



# District of West Vancouver

## Development Permit No. 17-099

Current Owner: 0970294 BC Ltd. (500 - 221 WEST ESPLANADE, NORTH VANCOUVER, BC, V7M 3J3, CANADA)

This Development Permit applies to “the Lands”:

Civic Address: 6421 Argyle Avenue

Legal Description: Lot 9, Block 38, District Lot 430, Plan VAP2103  
014-048-914

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1. This Development Permit:
  - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as a Development Permit Area to ensure that duplexes meet a high quality of building and landscape design, and to maintain compatibility with adjoining single family dwellings and other land uses subject to Guidelines BF-B11 specified in the Official Community Plan; and
  - (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.
2. The following requirements and conditions shall apply to the Lands:
  - 2.1 Buildings, structures, landscaping and site development for the duplex shall take place in substantial compliance with the drawings from ZED STUDIO dated June 24, 2020, attached as Schedule “A”.
3. Prior to issuance of a demolition permit, the Owner must:
  - 3.1 Provide proof, acceptable to the Director of Planning and Development Services, that a professional rodent extermination regimen was completed on the Lands.
4. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
  - 4.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.
  - 4.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.

- 4.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
5. Prior to the issuance of a building permit and as security for the due and proper completion of the landscaping as set forth in Section 2.1 of this Development Permit, the Owner shall:
- (a) Provide, to the Land Development Department, a cost estimate for the landscaping ("Landscaping Works") to be installed on site.
  - (b) Provide security equaling 100% of the landscaping cost estimate to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union; and
  - (c) Upon confirmation by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that Landscaping Works were installed in substantial compliance with Schedule "A", the District will return 75% of the landscape deposit; and
  - (d) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the remaining 25% of the landscape deposit.
6. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES APPROVED THIS DEVELOPMENT PERMIT ON OCTOBER 27, 2020.



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Jim Bailey, Director of Planning and Development Services

FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON OCTOBER 27, 2020.

Notes:

- (1) DP approval memo to Director of Planning and Development Services: DM# 4097572
- (2) Word Version of DP17-099: DM#4134500

Schedules:

A – Architectural Drawings (ZED STUDIO dated June 24, 2020)

Schedule "A"

# RESIDENTIAL DUPLEX

6421 ARGYLE AVENUE, WEST VANCOUVER, B.C.

ZED STUDIO  
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REVISIONS	
NO.	DATE



## CONTENTS

A100	COVER
A101	NEIGHBOURHOOD CONTEXT
A102	SITE PLAN
A103	LANDSCAPE PLAN
A104	FOUNDATION & BASEMENT PLAN
A105	MAIN FLOOR & UPPER FLOOR PLANS
A106	TRUSS BEARING & SECTION A
A107	SECTIONS
A108	S&W ELEVATIONS
A109	N&E ELEVATIONS
A110	DETACHED GARAGE
A111	MATERIAL BOARD
A112	DETAILS

**RESIDENTIAL DUPLEX**

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
RESIDENTIAL DUPLEX

scale

date 2020-06-24

drawn AG checked ZE

job no. 1616

sheet no. **A100**

consultant

Drawings are to be read in conjunction with each other. any discrepancies found on any drawings are to be reported to the designer before commencing work.  
Contractors are responsible to ensure that all work is executed to the requirements of the latest edition of the B.C. Building Code.  
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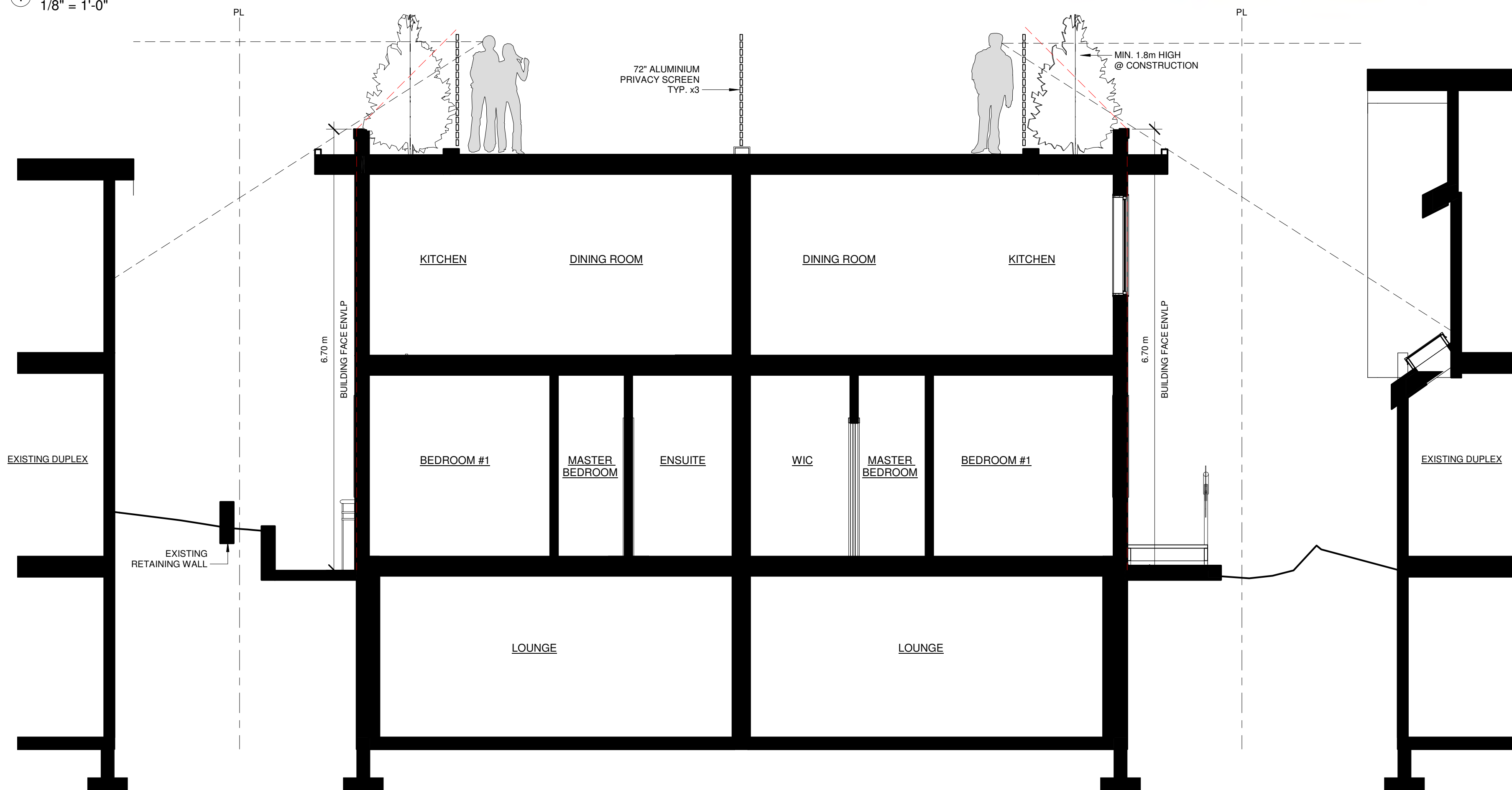
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NEIGHBOURHOOD CONTEXT  
12" = 1'-0"

