis 'Kramer Brilliant Red'	Bright Red Azalea	#2 pot
See	36	Ceanothus impressus 'Victoria'	Victoria Ceanothus	#5 pot
See	54	Chrysa ternata	Mexican Orange Blossom	#2 pot
See	13	Fatsia japonica	Japanese Aralia	#3 pot
See	5	Hydrangea serrata 'Blue Bird'	Blue Hydrangea	#2 pot
See	32	Camellia x delavayi	Camellias	#2 pot
See	39	Rhododendron 'Elcaboth'	Red Rhododendron	#2 pot
See	23	Rhododendron 'Chisquer'	White Rhododendron	#2 pot
See	30	Rosa rugosa 'Aba'	White Rose	#2 pot
See	20	Stimelia rostrata	Japanese Stimelia	#2 pot
See	59	Viburnum davidii	Viburnum	#2 pot
<b>Perennials, Grasses, Vines</b>				
See	26	Anemone pulsatilla	Pulsatilla	#1 pot
See	13	Anemone hepatica	Silver Sage	10cm pot
See	29	Blechnum spicatum	Deer Fern	#1 pot
See	50	Carex bochuensis	Leathleaf Sedge	#1 pot
See	20	Corniflora striata 'White Pearl'	White Pearl Corniflora	#1 pot
See	9	Clematis x durandii	Blue Clematis	#1 pot
See	20	Crococnemis x cocconaeifolia	Orange/Yellow Crocicnemis	10cm pot
See	41	Euphorbia characias 'Wulfen'	Evergreen Euphorbia	#1 pot
See	9	Geranium x magniflorum 'Blue Floor'	Blue Blood Geranium	10cm pot
See	78	Hebeborus niger	White Lantern Flower	10cm pot
See	3	Heuchera angustata 'Spindora'	Spindora Heuchera	#1 pot
See	10	Hosea exoniensis 'Elegance'	Blue Hosea	#1 pot
See	15	Iris penicillata	Yellow Flag Iris	10cm pot
See	15	Iris sibirica 'Butter and Sugar'	Butter and Sugar	#1 pot
See	36	Kingphila 'Royal Castle'	Royal Castle Red Hor Poker	#1 pot
See	28	Lamproloma angustifolia 'Mammara'	English Lavender	#1 pot
See	10	Ligularia stenocarpa 'The Rocker'	Yellow Ligularia	#1 pot
See	15	Liriope muscari	Lilyart	#1 pot
See	30	Obiobegon plantaginaceus 'Niger'	Black Mondo Grass	10cm pot
See	98	Pachyandra terminalis	Japanese Spurge	10cm pot
See	128	Phlox paniculata 'Blue Lagoon'	Blue Lagoon	10cm pot
See	9	Salvia officinalis 'Purpurea'	Purple Common Sage	10cm pot
See	94	Sedum 'Autumn Joy'	Autumn Joy Sedum	#1 pot
See	5	Wisteria floribunda 'Black Dragon'	Black Dragon Wisteria	#1 pot
<b>Plants for Existing Swale</b>				
See	60	Callagrostis canadensis	Bluejoint	30cm O.C.
See	60	Carex rostrata	Beaked Sedge	30cm O.C.
See	60	Carex stricta	Silky Sedge	30cm O.C.
See	60	Juncus effusus	Soft Rush	30cm O.C.
See	60	Phormium tenax	Knob Pineapple Palmetto	30cm O.C.
<b>Planting Notes</b>				
1. Plant list quantities take precedence over plan graphics.				
2. All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.				
3. Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #2 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the B.C.L.A. (AAS) Standard.				
4. All Soil Landscape Areas are to be irrigated. All irrigation to be to IASDC Standards. Provide irrigation to front boulevard (Swale and pipes under Property Line).				
5. All trees to be installed in accordance with CMTA Standards using a high efficiency irrigation system.				
6. All plants are to be sourced from nurseries certified free of P. ramorum.				



3 March 2011 Planting Plan Addendum  
 4 Feb 16, 2011 Revisions  
 1 Jan 21, 2011 Issued for Planning

Revisions:  
 [Handwritten notes and signatures]

Jane Decaire Landscape Architect

Project:  
**Hollyburn Mews**  
 #2031, 2047, 2063  
 Esquimalt Ave  
 West Vancouver, BC

Drawn by: JE  
 Checked by: Jane Durand  
 Date: Jan 21, 2011  
 Scale: 1/8" = 1'-0"  
 Drawing Title:

**Planting Plan**

Project No:  
**JD11-01**  
 Sheet No.:

## Parking

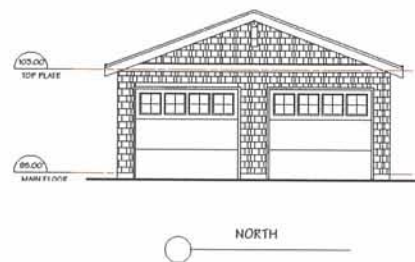
A number of people have expressed the concern that there is a need for additional parking to serve the new residents and their visitors. While the development is expected to appeal to those who are ready to give up one or more cars, it is acknowledged that additional off-site parking would be desirable.

The previous scheme provided 10 parking spaces for the 9 units. Six of the spaces were in garages; the remainder were open carports.

The revised plan offers a different parking solution. There are 9 garages and four open surface spaces for a total of 13 spaces:

The revised layout avoids having any double garages attached to the coach houses. Instead, single car garages are on either side of the units. The remaining cars are accommodated in two double garages set back from the lane. By varying the garage setbacks, roof designs, exterior materials and design, each has its own distinct character.

It is proposed that the surface parking spaces in front of the separate garages be paved with a 'reinforced grass' product to create 4 tandem parking spaces for visitors and green areas along the lane. This, combined with the varying setbacks should result in a very successful 'lanescape'.



### Setbacks

In order to rationalize setbacks and create a more comprehensive and attractive development, it is proposed that the three lots be consolidated. This will also simplify the planning, development, and future operation of the housing.

Given the very wide public boulevard along the street, and desire to maximize the space between the duplexes and coach houses, GPL is requesting that staff consider a reduction in the front setback to 15'. Not only will this improve the separation space between the duplexes and coach houses, it will also create a more friendly and neighbourly character along the street. Special landscaping will be planted at the western edge of the property to screen the end duplex from its neighbour and transition to the greater front setback for this property. The following summarizes the various setbacks:

The **Front setback** is proposed at 15 feet from the property line, which results in an approximate 45 foot setback from the road surface. The front porch protrudes into this setback.

The **Rear setback** from the Lane varies quite considerably. Three of the garages are set back 2 feet from the lane; the remainder vary between 6 feet and 18 feet. The coach houses are now set back 8 feet from the lane.

The **Side setback** is generally 5 feet. However, it is proposed that the setback for the two garages be reduced to 4 feet, in order to allow an adequate interior garage width and reasonable separation spaces between the detached garages and coach houses.

It is understood that porches and a chimney flue will be allowed to protrude into the proposed setback areas.

### Site Coverage and Density

The proposed site density for the housing is 0.6 and the site coverage is 0.4. This is consistent with the earlier proposal.

However, in order to better respond to the needs of those wanting to downsize into the development from larger single family homes, GPL is requesting that staff allow below ground 'cellars' for each of the units to accommodate mechanical equipment, storage, workshop areas, and other non-habitable spaces.

The cellars will generally be completely below grade, except where the site slope dictates otherwise. No bathrooms or bedroom spaces will be provided or allowed. There will be no access to the cellars from the outside.

