

Naturalized vs. Formal Landscape

Introduce coniferous planting along the street edges to integrate the site with its larger context, and defining a natural barrier between the road and the residences.

Entry courtyards are defined by formal planting to create a transition space into the home.

The areas in-between the residences will feature deciduous planting, framing views and acting as buffers between each home

Reintroducing Natural Topography

Highlight rock outcroppings by removing existing vegetation currently hiding them.

Restore natural gully by removing part of existing retaining wall creating a small bio-swale as a strategy for stormwater mitigation.

Emphasize moments in which rocky topography dictates the form of the landscape and circulations.

Hierarchy of Spaces

Establish a sequence of spaces that move the user from the public realm into the private.

Naturalized planting and coniferous trees populate the **edges** of the property acting as a buffer zone between street and residences.

An entry **courtyard** acts as a transitional space between outside and inside.

An open lawn sits at the **rearyard** of the residences allowing for private activities outdoors.

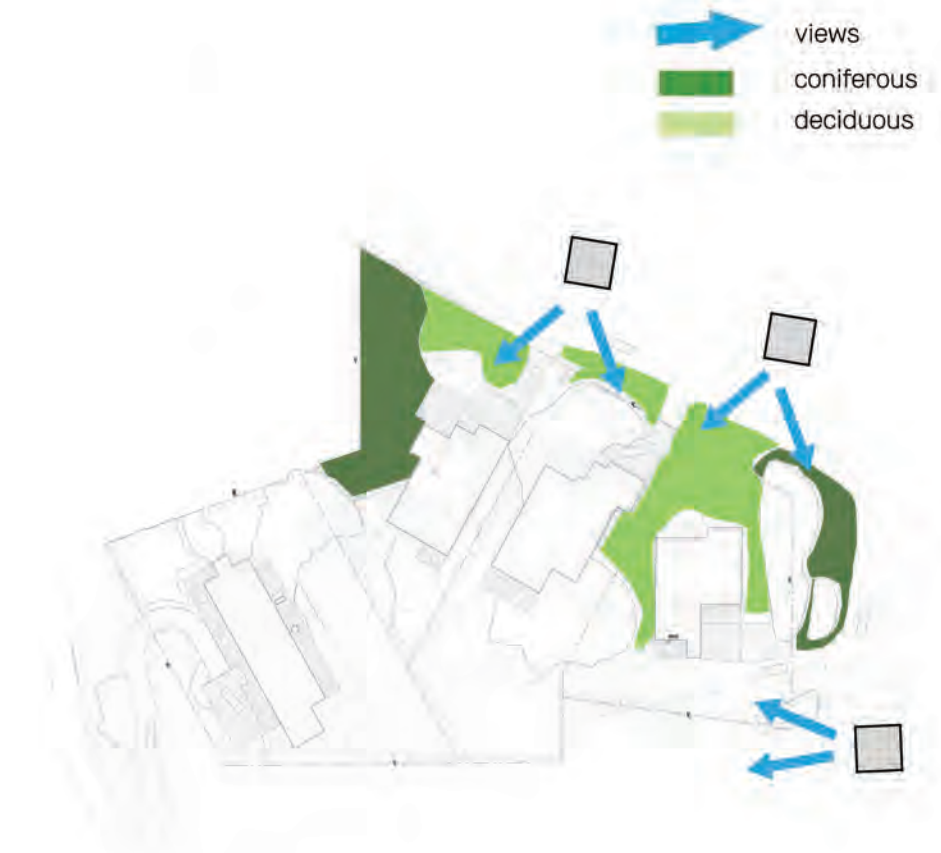
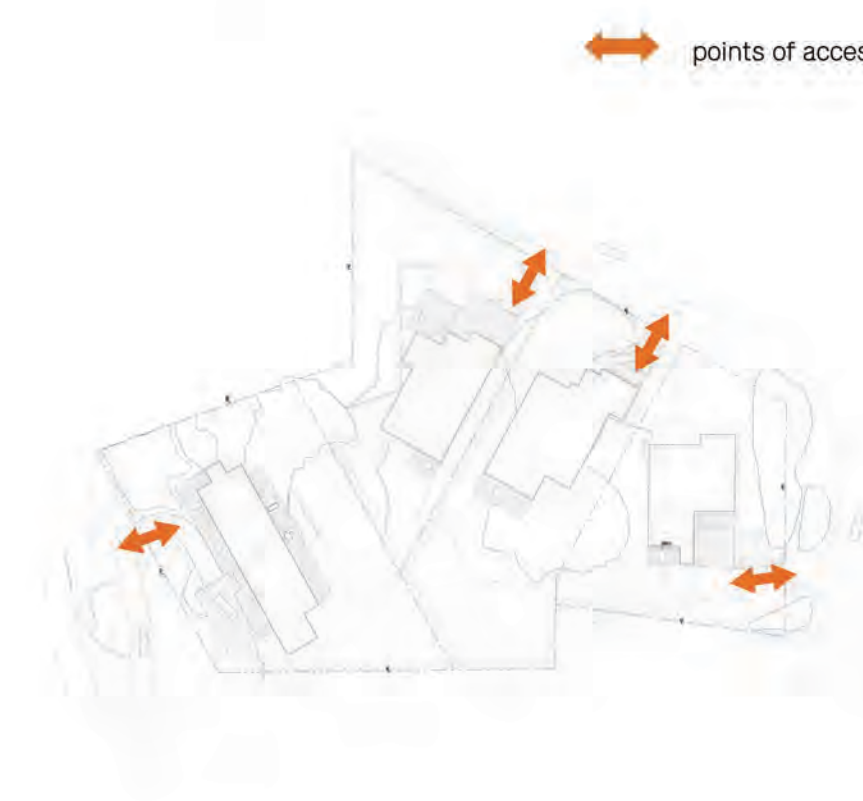
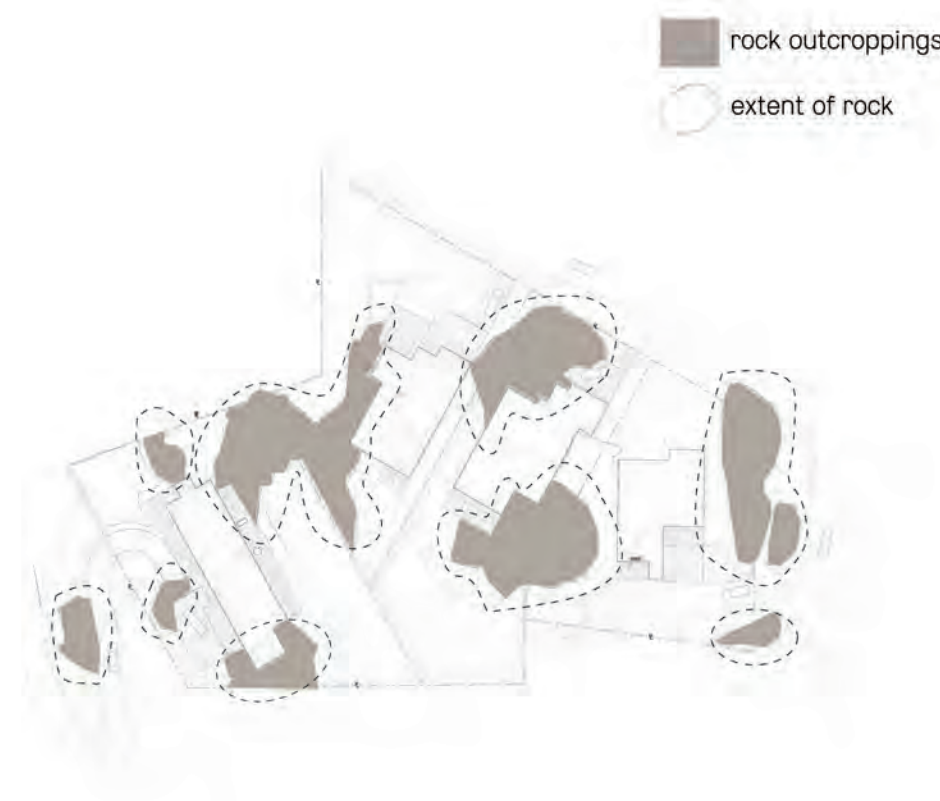
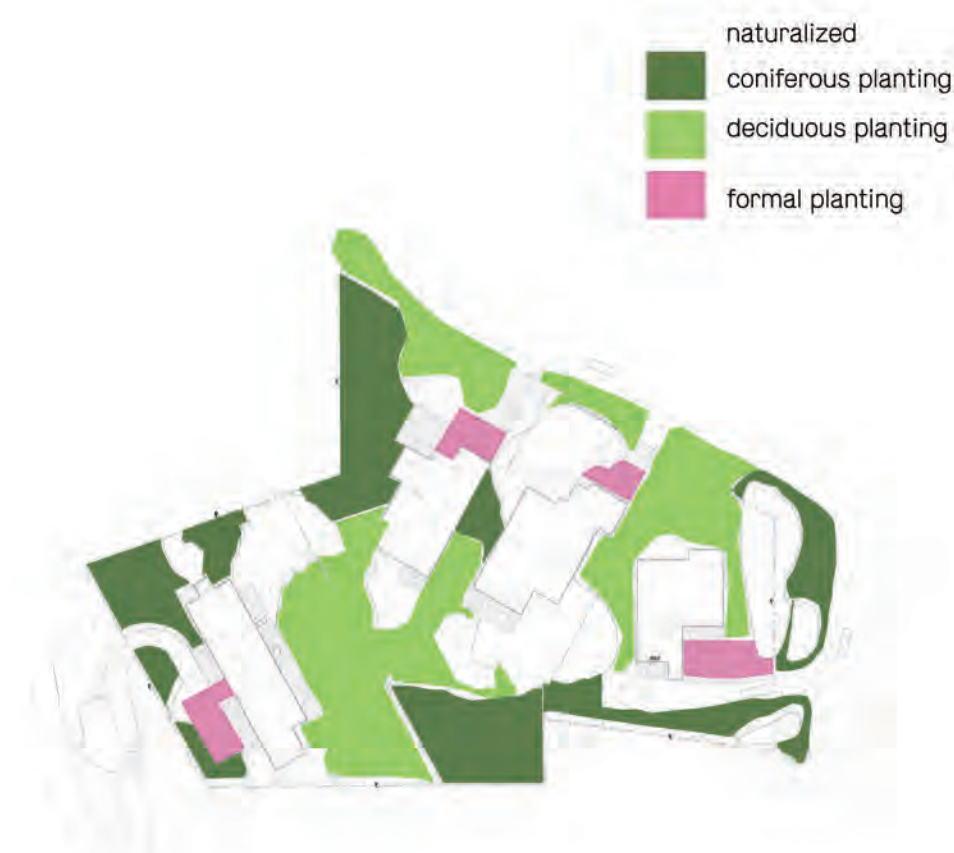
Discreet Points of Access