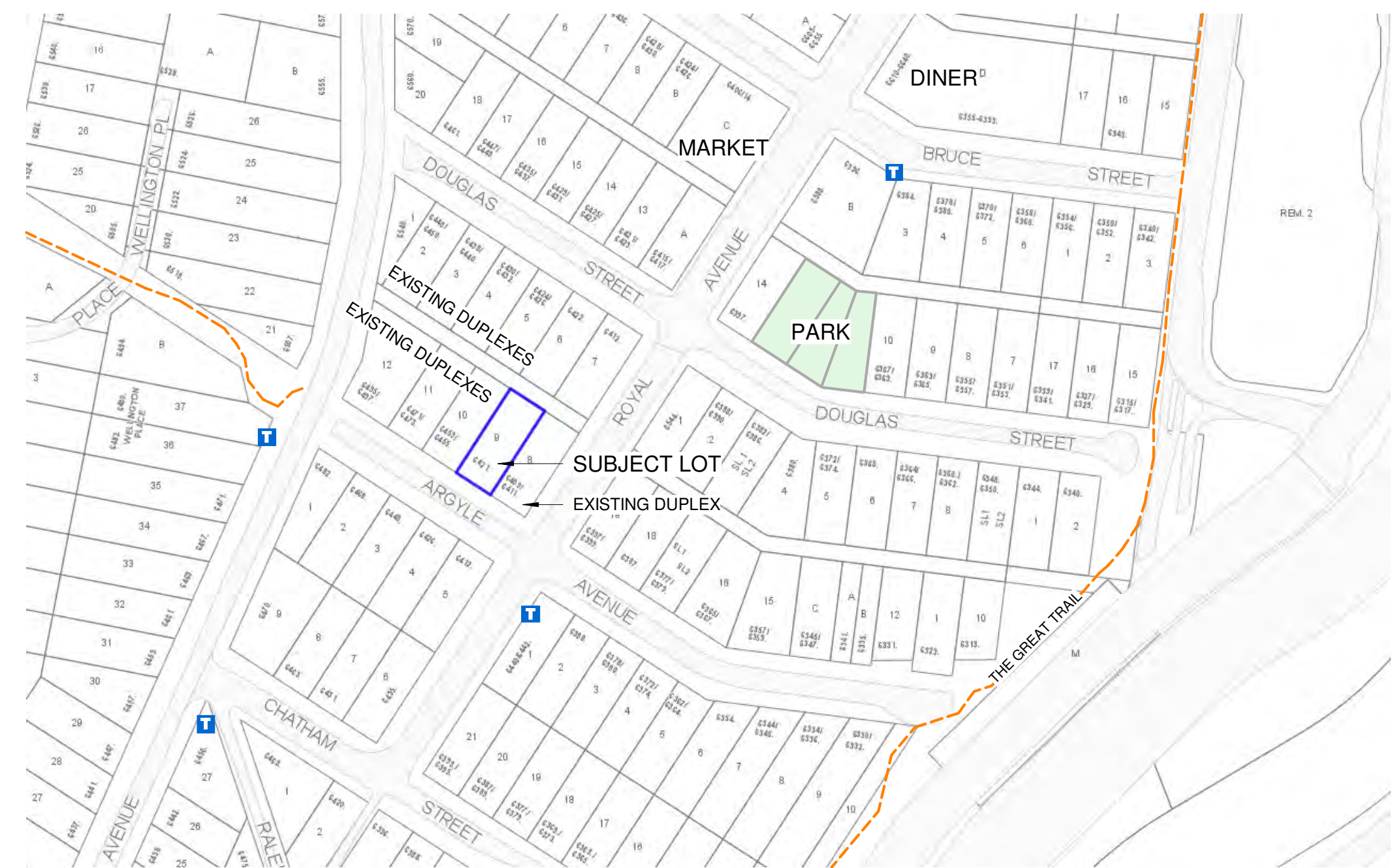


STREETSCAPE  
1/8" = 1'-0"



OVERLOOK/PRIVACY  
1/4" = 1'-0"