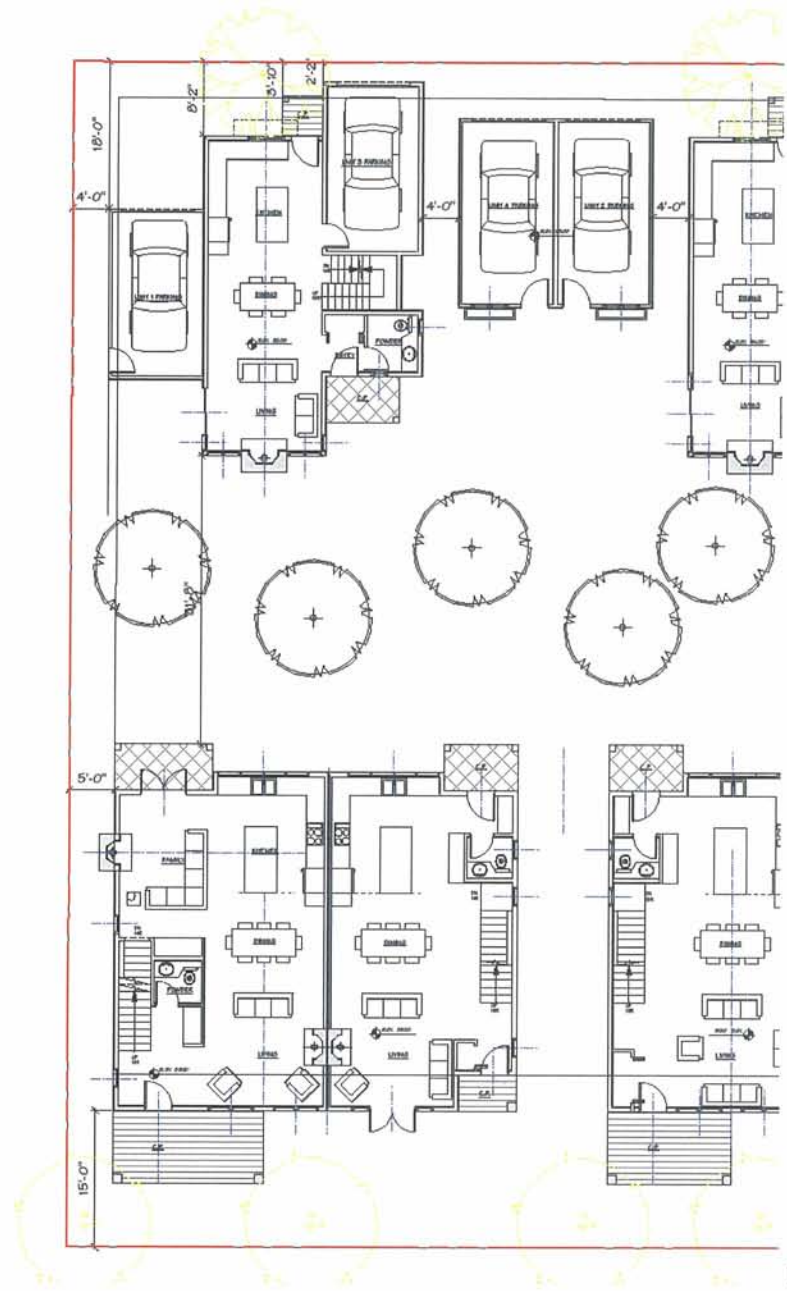
### Building Heights

The building heights have been reduced and are well within the maximum permitted under the single family zoning. The overall height at different parts of the roof is set out on the drawings.

### Unit Sizes

These new homes are intended to appeal to older West Vancouver residents moving out of larger single family homes. The revised unit sizes are approximately as follows:

Smaller duplex (4 units)	1430 to 1455 square feet
Larger duplex (2 units)	1625 square feet
Coach Houses (3 units)	1155 square feet





Picnic at Mowats's Cottage 1921



Faulknor house at 1328 Gordon Avenue 1916



Kay Meek's summer home (between 1940 and 1959)



Kilby house 1930's



Kilby house 1910



Rush House with cleared fields (between 1923 and 1933)



Dorothy Jone's house at 1252 14<sup>th</sup> Street 1915



Pilot Station at Pilot Bay 1906

### *Architectural Character*

A key aspect of the revised application is a new architectural character that is inspired by traditional West Vancouver cottages and houses. Illustrated on this page are photographs from the West Vancouver Archives of a variety of older homes built in the late 19<sup>th</sup> Century and early 20<sup>th</sup> Century. While the new buildings are not designed to mimic these older buildings, they do feature many of the details which are evident in these photos, including:

- covered porches with open railings, and various gable details
- a mixture of horizontal and vertical siding, shakes and board and batten
- a variety of window details with smaller panes and special trim
- steeply sloping roofs with dormers, open soffits and other 'traditional' detailing



### *Architectural Character*

The illustrations on this page and elsewhere in this report are from projects designed by Ross Chapin, Architect and developed by the Cottage Company throughout Washington State. Some of the details which are being proposed for Hollyburn Mews include:

- open porches with flower boxes and a variety of gable details
- 'Dutch doors' with separate opening top and bottom sections
- contemporary interpretation of traditional window detailing
- a range of 'heritage' colours providing harmony and variety
- a mix of horizontal, vertical and board and batten siding
- selective use of shakes to add variety and interest
- skylights in selected locations
- opportunities for solar panels





Duplexes Garden Elevations



Duplexes Esquimalt Elevations

# Hollyburn Mews





Coach House Lang Elevations



Coach House Garden Elevations

## Hollyburn Mews





## Sustainability Measures

This development is being designed to generally comply with the Green Building Requirements established by West Vancouver for properties sold by the district. They are intended to create healthier and lower environmental impact residential homes. The following summarizes the key features of these homes and site planning:

### Sensitive Site Development

- On site stormwater management will maintain runoff to pre-development rates
- A tree planting plan will be prepared and submitted
- Indigenous plant materials with low water requirements shall predominate
- The landscape plan shall exceed minimum plant requirements; the limited turf areas shall be drought-tolerant; soil shall meet the specified requirements;
- Trees and other plantings shall provide shading for at least 50% of hard surfaces within 15 meters of the homes

### Energy Efficiency

- Exterior walls shall have increased insulation values; windows shall have EnergyStar labels
- EnergyStar appliances shall be installed
- Alternatives to incandescent and halogen bulbs shall be installed in all non-living spaces and habitable spaces where appropriate
- 'smart' energy usage display meters will be installed
- Fireplaces shall be gas fuelled with electronic ignitions and direct vents
- Hot water tanks shall meet minimum insulation requirements
- Hot water piping shall meet minimum insulation requirements to avoid heat loss
- Homes will have 'pre-piping' for future roof-mounted solar panels
- Garages shall be pre-wired for electric vehicles
- An EnerGuide Rating System Report shall be prepared prior to occupancy
- Glazing areas will be designed to support passive solar heating

### Water Efficiency

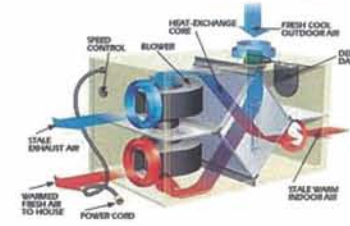
- Dual flush toilets and low flow fixtures shall be installed

### Indoor Environmental Quality

- Heat recovery ventilators shall be installed
- Low VOC emitting paints and flooring materials shall be specified

### Construction Waste Management

- A construction waste management plan will be prepared in accordance with the Metro Vancouver BuildSmart Waste Management Toolkit guidelines to target a 50% reduction from industry norms.



### *Accessibility, adaptability and liveability features*

Many West Vancouver residents are now living in homes or on properties that are *getting too big*. While some are choosing to move into apartments or townhouses, others would prefer a smaller ground oriented home with its own yard and outdoor spaces. Hollyburn Mews is being designed and developed for these buyers.

While the homes are not large, they will have many features to make them comfortable and liveable for those seeking to *age in place*. They are homes for those who want to *downsize*, but not *downgrade*.

While most 'empty nesters' and seniors would prefer a home on one level, or a master bedroom on the ground floor, due to restrictions on the site coverage, this is not considered feasible on the subject property. Another option might be to provide an elevator, or a rough-in for an elevator. However, this is not considered appropriate for these smaller homes for both cost and space planning reasons. However, the duplexes have been designed with a wider 'straight run' stair which could easily accommodate a stair lift if required at some time in the future. A stair lift could also be added to the coach house stairs if necessary.