Entrances are located along McKechnie Avenue with **three independent** entries for Lot 1, 2 and 3 and **one independent** entry for Lot 1 on Creery Avenue.

Existing south road will be decommissioned restraining vehicular access to McKechnie Avenue.

Frame the Views

Deciduous planting along McKechnie Avenue ensures neighbours **retain** their **views** of the ocean and city. Coniferous planting along edges help **frame** their **sight lines** as well as give the new residences some separation from the road.



No.	Description	Date

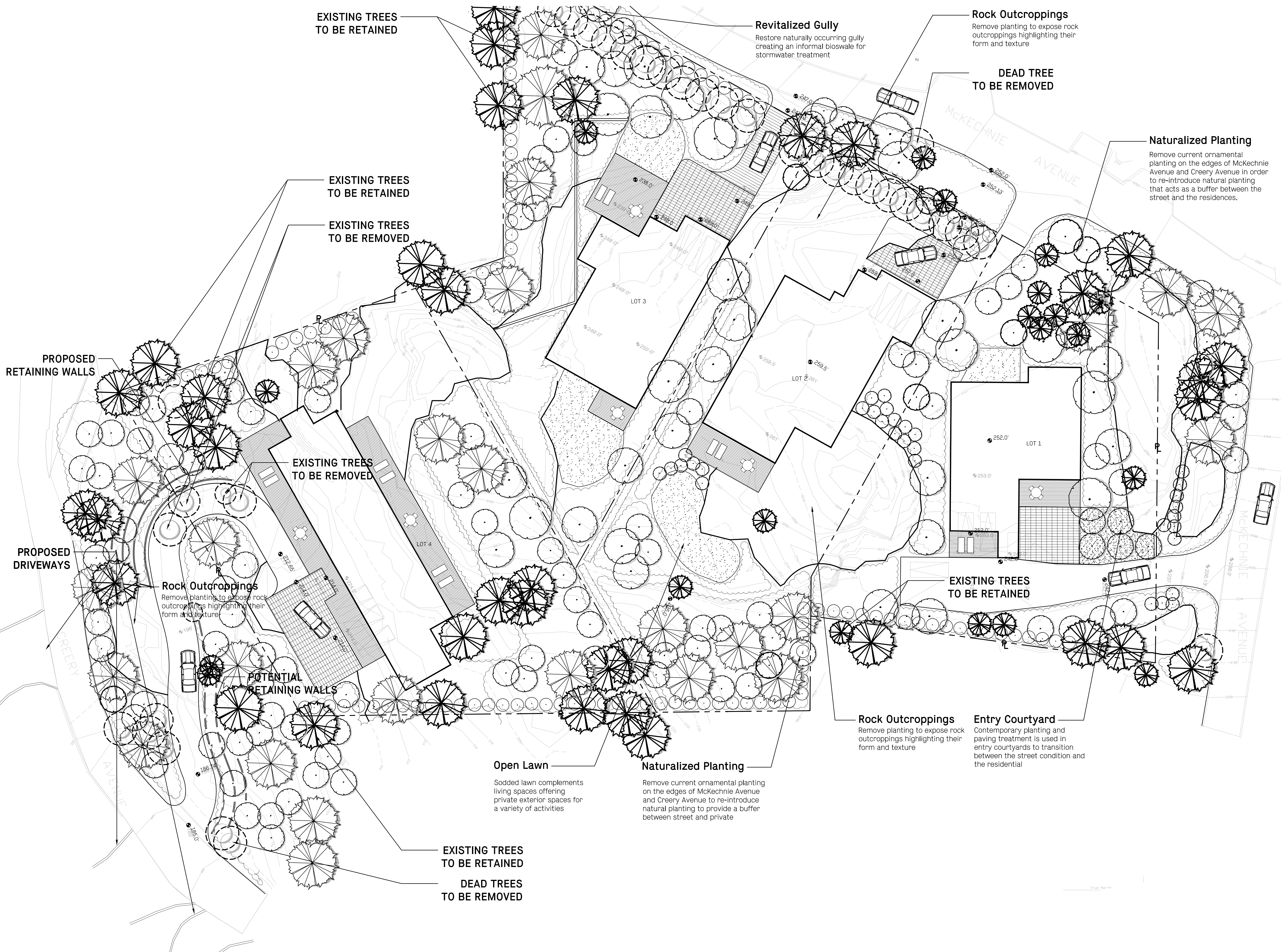


Copyright Reserved. This drawing is and remains at all times the exclusive property of Hapa Collaborative and cannot be used modified or copied without the expressed written consent of the landscape architect.

3656 McKechnie Ave Subdivision

West Vancouver, BC

Landscape Rationale



EXISTING TREES TO BE RETAINED

Revitalized Gully
Restore naturally occurring gully creating an informal bioswale for stormwater treatment

Rock Outcroppings
Remove planting to expose rock outcroppings highlighting their form and texture

DEAD TREE TO BE REMOVED

Naturalized Planting
Remove current ornamental planting on the edges of McKechnie Avenue and Creery Avenue in order to re-introduce natural planting that acts as a buffer between the street and the residences.

EXISTING TREES TO BE RETAINED

EXISTING TREES TO BE REMOVED

PROPOSED RETAINING WALLS

EXISTING TREES TO BE REMOVED

PROPOSED DRIVEWAYS

Rock Outcroppings
Remove planting to expose rock outcroppings highlighting their form and texture

EXISTING TREES TO BE RETAINED

POTENTIAL RETAINING WALLS

Rock Outcroppings
Remove planting to expose rock outcroppings highlighting their form and texture

Entry Courtyard
Contemporary planting and paving treatment is used in entry courtyards to transition between the street condition and the residential

Open Lawn
Sodded lawn complements living spaces offering private exterior spaces for a variety of activities

Naturalized Planting
Remove current ornamental planting on the edges of McKechnie Avenue and Creery Avenue to re-introduce natural planting to provide a buffer between street and private

EXISTING TREES TO BE RETAINED

DEAD TREES TO BE REMOVED

No.	Description	Date

Copyright Reserved. This drawing is and remains at all times the exclusive property of Hapa Collaborative and cannot be used modified or copied without the expressed written consent of the landscape architect.