- Project objective**
  - The RDZ designation of this property allows for duplex development and increased densification in the neighbourhood. The development will combine a unique and contemporary design with a sophisticated yet simply elegant appearance. Construction materials, facades and landscaping will give the property an elegant west coast presence.
- Building a Home not just a house**
  - Each duplex unit will include the following:
    - An open concept upper level, flowing from kitchen to dining to living areas with 9' ceilings and natural light available to all three areas from a large living room window spanning nearly the entire width of the thirteen foot north wall. The kitchen will have a large pantry. A upper level home office / bedroom overlooking the front yard.
    - A large master bedroom with full ensuite and large master closet. They will also have a private walkout balcony facing north.
    - Two additional main level bedrooms and full bathroom.
    - A large private roof top patio with outdoor living to take advantage of the beautiful mountain vistas surrounding Horseshoe Bay and Howe Sound. Access from inside the home from a large deck on the upper level.
    - Covered front porch and front entrance.
    - The basement has a large open concept bar and lounge area, along with a full bathroom.
    - Back yard decks, yard and garden with cedar wood privacy fence separating both units.
    - Single car garage plus additional back yard parking per dwelling unit
- The Neighbours**
  - This particular block of Argyle Avenue is comprised of predominantly older, two story duplex buildings, including both properties (6453-55 and 6409-11) Argyle Avenue on either side of the proposed site. Building height and location will not impede view or create shade on either property.
  - As well, two of the seven properties on the corresponding block on Douglas Street across the back lane from this property are two story duplex homes.
  - The commercial area of Horseshoe Bay is within half a block to the east and four blocks to the north. This proximity to commercial activity and traffic makes duplex rather than single family home the logical option for development.
- Horseshoe Bay**
  - Horseshoe Bay is home to approximately 1,000 residents. Located on the shores of Howe Sound, Horseshoe Bay features the third largest ferry terminal in the province with three berths servicing the Sunshine Coast, Vancouver Island and Bowen Island. Nearly 3 million vehicles and over 7 million passengers get on or off a ferry at the Horseshoe Bay terminal every year.
  - Sewells Marina has been in operation since 1931 and is an important destination for tourists and local mariners alike offering public moorage, boat launch, boat rentals, Sea Safari expeditions and fishing charters.
  - A thriving business community of restaurants, cafes, and eclectic retail shops are supported by the locals and prosper from the significant ferry and harbour traffic.
  - Professional services including medical, dental and pharmacy allow locals to stay close to home.
  - The small village vibe makes Horseshoe Bay a desirable neighbourhood for young families to settle. With quick access to the highway, Gleneagles Community Center and a public golf course just around the corner Horseshoe Bay offers convenience to an active family.
  - Seniors appreciate the tranquil west coast feel of Horseshoe Bay and prefer options for downsizing while remaining in the area.
- The Desirable Duplex**
  - Although young families would normally prefer a single family home, the benefits of space for the entire family, a yard, and privacy means a duplex is often the affordable option.
  - Downsizing seniors are a perfect target market for duplex developers. Consolidation of space while maintaining the benefits of a single family home make a duplex a preferred option.
- Topography**
  - The site is a trapezoid at 6096.60 square feet. Measuring 50.01 and 49.94 feet in width and 122.99 feet in length. The grade slopes downwards from the front of the building at 60.7ft to 45.5ft at the back. A 15.2ft decrease.
- Vegetation**
  - Most vegetation in the area is on other lots all around. The most "open" area would be to the north east of the lot as the topography is sloping downwards.
- Site access & building orientation**
  - The building face is to the South West. Vehicular access to the site will be from the lane on the north face of the lot. Pedestrian access will be from the south face on Argyle Avenue.
- Natural light and Shadow study**
  - (Refer to sheet A104-A105 for shadow diagrams)
  - The property enjoys sun on the south side most year round although there are trees in the surrounding area that may block out the sunlight from reaching the building. As the year progresses the shadows cast from neighboring building gradually move west covering more of the building. This building will cast shadows on neighboring buildings to the north west. The majority of these shadows will affect the sites own rear and side yard.
- Views**
  - Because of the surrounding vegetation the views from the building may be slightly obstructed but the roof top balcony will provide additional views. To the north east of the lot is the Sea to Sky mountains, and the Salish sea which connects into the Pacific ocean.



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REVISIONS	
NO. DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**

6421 ARGYLE AVE, WEST VANCOUVER B.C.

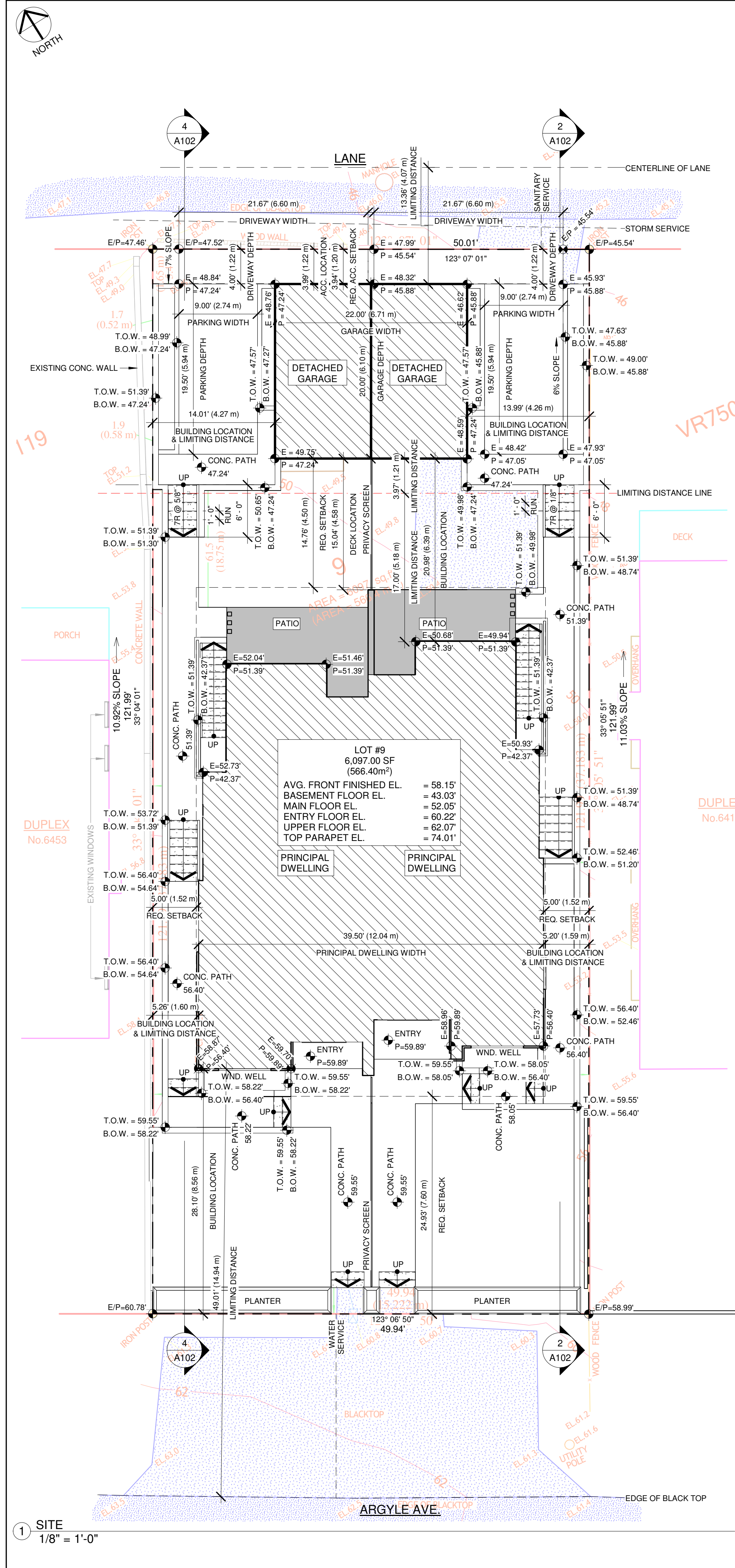
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scale As indicated  
date 2020-06-24  
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job no. 1616  
sheet no. A101