A number of other features have been incorporated into the design to make these homes more attractive and liveable for an aging population. These include:

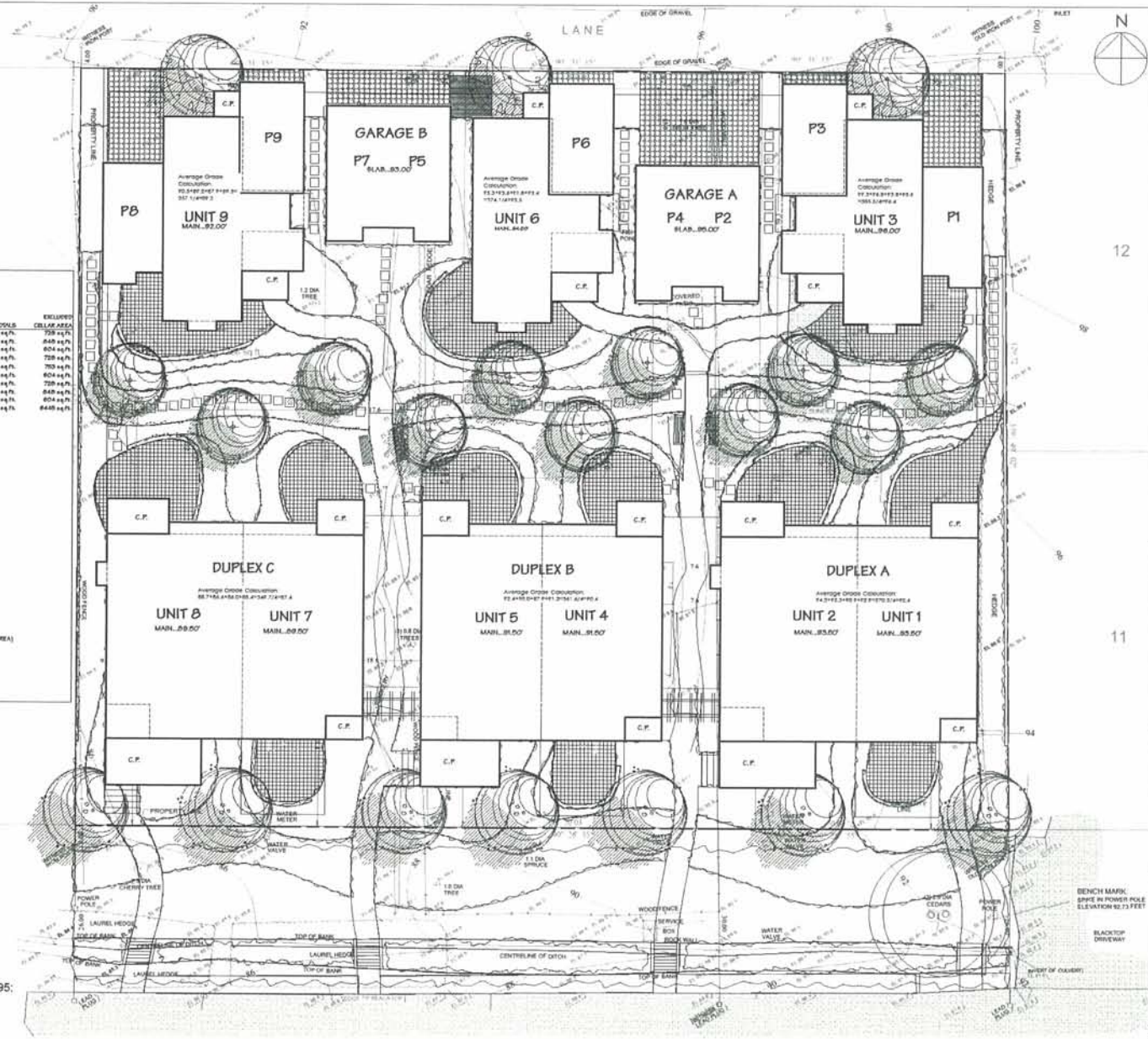
- \*Kitchens with full height pantries, accessible cupboards, drawers in the lower cabinets, 'lazy susans' and a seating area
- \*Higher levels of lighting in bedrooms, closets, kitchens, bathrooms and corridors
- \*Provision for support bars in bathrooms if and when needed; medicine cabinets and drawers for toiletries and medications
- \*Raised electrical outlets and lower light switches
- \*Lever hardware on all doors and bathroom fixtures
- \*Wider corridors, wider door openings and flush door thresholds
- \*Raised planting beds in patio areas
- \*Incorporation of SAFERHOME design standards wherever feasible



**DRAWING LIST**

- A-01 SITE PLAN
- A-01a SITE DETAILS
- A-02 CELLAR FLOOR PLANS
- A-03 MAIN FLOOR PLANS
- A-04 2ND FLOOR PLANS
- A-05 ROOF PLANS
- A-06 UNIT 1, 2 & 7, B
- A-07 UNIT 4 & 5
- A-08 UNIT 3, 6 & 9
- A-09 ELEVATIONS DUPLEX A
- A-10 ELEVATIONS DUPLEX B
- A-11 ELEVATIONS DUPLEX C
- A-12 ELEVATIONS COACH UNIT 3
- A-13 ELEVATIONS COACH UNIT 6
- A-14 ELEVATIONS COACH UNIT 9
- A-15 DUPLEX STREETSCAPE
- A-16 COACH UNIT STREETSCAPE
- A-17 DETACHED GARAGES A & B
- A-18 NOT USED
- A-19 SECTIONS

LOT AREA			
PROPOSED P&E	3071 sq ft.	1249 sq ft.	1822 sq ft.
<b>PROPOSED AREAS</b>			
MAIN FLOOR	2ND FLOOR	EXCLUSIONS	
UNIT #	LESS EXCLUSIONS	LESS EXCLUSIONS	CELLAR AREA
1	728 sq ft.	703 sq ft.	1350 sq ft.
2	848 sq ft.	779 sq ft.	240 sq ft.
3	854 sq ft.	850 sq ft.	604 sq ft.
4	728 sq ft.	703 sq ft.	728 sq ft.
5	728 sq ft.	703 sq ft.	1428 sq ft.
6	854 sq ft.	850 sq ft.	703 sq ft.
7	728 sq ft.	703 sq ft.	728 sq ft.
8	848 sq ft.	779 sq ft.	848 sq ft.
9	854 sq ft.	850 sq ft.	804 sq ft.
TOTAL	6448 sq ft.	6078 sq ft.	1249 sq ft.
<b>PROPOSED P&amp;E EXCLUSIONS</b>			
CHIMNEY PROJECTIONS	40 sq ft.		
WINDOW SEES	59 sq ft.		
CELLARS (SEE ABOVE)	848 sq ft.		
COVERED PORCHES	350 sq ft.		
GARAGES	1940 sq ft.		
<b>P&amp;E CALCULATIONS</b>			
MAIN FLOOR AREA	6448 sq ft.		
2ND FLOOR AREA	6078 sq ft.		
TOTAL	12526 sq ft.		
<b>EXCLUSIONS</b>			
CELLARS (SEE ABOVE)	1249 sq ft.		
TOTAL	1249 sq ft.		
<b>PROPOSED SITE COVERAGE</b>			
PROPOSED SITE COVERAGE EXCLUSIONS	850 sq ft.		
<b>SITE COVERAGE (EXCLUSIONS) CALCULATIONS</b>			
MAIN FLOOR AREA	6448 sq ft.		
GARAGES	1940 sq ft.		
TOTAL	8388 sq ft.		
<b>ON CALCULATIONS</b>			
8388 / 3071 = 2.73			
<b>SITE COVERAGE CALCULATIONS</b>			
ROOFING	8388 sq ft.		
LANDSCAPE	950 sq ft.		
PERMISSIBLE MINORS	6239 sq ft.		
ROOF LANDSCAPE	8388 sq ft.		
TOTAL	3077 sq ft.		