3656 McKechnie Ave Subdivision
West Vancouver, BC

Concept Plan

Plant Schedule

Sym	Qty	Botanical Name	Common Name	Spacing & Size
Trees				
AC	42	Acer circinatum	Vine Maple	1.5m Ht., B&B
AP	19	Acer palmatum 'Osakazuki'	Japanese Maple	2.5m Ht., B&B
CK	20	Cornus kousa 'Satomi'	Korean Dogwood	3.0m Ht., B&B
PN	33	Prunus yedoensis 'Akebono'	Akebono Cherry	6.0cm Cal., B&B
PM	14	Pseudotsuga menziesii	Douglas Fir	2.0m Ht., B&B
TP	10	Thuja plicata	Western Red Cedar	2.0m Ht., B&B
Shrubs				
Aj	--	Azalea japonica 'Hino White'	Japanese Azalea	#1 Gal. Pot, 18" o.c.
Am	--	Arbutus menziesii	Madrone	#1 Gal. Pot
Bx	--	Buxus sempervirens	Common Boxwood	#2 Gal. Pot, 18" o.c.
Cs	--	Cornus sericea 'Kelseyi'	Redosier Dogwood	#2 Gal. Pot, 24" o.c.
Ea	--	Euonymus alata 'Compacta'	Dwarf Winged Euonymus	#2 Gal. Pot, 24" o.c.
Gs	--	Gaultheria shallon	Salal	#2 Gal. Pot, 24" o.c.
Mr	--	Mahonia repens	Creeping Oregon Grape	#1 Gal. Pot, 24" o.c.
Oj	--	Ophiopogon japonicus	Mondo Grass	#1 Gal. Pot, 18" o.c.
Pt	--	Parthenocissus tricuspidata	Virginia Creeper	#1 Gal. Pot, various spacing
Pn	--	Pennestum alopecuroides	Fountain Grass	#1 Gal. Pot, 24" o.c.
Pm	--	Polystichum munitum	Western Sword Fern	#1 Gal. Pot, 18" o.c.
Rn	--	Rosa nutkana	Nootka Rose	#1 Gal. Pot, 24" o.c.
Sp	--	Salix purpurea 'Nana'	Dwarf Arctic Willow	#1 Gal. Pot, 30" o.c.
Tm	--	Taxus x media 'Hicksii'	Hick's Yew	1.2m Ht., 24" o.c.
To	--	Thuja occidentalis 'Smaragd'	Smaragd Cedar	3.0m Ht., 36" o.c.
Groundcover				
au	--	Arctostaphylos uva-ursi	Bearberry	#1 Gal. Pot, 18" o.c.
bs	--	Blechnum spicant	Deer Fern	#1 Gal. Pot, 18" o.c.
cd	--	Cotoneaster dammeri 'Lowfast'	Lowfast Cotoneaster	10cm Pot 12" o.c.
cc	--	Cornus canadensis	Bunchberry	10cm Pot 12" o.c.



Existing Trees to be Retained
Dead Trees to be Removed (1)

Existing Trees to be Retained
Existing Trees to be Removed (5)

Dead Trees to be Removed (4)

Dead Trees to be Removed (2)

Existing Trees to be Retained

Existing Cedar Hedge to be Removed (11)

Existing Cedar Hedge to be Removed (11)

Dead Tree to be Removed (1)

Existing Trees to be Retained

Rock Outcroppings

Dead Tree to be Removed (1)

Existing Trees to be Retained

Tree Management Legend

Sym	Description
---	Property Line
●	Existing Conifer Trees to be Retained
○	Existing Deciduous Trees to be Retained
●	Proposed Conifer Trees
○	Proposed Deciduous Trees
○	Trees to be Removed:
○	Dead or Dying
○	For Construction

Tree Management Summary

Description	Qty
Existing Conifer Trees to be Retained	37
Existing Deciduous Trees to be Retained	10
Total	47
Proposed Conifer Trees	24
Proposed Deciduous Trees	114
Total	138
Trees to be Removed (For Construction)	27
Trees to be Removed (Dead or Dying)	9
Total	36

Tree Management Notes

1. Tree retention, protection, removal and replacement planting will be completed in compliance with the District of West Vancouver's Tree Bylaw.
2. Tree Protection Barriers are not indicated but will be installed during construction in compliance with the District of West Vancouver's Tree Bylaw.
3. An ISA-certified arborist will be recommended at the building permit stage to review tree management strategies for individual lots.

Planting Notes

1. All plant material to BCNTA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
2. Area of search for plant material: Pacific Northwest including British Columbia, Washington and Oregon.
3. Refer to specification for general conditions, materials and installation requirements.

HAPA
Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6
604 909 4150
hapacobo.com

No.	Description	Date

Copyright Reserved. This drawing is and remains at all times the exclusive property of Hapa Collaborative and cannot be used modified or copied without the expressed written consent of the landscape architect.

3656 McKechnie Ave Subdivision
West Vancouver, BC

Planting Plan

Date	Mar. 14, 2016	Drawing Number	
Project No.	1609		
Scale	1/16"=1'-0"		
Drawn/Checked	lp JF		

L1.1