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**PROJECT #:** 1616  
**CIVIC:** 6421 ARGYLE AVENUE, WEST VANCOUVER, BC  
**LEGAL:** LOT 9 BLOCK 38 DISTRICT LOT 430 PLAN 2103  
**PID:** 014-049-914

**LOT:** 9  
**ZONING:** RD2  
**LOT AREA:** 6,097.00 SF (566.40 m<sup>2</sup>)

**SITE COVERAGE:**  
 LOT AREA = 6,097.00 SF (566.40 m<sup>2</sup>)  
 MAX. SITE COVERAGE = 40%  
 ACTUAL SITE COVERAGE = 2,438.50 SF (226.57 m<sup>2</sup>)  
 = 1,645 SF (MAIN FLOOR & ENTRY) + 69 SF (COVERED ENTRY)  
 = 243 SF (COVERED PATIO) + 440 SF (GARAGE)  
 TOTAL SITE COVERAGE = 59.31%  
 = 2,397.00 SF (222.69 m<sup>2</sup>)

**FLOOR AREA RATIO:**  
 LOT AREA = 6,097.00 SF (566.40 m<sup>2</sup>)  
 MAX G.F.A. = 0.50  
 = 3,048.50 SF (283.21 m<sup>2</sup>) (440 SF EXCLUDED FOR PARKING)  
 ACTUAL G.F.A. = 1,535 SF (143.58 m<sup>2</sup>) (1,495 SF UPPER FLOOR)  
 TOTAL G.F.A. = 0.50  
 = 3,030.00 SF (281.49 m<sup>2</sup>)

**PRINCIPAL BUILDING HEIGHT:**  
 SEE SOUTH ELEVATION CONFIRMATION OF ROOF RIDGE EL. ON SHEET A108  
 MAX HEIGHT = 25.00' (7.62 m)  
 BUILDING HEIGHT = 15.88' (4.83 m)  
 GUARDRAIL HEIGHT = 17.45' (5.32 m)  
 PRIVACY FENCE HEIGHT = 19.95' (6.05 m)

**MAX. STOREYS:** = 2 + BASEMENT  
**ACTUAL STOREYS:** = 2 + BASEMENT

**ACCESSORY BUILDING HEIGHT:**  
 SEE NORTH ELEVATION CONFIRMATION OF MEAN ROOF RIDGE EL. ON SHEET A110  
 MAX HEIGHT = 12.14' (3.70 m)  
 ACTUAL HEIGHT = 11.90' (3.63 m)

BUILDING SETBACKS:	BUILDING LOCATION:
FRONT = 24.93' (7.60 m)	FRONT = 28.10' (8.56 m)
REAR = 29.98' (9.10 m)	REAR = 44.82' (13.70 m)
SIDE YARD 20% MIN. COMBINED = 10.00' (3.04m)	WEST SIDE = 5.00' (1.52m)
	EAST SIDE = 5.00' (1.52m)
	WEST SIDE = 3.94' (1.20m)
	FROM MAIN BUILDING = 14.76' (4.5m)
	FROM MAIN BUILDING = 20.98' (6.39m)

**ENERGY CODE ZONE 4:**  
 ATTIC CEILING R-40 (RSI 7.0)  
 CATHEDRAL CEILING R-28 (RSI 4.9)  
 WALL (2x6@16" o.c.) CAVITY R-20 (RSI 3.5)  
 CONTINUOUS EXTERIOR WALL INSULATION NOT REQUIRED  
 FLOOR OVER HEATED SPACE R-28 (RSI 4.9)

**ALL EXTERIOR WINDOWS AND DOORS TO HAVE A MAX. U VALUE OF U-0.32**  
**FRONT DOOR TO HAVE A MAX. U VALUE OF U-0.46**

**ENERGY CODE COMPLIANCE PATH PERSCRPTIVE PER BCBC 2018**

**GENERAL NOTES:**  
 THESE DRAWINGS CONFORM TO THE LATEST EDITION OF THE 2018 BRITISH COLUMBIA BUILDING CODE.

**ALL DIMENSIONS ARE TO THE CENTER OF WALL, FACE OF SHEATHING OR FACE OF CONCRETE UNLESS NOTED OTHERWISE. CONTRACTOR MUST CONFIRM ALL CRITICAL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ADEQUACY OF DRAWINGS, REPORT ALL DISCREPANCIES.**

**CONTRACTOR SHALL CONFIRM ACTUAL DIMENSION WITH SUPPLIER/MANUFACTURER AND SITE CONDITION. DO NOT SCALE DRAWINGS.**

**TELEPHONE AND HYDRO SERVICE ARE EXISTING.**

**WHEN DRAWINGS DO NOT SHOW SUFFICIENT DETAIL TO ALLOW COMPLIANCE WITH RELEVANT SPECIFICATIONS, THE CONTRACTOR SHALL PREPARE DETAILS FOR SUBMISSION TO THE APPROPRIATE CONSULTANT FOR APPROVAL, PRIOR TO CONSTRUCTION OR IMPLEMENTING THAT DETAIL.**

**ZEI STUDIO IS NOT RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THIS BUILDING. IN CASE OF ANY DISCREPANCY BETWEEN THESE NOTES AND STRUCTURAL NOTES PROVIDED BY AN ENGINEER, THE ENGINEER'S NOTES WILL SUPERSEDE. THESE DISCREPANCIES ARE TO BE REPORTED.**

**ALL MATERIAL AND WORKMANSHIP TO MEET THE REQUIREMENTS OF THE 2018 ISSUE OF THE BRITISH COLUMBIA BUILDING CODE. THE FOLLOWING SPECIFICATIONS ARE RECOMMENDED FOR MINIMUM REQUIREMENTS REFER TO THE B.C.B.C.**

**ALL FOLLOWING SIZES AND DIMENSIONS ARE TO BE CONFIRMED TO COMPLY WITH MUNICIPAL STANDARDS. THESE STANDARDS SUPERSEDE THE MINIMUM REQUIREMENTS OF THE B.C.B.C. (REFERENCE NUMBERS BELOW)**

**EXCAVATION: 9.12:**  
 FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL. 18" MINIMUM COVERAGE FOR FROST PROTECTION.