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FEE APP	JAN 2011
FEE APP	FEB 2011
FEE APP	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1415 W 5th Avenue, Vancouver, BC V6L 1V5  
 Fax: 603-2074 Phone: 603-5441

Project:  
**HOLLYBURN MEWB**  
 WEST VANCOUVER, BC

Drawing Title:  
**SITE PLAN**

DRAWN BY: M.M./J.P.	SHEET
SCALE: 1/8" = 1'-0"	<b>A-01</b>
DATE: JAN 2011	
JOB NUMBER: 009	

LOT 4 OF LOT 7, BLOCKS 7 TO 12, PLAN 4595;  
 LOT 9, BLOCK 6, PLAN 4155;  
 LOT 10, BLOCK 6, PLAN 4155;  
 ALL OF DISTRICT LOT 775

ESQUIMALT AVENUE



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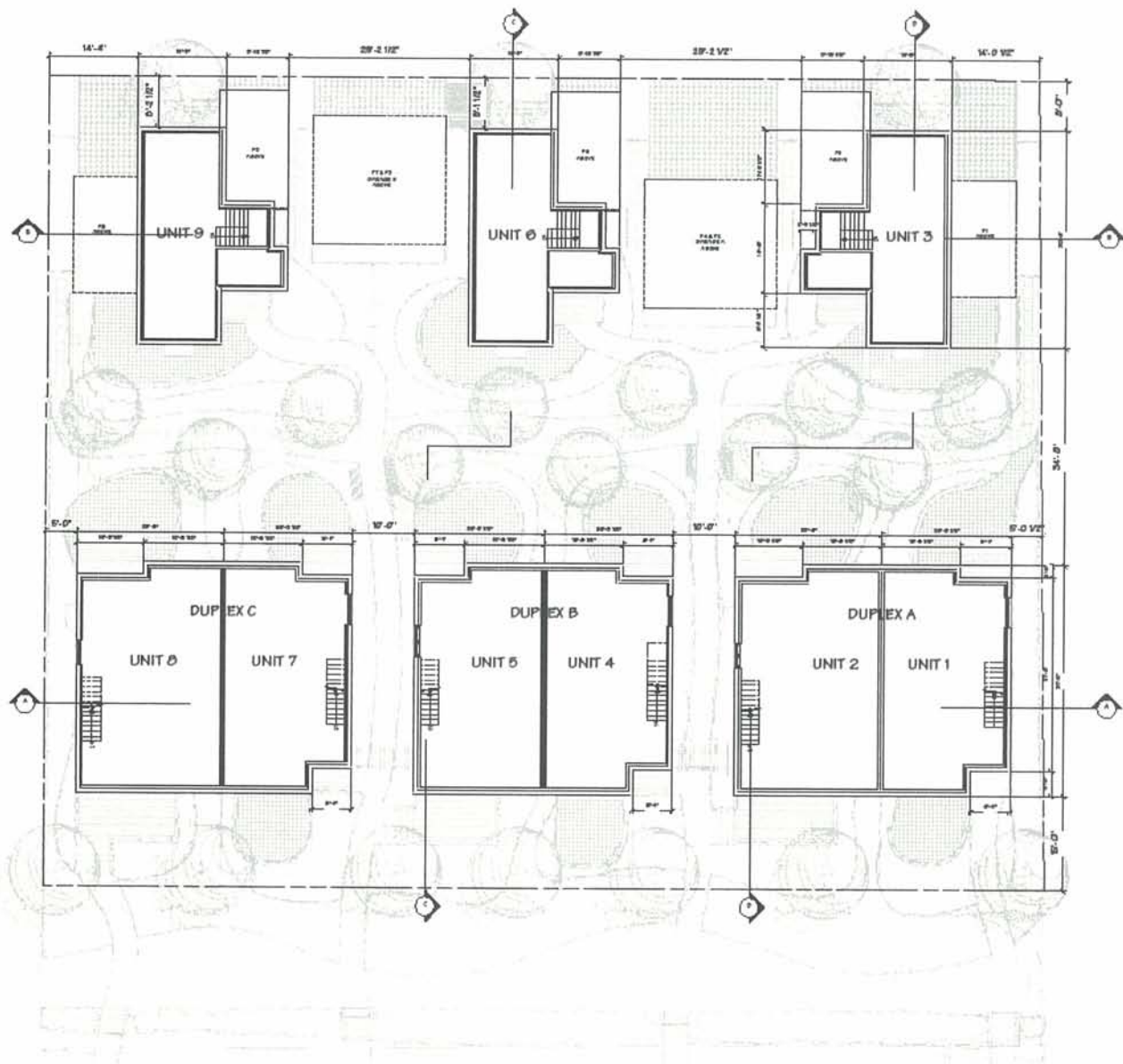
REVISED	
ISSUED FOR	
FEE APP	JAN 2011
FEE APP	FEB 2011
FEE APP	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1625 W. 5th Avenue, Vancouver, BC V6J 1K5  
 Fax: 604-707-8178 Phone: 604-681-6441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**SITE SETBACKS**

DRAWN BY:	MMJ / J.D.	SHEET
SCALE:	1/8" = 1'-0"	<b>A-01a</b>
DATE:	JAN 2011	
JOB NUMBER:	008	



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PKE APY	FEB 2011
PKE APY	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1422 W. 5th Avenue, Vancouver, BC V6L 1A5  
 Tel: 604-274-1174 Fax: 604-274-1174

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**CELLARS FLOOR PLANS**

DRAWN BY: NJV / JB	SHEET
SCALE: 1/8" = 1'-0"	<b>A-02</b>
DATE: JUN 2011	
JOB NUMBER: 600	





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PFE APP	FEB 2011
PFE APP	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1425 W. 5th Avenue, Vancouver, BC V6J 1N5  
 Fax 604 278-1141 Phone 604 681-5441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**MAIN FLOOR PLANS**

DESIGNED BY: MWF / J.E.	SHEET
SCALE: 1/8" = 1'-0"	<b>A-03</b>
DATE: JAN 2011	
JOB NUMBER: 008	



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FEE AFF	JAN 2011
FEE AFF	FEB 2011
FEE AFF	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1235 W 5th Avenue, Vancouver, BC V6Z 1N5  
 Fax 603-2076 Phone 683-4441

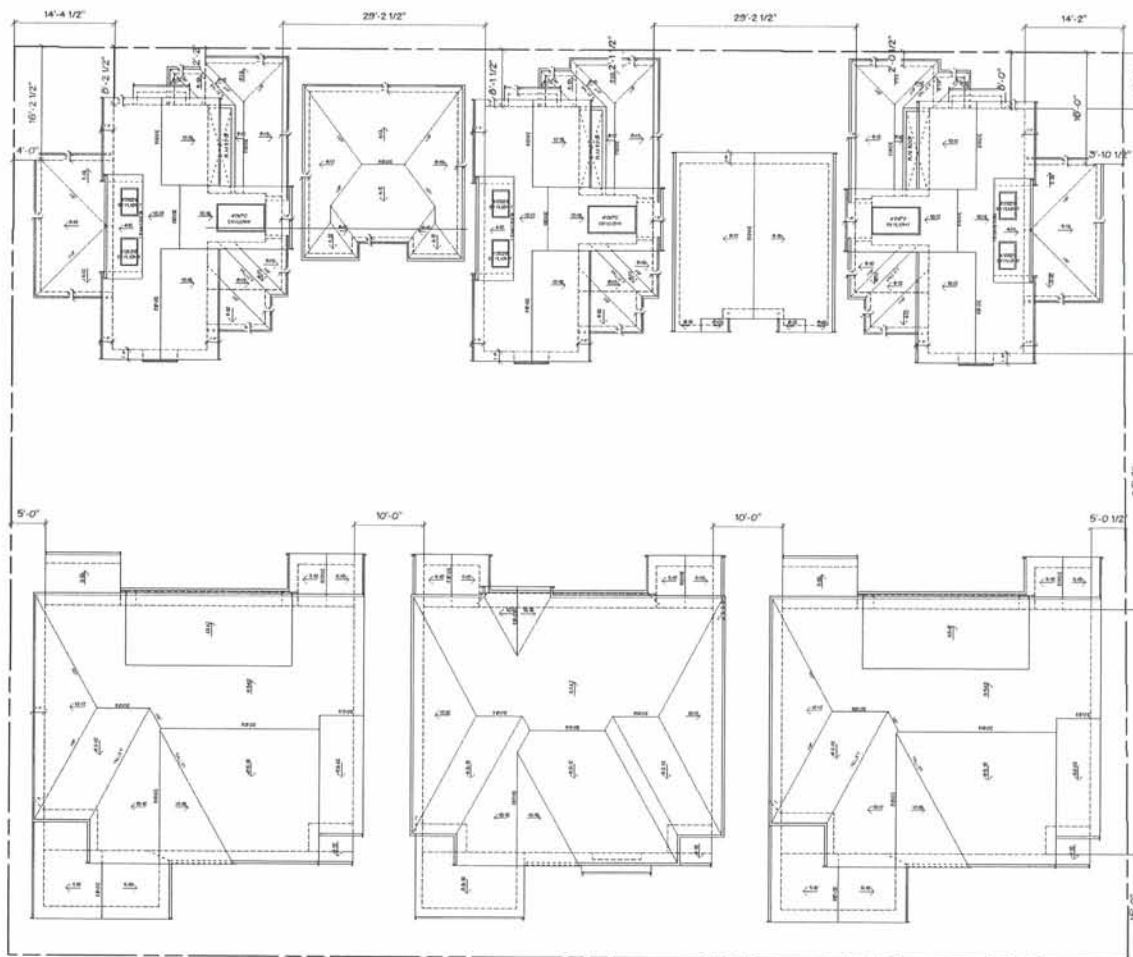
Project:

**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:

**2ND FLOOR PLANS**

DESIGN BY:	MJM / JD	SHEET
SCALE:	1/8" = 1'-0"	<b>A-04</b>
DATE:	JAN 2011	
JOB NUMBER:	008	



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 ISSUED FOR:  
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**FORMWERKS ARCHITECTURAL**  
 CONSULTANTS ARCHITECTS INC.  
 123 W. 5TH AVENUE, VANCOUVER, BC V6J 1N5  
 Fax 604-681-7078 Phone 604-681-6441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**ROOF PLANS**

DRAWN BY: NUN / JP	SHEET
SCALE: 1/8" = 1'-0"	<b>A-05</b>
DATE: JAN 2011	
JOB NUMBER: 009	



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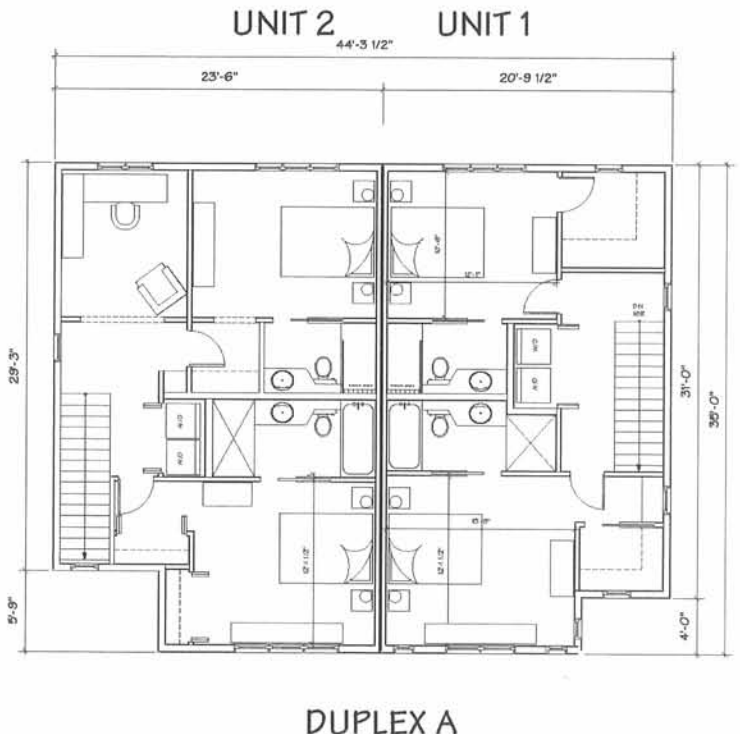
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 FEE APP. MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1625 W 5th Avenue, Vancouver, BC V6J 1N3  
 Fax 604 278-1111 Phone 604 684-6441

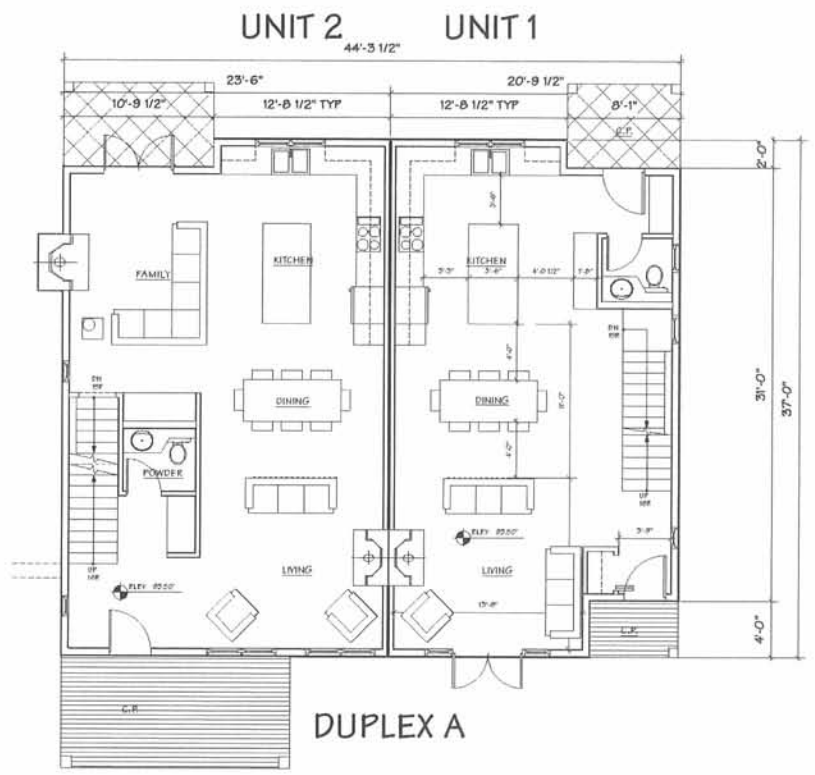
Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**UNIT 1, 2 & 7, 8**

DESIGN BY: MHT/JR	SHEET
SCALE: 1/4" = 1'-0"	<b>28-06</b>
DATE: JAN 2011	
JOB NUMBER: 000	



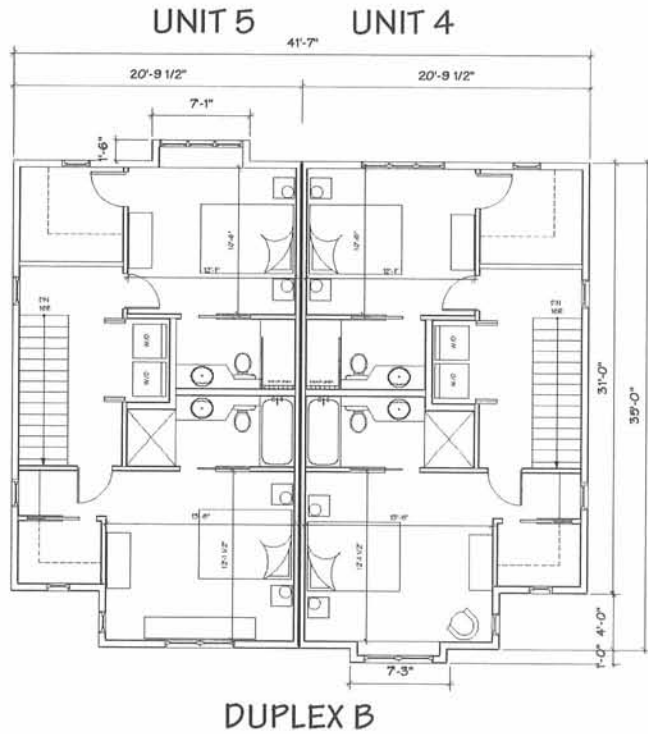
○ 2ND FLOOR



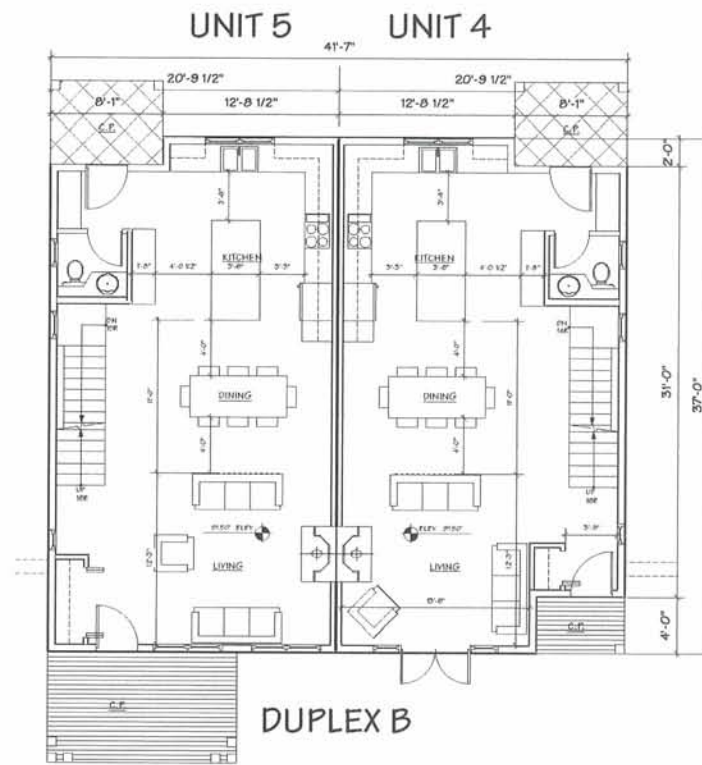
○ MAIN FLOOR



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○ 2ND FLOOR



○ MAIN FLOOR

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FEE APP	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1275 W 5th Avenue, Vancouver, BC V6J 1V6  
 Tel 603-7076      Phone 603-6441

Project:

**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:

**UNIT 4 & 5**

DESIGN BY: NMF, JP	SHEET
SCALE: 1/8" = 1'-0"	<b>A-07</b>
DATE: JAN 2011	
JOB NUMBER: 00P	



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FEE APP	FEB 2011
FEE APP	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
INCORPORATED

1475 W. 5th Avenue, Vancouver, BC V6J 1N5  
 Fax 604-7074 Phone 604-6841

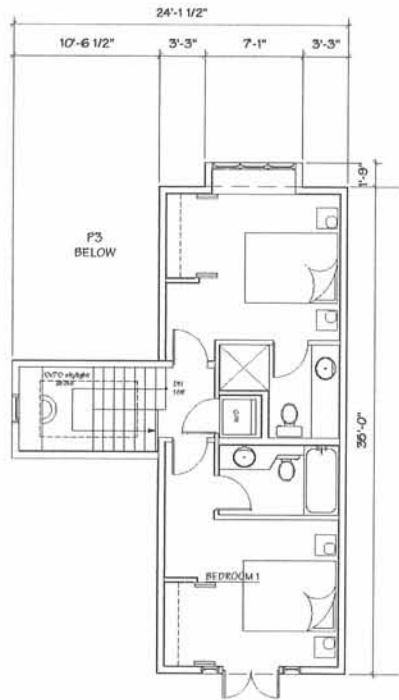
Project:

**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:

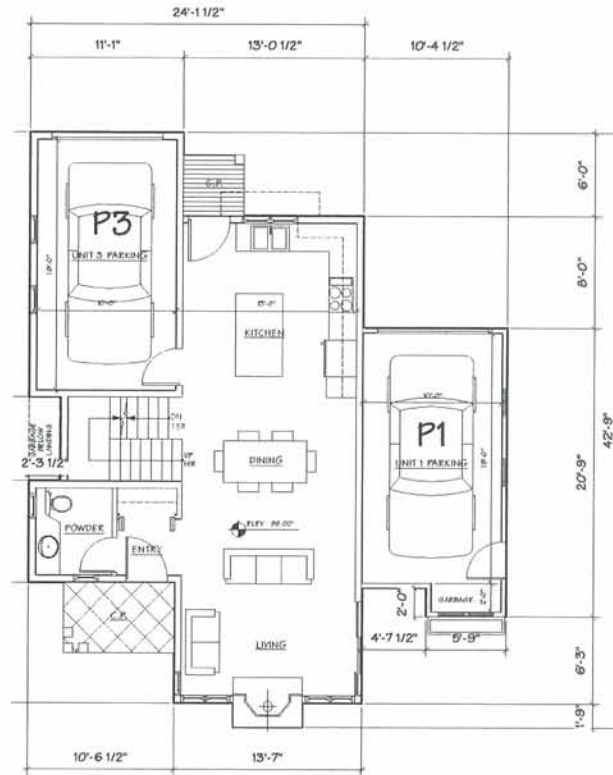
**UNIT 3, 6 & 9**

DESIGN BY: M.M.J.B.	SHEET
SCALE: 1/4" = 1'-0"	<b>A-08</b>
DATE: JAN 2011	30
JOB NUMBER: 009	



**UNIT 3**

○ 2ND FLOOR



**UNIT 3**

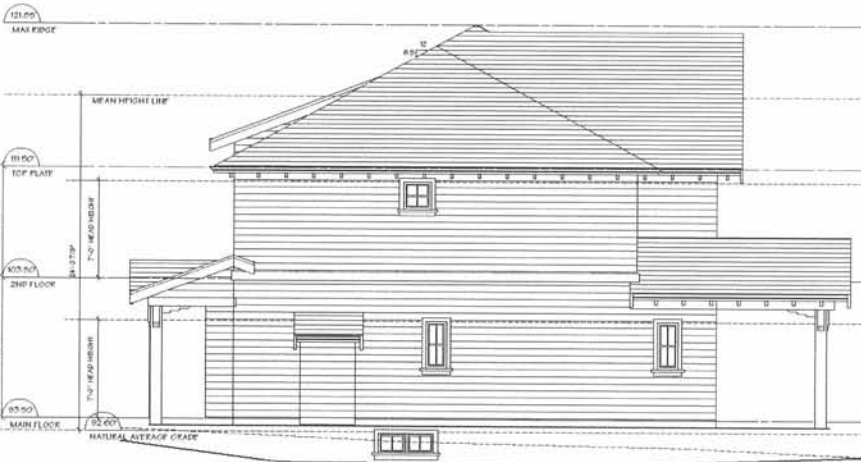
○ MAIN FLOOR



EAST



NORTH



WEST



SOUTH

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RYSSICKS  
 MOVED TO C...  
 FEE APP JAN 2011  
 FEE APP FEB 2011  
 FEE APP MARCH 2011

- INDICATORS**
- 1 IMPULSIVE
  - 2 DOUBLE HUNG BEADY IN TRAIL WINDOW
  - 3 TRIPLE HUNG BEADY WINDOW
  - 4 TRIPLE HUNG BEADY WINDOW & SHUTTERS
  - 5 TRIPLE HUNG BEADY WINDOW
  - 6 WOOD PORTALS
  - 7 TRIPLE HUNG BEADY WINDOW
  - 8 TRIPLE HUNG BEADY WINDOW
  - 9 TRIPLE HUNG BEADY WINDOW
  - 10 TRIPLE HUNG BEADY WINDOW
- NOTE: DIMENSIONS TO BE SUBMITTED

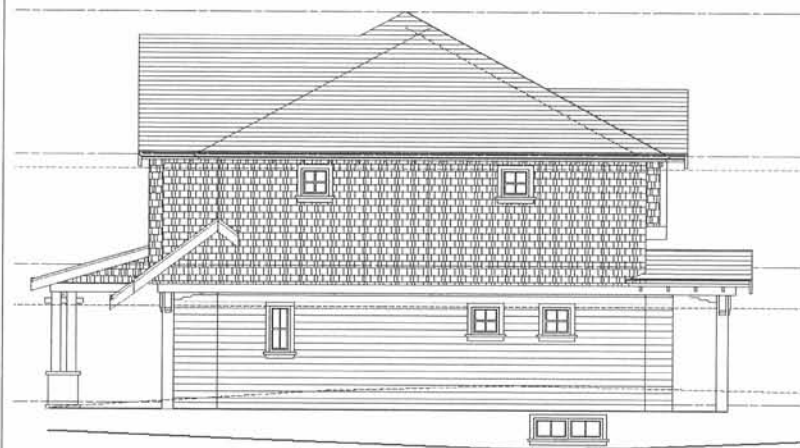
**FORMWERKS ARCHITECTURAL**  
 1625 W 5th Avenue, Vancouver, BC V6J 1Y5  
 Tel: 683-2276 Phone: 683-6441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**ELEVATIONS DUPLEX A**