**DRAINAGE: 9.14:**  
 CLEAN DRAIN ROCK OVER 4" DRAIN TILE. 4" DIA. PERFORATED PVC DRAIN PIPE. RWL TO SOLID PIPE.

**CONCRETE: 9.3.1:**  
 ALL UNREINFORCED CONCRETE TO BE A MINIMUM OF 15 MPA @28 DAYS.

**FOOTINGS AND FOUNDATIONS: 9.15:**  
 STRIP FOOTINGS: MIN. 16"x32". COLUMN FOOTING: MIN. 24"x24"x10". CONC. WALLS TO PROJECT 200mm ABOVE FINISHED GRADE OR 2" ABOVE EXTERIOR CONCRETE SLABS.  
 PROVIDE 4" ANCHOR BOLTS @ MAXIMUM 4' O.C. 2 O.M EACH SILL PLATE. POSTS TO BE ANCHORED TO RESIST UPLIFT.

**PROTECTION FROM DAMPNESS: 9.23.2.2:**  
 WOOD FRAME MEMBERS THAT ARE NOT PRESSURE TREATED WITH A WOOD PRESERVATIVE AND THAT ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR SOIL SHALL BE SEPARATED FROM THE CONCRETE BY NOT LESS THAN 0.05mm POLY FILM OR TYPE S ROLL ROOFING.

**ROOFING/WATERPROOFING:**  
 ALL BUILDING PAPER USED IN THIS PROJECT MUST BE 2 LAYERS OF 30 MIN. INSTALLED 1/2 LAPPED. ALL CAULKING MUST BE POLYURETHANE BASE NOT SILICONE BASE. PROVIDE CONTINUOUS VAPOR BARRIER ON TOP AND END OF EXTERIOR WALLS OVER BEAMS. PROVIDE CAULKING AROUND ALL EXTERIOR OPENINGS. ALL FLASHING MUST BE A MIN. OF 26 GAUGE AND SHALL BE JOINED WITH STANDING SEAMS. INSTALL PEEL AND STICK MEMBRANE UNDER CAP FLASHING. SHINGLE EXTERIOR VENT SHOULD BE A ECOO - MODEL 051204 OR EQUIVALENT. VENT SHALL BE BACK CAULKED ONTO 30 MIN. FLASHING PAPER THAT IS APPROXIMATELY 1/2" LARGER THAN THE VENT ON ALL SIDES. THE FLASHING PAPER SHALL THEN BE SHINGLED WITH BUILDING PAPER. WATERPROOF MEMBRANE SHALL CARRY UP INTO PATIO DOOR ROUGH OPENING WITH UPLIFT.

**FRAMING: 9.23:**  
 ALL MATERIAL, SIZES AND SPANS ARE BASED ON #2 D.FIR OR K.D. SPRUCE UNLESS NOTED OTHERWISE.  
 HEADER: 2x2x10 #2 D.FIR (UDL OF ONE FLOOR AND ROOF)  
 3x2x10 #2 D.FIR (UDL OF TWO FLOORS AND ROOF)  
 WALL STUDS: 2x4 STUDS @ 16" O.C. (EXTERIOR) 2x4 STUDS @ 16" O.C. (INTERIOR) UNLESS NOTED OTHERWISE.  
 CONTRACTOR SHALL OBTAIN MANUFACTURER'S STAMPED ENGINEERED SHOP DWG. AND CERTIFICATE OF INSTALLATION FOR TRUSSES.  
 PROVIDE SOLID BLOCKING IN TWO SPACES ON BOTH SIDES OF EXTERIOR AT LATCH HEIGHT AND HINGE HEIGHT. CROSS BRIDGING OF ROOF FLOOR JOISTS REQUIRED AT 7' O.C. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PROTECTED WITH THIN 45 DEG.

**FLOORS: 9.30.1:**  
 WATER RESISTANT FLOORING REQUIRED IN ENTRY, LAUNDRY, KITCHEN, MECHANICAL RM. AND BATHROOMS. PROVIDE 28" PLY. UNDER.

**INSULATION: 9.25.2:**  
 R20 INSULATION AND 6 MIL POLY V.B. BETWEEN HEATED AND UNHEATED SPACE, THE EXTERIOR AIR OR THE EXTERIOR SOIL.

**ATTICS: 9.19.1:**  
 CROSS VENT ROOF 1/150TH OF AREA OR ATTIC SPACE MINIMUM 1/300TH OF AREA WITH A MINIMUM OF 25% AT THE TOP AND 25% AT THE BOTTOM. INSTALL INSULATION STOPS AS REQUIRED. PROVIDE MIN 20"x28" ACCESS WITH TIGHT FITTING INSULATED COVER.

**FIREPLACE: 9.22:**  
 PROVIDE MINIMUM 4" COMBUSTION AIR DUCT FROM EXTERIOR. FOR WOOD BURNING FIREPLACE PROVIDE MINIMUM 16" NON-COMBUSTIBLE HEARTH AND CO2 DETECTOR. ALL MANUFACTURED FIREPLACE AND FLUES TO CONFORM TO CANULC S810 STANDARD. INSTALL TO MANUFACTURER'S SPECIFICATIONS AND U.L.C. LISTING REQUIREMENT. INSTALL 1/2" WONDERBOARD UNDER NON-COMBUSTIBLE HEARTH FINISH.

**PLUMBING:**  
 PLUMBING TO MEET REQUIREMENTS OF THE 2012 B.C.B.C. INCLUDING 7.5.5. EVERY STORY IN WHICH PLUMBING IS OR MAY BE INSTALLED, INCLUDING THE BASEMENT OF A SINGLE FAMILY DWELLING, SHALL HAVE EXTENDED INTO IT OR PASSING THROUGH IT A VENT PIPE THAT IS AT LEAST 1 1/2" IN SIZE FOR THE PROVISION OF FUTURE CONNECTIONS. ALL BUILDING DRAWINGS TO BE PROVIDED WITH AT LEAST ONE VENT NOT LESS THAN 3" IN SIZE AND SHALL TERMINATE THROUGH THE ROOF.