DRAWN BY: MUM, JP  
 SCALE: 1/8" = 1'-0"  
 DATE: JAN 2011  
 JOB NUMBER: 008

SHEET  
**A-09**



EAST



NORTH



WEST



SOUTH

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PFE APP JAN 2011  
PFE APP FEB 2011  
PFE APP MARCH 2011

FINISH SCHEDULE

- 1 ASPHALT ROOFING
- 2 STUCCO PAINT BEHIND JUTTY WALL WINDOW
- 3 TRIM (CEILING, DOOR, WINDOW, SILLING)
- 4 TRIM (CEILING, DOOR, WINDOW, SILLING)
- 5 TRIM (CEILING, DOOR, WINDOW, SILLING)
- 6 TRIM (CEILING, DOOR, WINDOW, SILLING)
- 7 BRICKS, TRIM PAINT, STAIR PAINT
- 8 TRIM PAINT
- 9 SILLING, DOOR PAINT
- 10 TRIM PAINT

**FORMWERKS ARCHITECTURAL**  
1415 W 5th Avenue, Vancouver, BC V6J 1K6  
Tel: 604-681-2078 Fax: 604-681-6441

Project:

**HOLLYBURN MEWS**  
WEST VANCOUVER, BC

Drawing Title:

**ELEVATIONS  
DUPLEX B**

DRAWN BY: MMJ/JF  
SCALE: 1/8" = 1'-0"  
DATE: JAN 2011  
JOB NUMBER: 009

SHEET  
**A-10**





EAST



NORTH



WEST



SOUTH

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REVISIONS  
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 FEE APP FEB 2011  
 FEE APP MARCH 2011

FINISH SCHEDULE	
1	UPPER LEVEL BRICK
2	UPPER LEVEL STUCCO
3	UPPER LEVEL ROOF
4	UPPER LEVEL ROOF
5	UPPER LEVEL ROOF
6	UPPER LEVEL ROOF
7	UPPER LEVEL ROOF
8	UPPER LEVEL ROOF
9	UPPER LEVEL ROOF
10	UPPER LEVEL ROOF

**FORMWERKS ARCHITECTURAL**  
 125 W. 5th Avenue, Vancouver, BC V6J 1N5  
 Tel 604 2078 Phone 604 641

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**ELEVATIONS DUPLEX C**

DEARN BY: MMJ/JR  
 SCALE: 1/4" = 1'-0"  
 DATE: JAN 2011  
 JOB NUMBER: 009



WEST



EAST



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REVISIONS

GROUND FLOOR

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 PFE APP FEB 2011  
 PFE APP MARCH 2011

FINISH SCHEDULE

- 1 ASPHALT SHINGLE
- 2 2" X 4" BRACKET BOARD
- 3 2" X 4" BRACKET BOARD
- 4 2" X 4" BRACKET BOARD
- 5 2" X 4" BRACKET BOARD
- 6 2" X 4" BRACKET BOARD
- 7 2" X 4" BRACKET BOARD
- 8 2" X 4" BRACKET BOARD
- 9 2" X 4" BRACKET BOARD
- 10 2" X 4" BRACKET BOARD

**FORMWERKS ARCHITECTURAL**  
 1425 W 5th Avenue, Vancouver, BC V6J 1N5  
 Fax 604 278-1111 Phone 604 681 4441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**ELEVATIONS COACH UNIT 3**

DRAWN BY: MAM/JOB SHEET  
 SCALE: 3/4" = 1'-0"  
 DATE: JAN 2011  
 JOB NUMBER: 008 **A-12**

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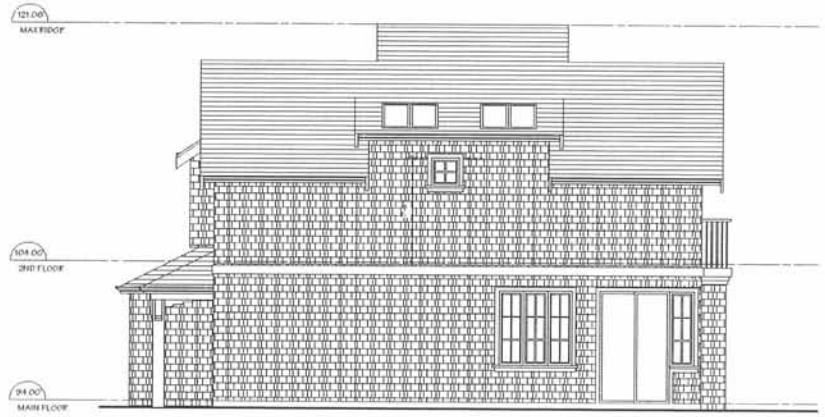
FINISH SCHEDULE	
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2	WOOD SHAKE SHINGLES
3	WOOD SHAKE SHINGLES
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99	WOOD SHAKE SHINGLES
100	WOOD SHAKE SHINGLES

**FORMWERKS ARCHITECTURAL**  
 125 W. 5th Avenue, Vancouver, BC V6J 1N5  
 For 603-2076 Fax 603-6441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**ELEVATIONS COACH UNIT 6**

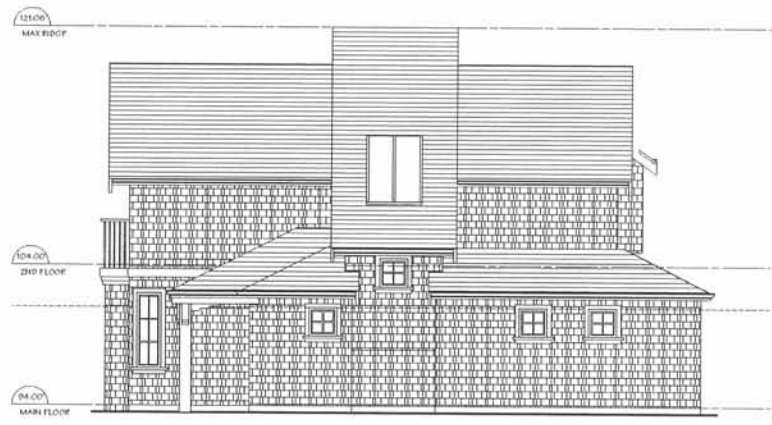
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SCALE: 1/4" = 1'-0"	<b>A-13</b>
DATE: JAN 2011	
JOB NUMBER: 008	



WEST



NORTH



EAST



SOUTH



WEST



NORTH



EAST



SOUTH

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REVISIONS:

ISSUED FOR:

FEE APP	JAN 2011
FEE APP	FEB 2011
FEE APP	MARCH 2011

FINISH SCHEDULE

- 1 ASPHALT DRIVE
- 2 POLYURETHANE PAINT
- 3 INTERIOR FINISH
- 4 INTERIOR PAINT
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- 99 INTERIOR PAINT
- 100 INTERIOR PAINT

**FORMWERKS**  
**ARCHITECTURAL**

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

125 W. 31st Avenue, Vancouver, BC V6J 1N3  
Tel: 688-2078 Fax: 688-6441

Project:

**HOLLYBURN MEWS**  
WEST VANCOUVER, BC

Drawing Title:

**ELEVATIONS**  
**COACH UNIT 9**

DESIGN BY:	AMJ / JD	SHEET
SCALE:	1/4" = 1'-0"	<b>A-14</b>
DATE:	JAN 2011	
JOB NUMBER:	001	

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 FEE APP FEB 2011  
 FEE APP MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1225 W 5TH AVENUE, VANCOUVER, BC V6J 1N6  
 TEL 604-276-7074 FAX 604-276-7074