**DRYWALL:**  
 WATERPROOF WALL BOARD REQUIRED AROUND TUB AND SHOWERS.

**VENTILATION: 9.32:**  
 WHERE NATURAL VENTILATION OF ROOMS DOES NOT MEET THE REQUIREMENTS OF TABLE 9.32.2 MECHANICAL VENTILATION IS REQUIRED. NOT MECHANICALLY COOLED. PROVIDE 1 AIR CHANGE PER HOUR. MECHANICALLY COOLED. PROVIDE 1/2 AIR CHANGE PER HOUR.

**HEATING: 9.33:**  
 HEATING SYSTEM TO MEET REQUIREMENTS OF 2012 B.C.B.C.

**DOORS: 9.6.5:**  
 SAFETY OR WIRED GLASS IS REQUIRED WHERE GLASS CAN BE MISTAKEN FOR A DOOR OPENING AND WITHIN 36" OF DOOR LOCKS OR 8" OF FLOOR. DOORS BETWEEN GARAGE AND DWELLING TO BE SELF CLOSING AND WEATHER STRIPPED. ENTRANCE AND EXTERIOR DOORS TO DWELLING UNITS TO COMPLY WITH B.C.B.C. 9.6.4 & 9.6.6. DOORS TO BATHROOMS AND ALL ENSUITE DOORS TO UNDERCUT 1/2" FOR SUITE VENTILATION.

**SECURITY: 9.8.2:**  
 ALL EXTERIOR DOORS TO MEET THE REQUIREMENTS OF 9.8.8

**WINDOWS: 9.7:**  
 BEDROOM WINDOWS TO HAVE A MIN. UNOBSTRUCTED OPENING OF NOT LESS THAN 0.35M<sup>2</sup> AND NO DIMENSION LESS THAN 0.38m. OPENING MUST BE MAINTAINED DURING AN EMERGENCY WITHOUT THE NEED FOR ADDITIONAL SUPPORT. WINDOW FRAMES ARE TO BE THERMALLY BROKEN. ALL WINDOW DIMENSIONS ARE NOMINAL. SITE MEASURE AS REQUIRED. ALL FRAMES TO HAVE NAILING FLANGE AND TO BE PLACED DIRECTLY ON WINDOW SILL. WINDOW LOCATED WITHIN 3'-0" OF DOOR LOCKS REQUIRED TO HAVE SAFETY OR WIRED GLASS CONFORMING TO 3.31.18(2). WINDOWS TO CONFORM TO SECTION 9.7.2 AND SUBSECTION 9.7.2 NATIONAL BUILDING CODE AND TO BE MANUFACTURED IN ACCORDANCE WITH A3.83.G3 TO CSA A440-M98 PERFORMANCE TEST. PROVIDE MOCK UP WITH RELEVANT ASSEMBLY FOR TESTING. MIRROR/DORS AND BIFOLDS TO CONFORM TO BCBC 9.6.3. ALL GLAZING 8" OR LOWER A.F.F. TO BE SAFETY GLASS. GLAZING AT ENTRANCE DOORS, SHOWER DOORS, TUBS AND SLIDING DOORS TO CONFORM TO 9.6.6 WINDOWS OVER STAIRS AND LANDINGS TO CONFORM TO 9.7.3. WINDOWS THAT EXTEND TO LESS THAN 900mm ABOVE THE LANDING SHALL BE PROTECTED WITH GUARDS (9.8.8) OR NON-OPENABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS (4.1.5.15).

**GLASS: 9.6.6:**  
 SAFETY GLASS MUST BE USED WHEN ENCLOSING BATHROOMS, SHOWERS. ALL DOORS AND WINDOWS TO BE DOUBLE GLAZED.

**FLASHING: 9.27.3:**  
 FLASH ALL EXT. WALL OPENINGS WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE EAVE TO THE TOP OF THE TRIM IS MORE THAN 1/4 OF THE EAVE OVERHANG.

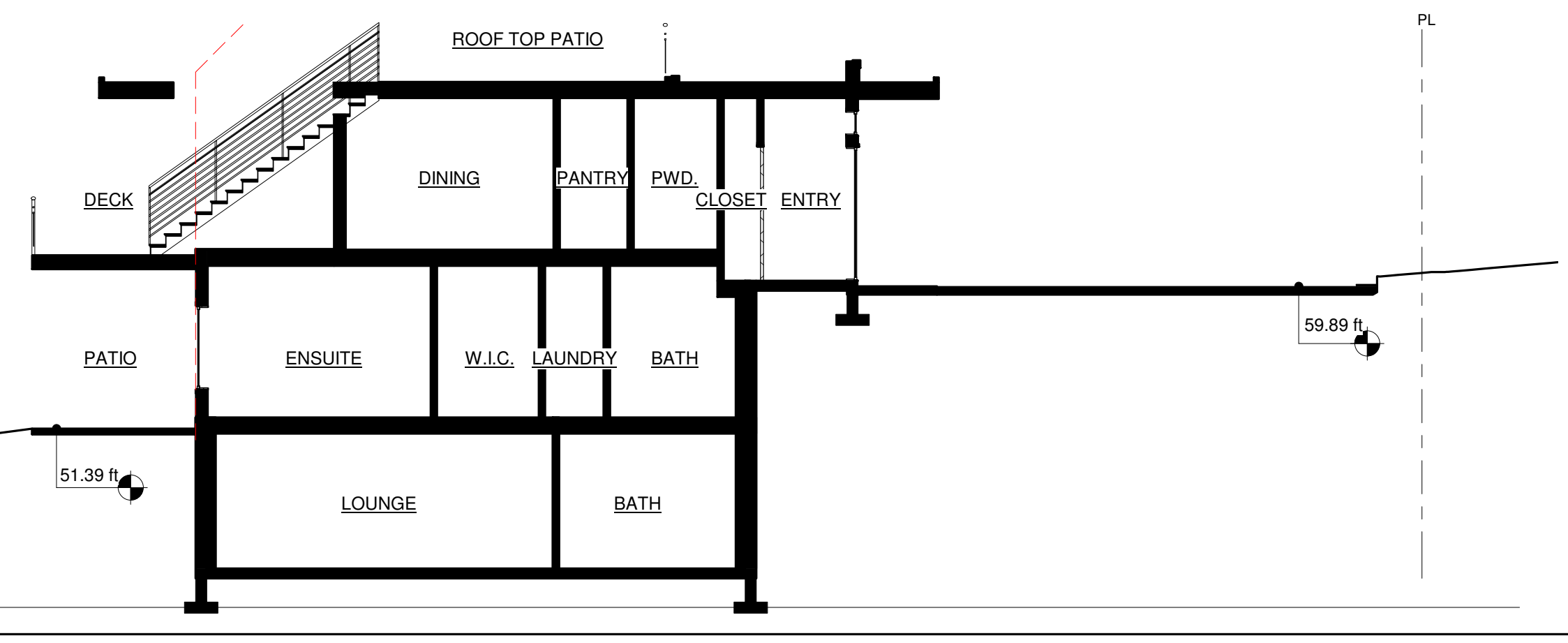
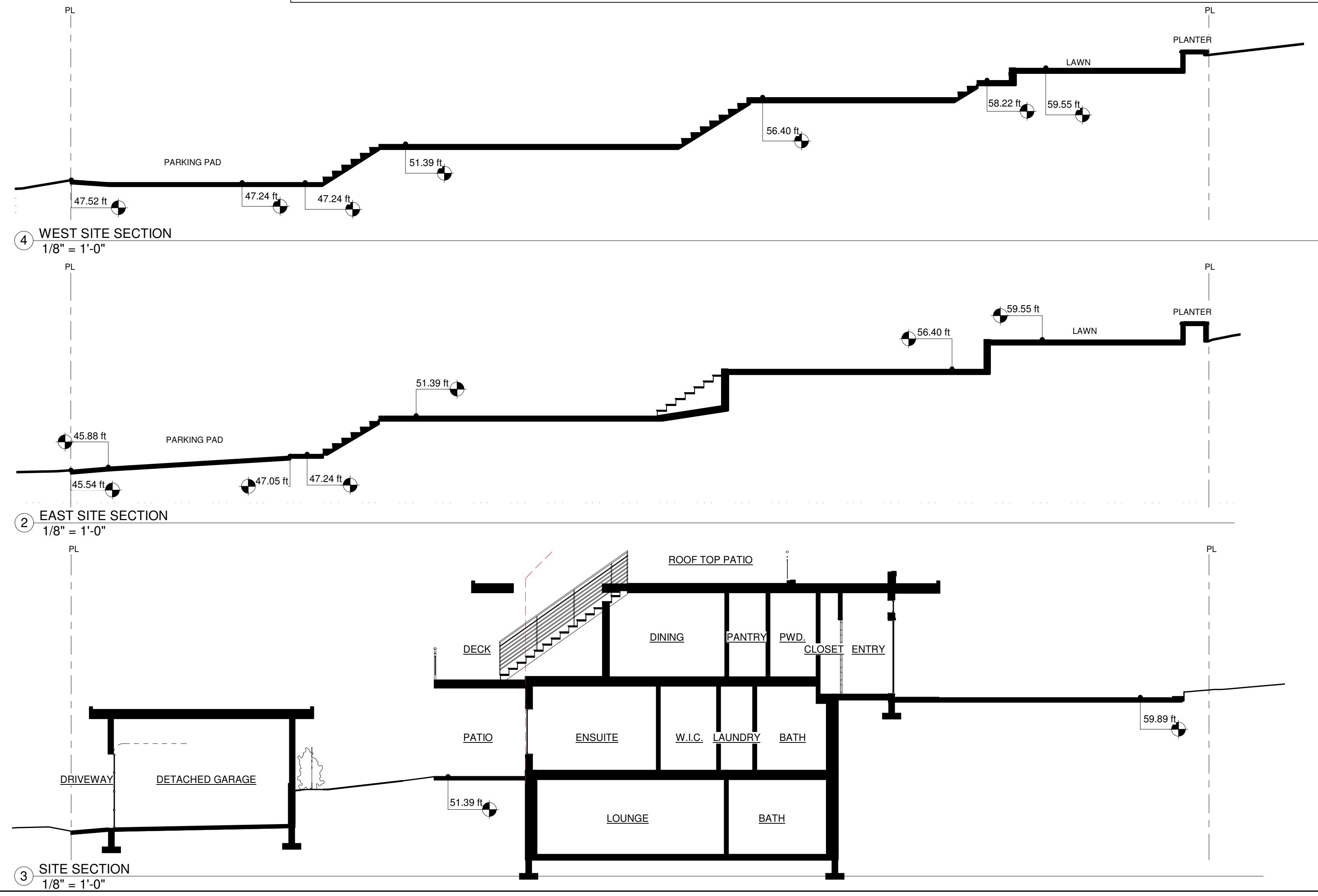
**STAIRS: 9.8:**  
 SEE SECTION FOR STAIR SPECIFICATIONS.

**GUARDRAILS: 9.8.8:**  
 GUARDRAILS REQUIRED WHERE FLOOR TO FLOOR OR FLOOR (DECK, LANDING ETC.) TO GRADE. NO OPENING GREATER THAN 4". NO MEMBERS LOCATED BETWEEN 4'-36" ABOVE FLOOR OR DECK ETC. THAT WILL FACILITATE CLIMBING. INTERIOR GUARDRAILS: MIN. 36" EXTERIOR GUARDRAILS: MIN. 42" EXCEPT WHERE DECK TO GRADE IS LESS THAN 6'-0". THAN EXTERIOR GUARDRAILS: 36" HANDRAILS FOR STAIRS: 32" ABOVE NOSING. GUARDRAILS FOR STAIRS: 36" ABOVE NOSING. GUARDRAILS TO BE DESIGNED FOR 1.5 KN/M HORIZONTAL AND VERTICAL LOAD AT TOP OF RAIL PLUS I.O. KP PANEL LOADS, NO OPENING MORE THAN 4".

**SMOKE ALARMS: 9.10.19:**  
 SMOKE ALARMS TO CONFORM TO CANULC-SS31. AT LEAST ON SMOKE ALARM ON EACH FLOOR, INCLUDING BASEMENTS. SMOKE ALARM TO WITHIN 5M OF ALL BEDROOM DOORS AND 15M OF ANY POINT THE SAME FLOOR, MEASURED FOLLOWING CORRIDORS. SMOKE ALARMS TO BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT. ALL SMOKE ALARMS TO BE INTERCONNECTED.