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**DUPLEX STREETSCAPE**

DRAWN BY: MAF/JD SHEET  
 SCALE: 1/4" = 1'-0"  
 DATE: JAN 2011  
 JOB NUMBER: 009 **37A-15**



GARDEN



ESQUIMALT

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 FEE APP JAN 2011  
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 FEE APP MARCH 2011



LANE



GARDEN

**FORMWERKS ARCHITECTURAL**  
 1215 W. 5th Avenue, Vancouver, BC V6J 1J5  
 Fax 603-7078 Phone 603-5441

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**COACH UNIT STREETSCAPE**

DRAWN BY: MSH / JD SHEET  
 SCALE: 1/4" = 1'-0"  
 DATE: JAN 2011  
 JOB NUMBER: 000 **A-16**



NORTH

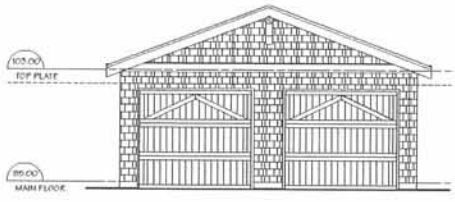


EAST/WEST

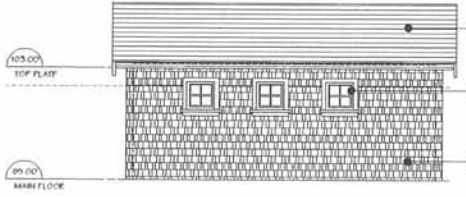


SOUTH

**GARAGE B ELEVATIONS**



NORTH

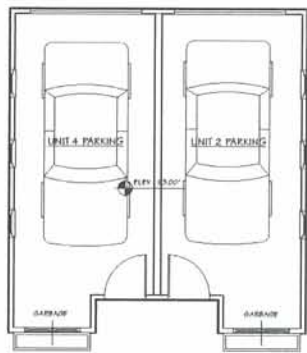


EAST/WEST



SOUTH

**GARAGE A ELEVATIONS**



**TYPICAL GARAGE PLAN**

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REVISIONS

ISSUED FOR ...

FEE APP	JAN 2011
FEE APP	FEB 2011
FEE APP	MARCH 2011

**FINISH SCHEDULE**

1	EXTERIOR SIDING
2	EXTERIOR PAINT (SEMI-GLOSS)
3	EXTERIOR PAINT (SATIN)
4	EXTERIOR PAINT (GLOSS)
5	EXTERIOR PAINT (FLAT)
6	EXTERIOR PAINT (SILK)
7	EXTERIOR PAINT (SILK)
8	EXTERIOR PAINT (SILK)
9	EXTERIOR PAINT (SILK)
10	EXTERIOR PAINT (SILK)

NOTE: COLOURS TO BE SUBMITTED

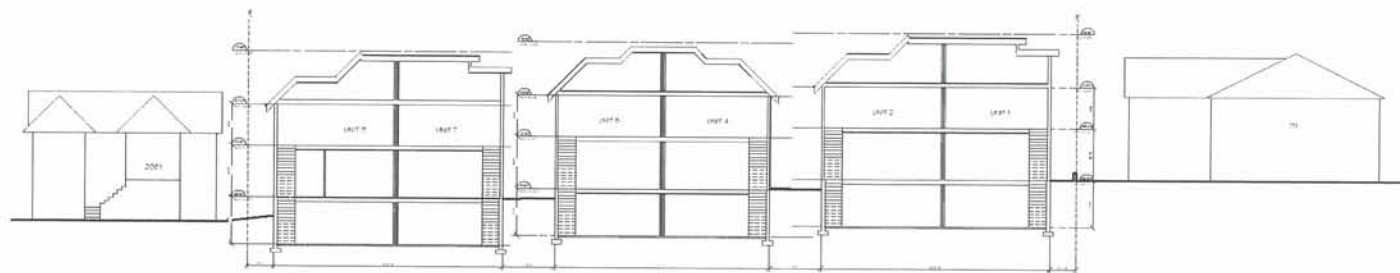
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1225 W. 5th Avenue, Vancouver, BC V6J 1Y5  
 Fax: 603-2076 Phone: 603-5441

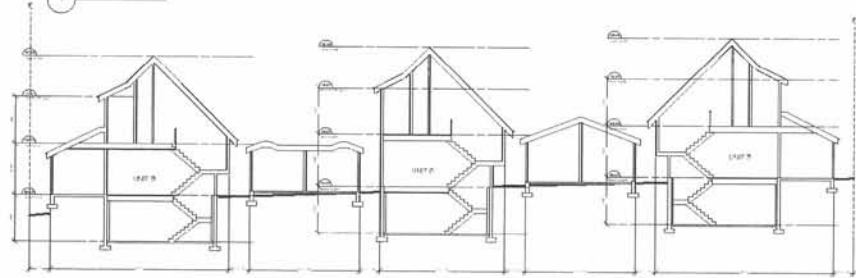
Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**DETACHED GARAGE A & B**

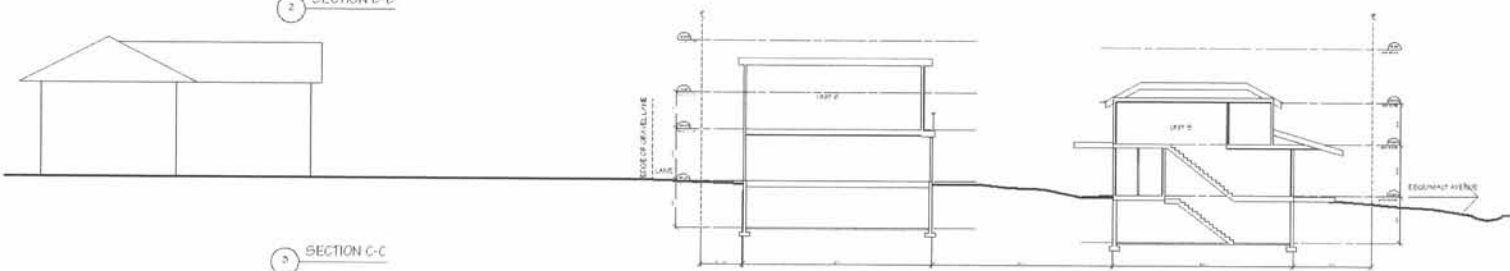
DRAWN BY:	MUR/JO	SHEET
SCALE:	1/4" = 1'-0"	<b>A-17</b>
DATE:	JAN 2011	
JOB NUMBER:	000	



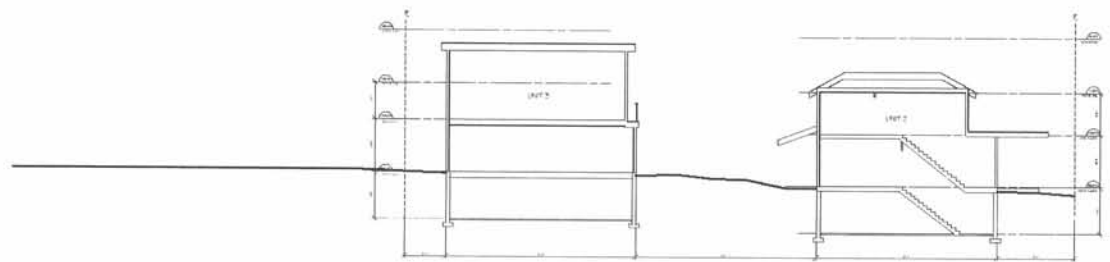
1 SECTION A-A



2 SECTION B-B



3 SECTION C-C



4 SECTION D-D

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PFE APP	JAN 2011
PFE APP	FEB 2011
PFE APP	MARCH 2011

**FORMWERKS ARCHITECTURAL**  
 1625 W 50th Avenue, Vancouver, BC V6J 1N5  
 Fax 604-276-1178 Phone 604-544-1171

Project:  
**HOLLYBURN MEWS**  
 WEST VANCOUVER, BC

Drawing Title:  
**SECTIONS**

DRAWN BY: M.M.J.P.	SHEET
SCALE: 3/32" = 1'-0"	<b>A-19</b>
DATE: JAN 2011	
JOB NUMBER: 008	