**CO ALARMS: 9.32.4.2:**  
 CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19. CARBON MONOXIDE ALARMS TO BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT. CARBON MONOXIDE ALARM TO BE INSTALLED WITHIN 5M OF ALL BEDROOM DOORS, MEASURED FOLLOWING CORRIDORS.

**MISCELLANEOUS:**  
 PROVIDE MIRRORS BEHIND ALL BATHROOM SINKS.



**ZEI STUDIO**

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 V3B 0L8  
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REVISIONS		
NO.	DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
 SITE PLAN

---

scale As indicated

date 2020-06-24

drawn AG checked ZE

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job no. 1616

sheet no. **A102**

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consultant

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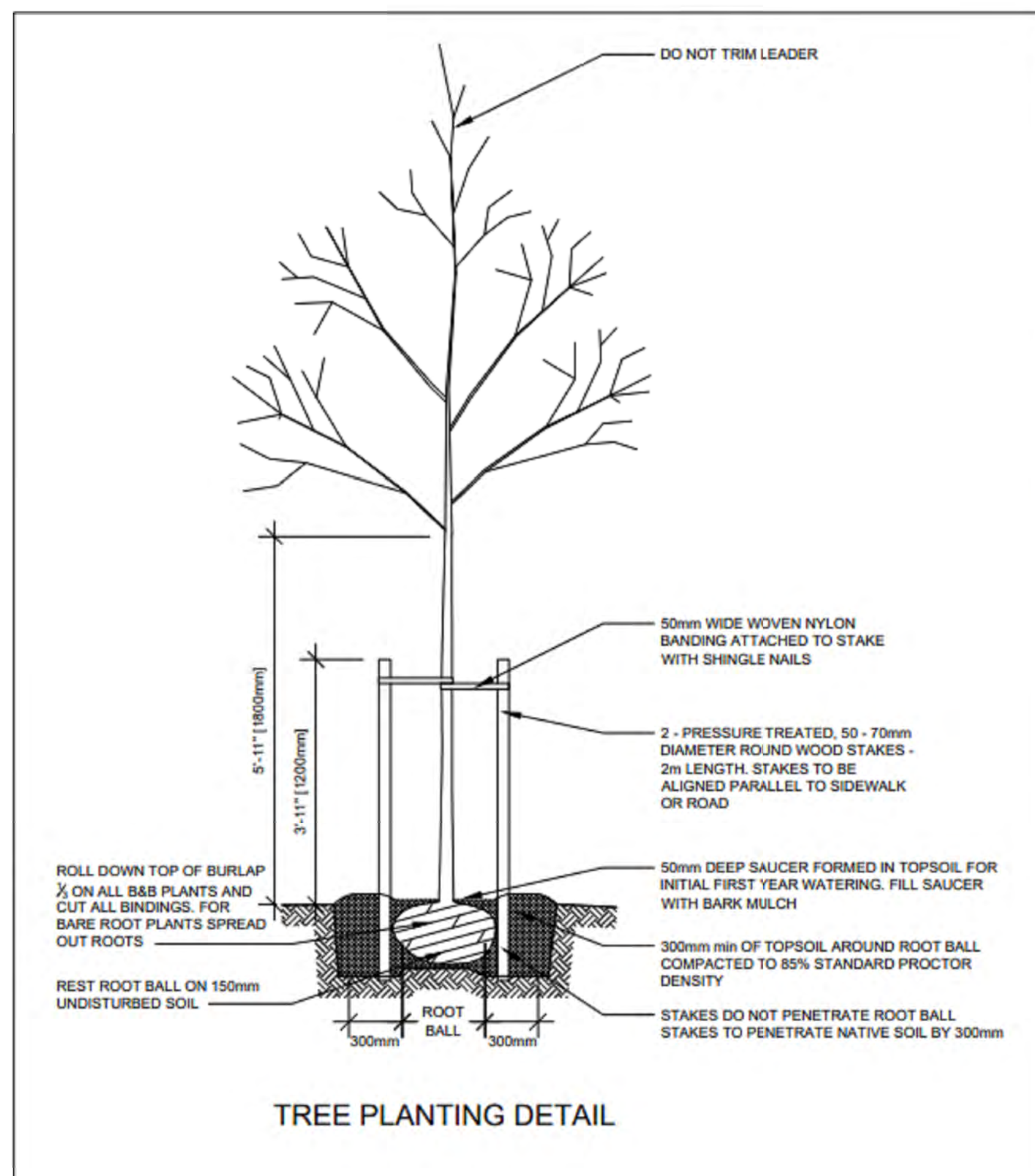
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**PLANTING LIST**

BOTANICAL NAME	COMMON NAME	SIZE	QTY	H	S
<b>TREES</b>					
A. STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6cm CAL	2	10m	3m
<b>SHRUBS</b>					
B. SA. BUXUS SEMPERVIRENS 'WINTER GEM'	BOXWOOD	#1 POT	120	1.0m	1.5m
SB. PINUS MUGHO 'PUMILO'	DWARF MUGO PINE	#5 POT	8	0.75m	1.0m
SC. NANDINA DOMESTICA HARBOUR DWARF	HEAVENLY BAMBOO	#3 POT	6	2.0m	1.0m
SD. TAXUS BACCATA	YEW	#3 POT	30	2.0m	0.5m
SE. VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT	14	1.0m	1.0m
SF. EUONYMUS FORTUNEI 'GREEN N WHITE'	GROUND COVER EUONYMOUS	#1 POT	7	1.0m	1.0m
SG. SKIMMIA JAPONICA REEVESIANA	JAPANESE KIMMIA M/F	#3 POT	10	1.5m	0.6m
<b>GROUNDCOVERS</b>					
GA. CAREX OSHIMENSIS 'EVERGOLD'	VAR JAPANESE SLEDGE	#1 POT	4	0.3m	0.3m
GB. CALAMAGROSTIS KARL FOERSTER	FEATHER REED GRASS	#1 POT	22	1.2m	0.5m
GC. RUDBECKIA	BLACK EYED SUSAN	#1 POT	18	0.5m	0.5m

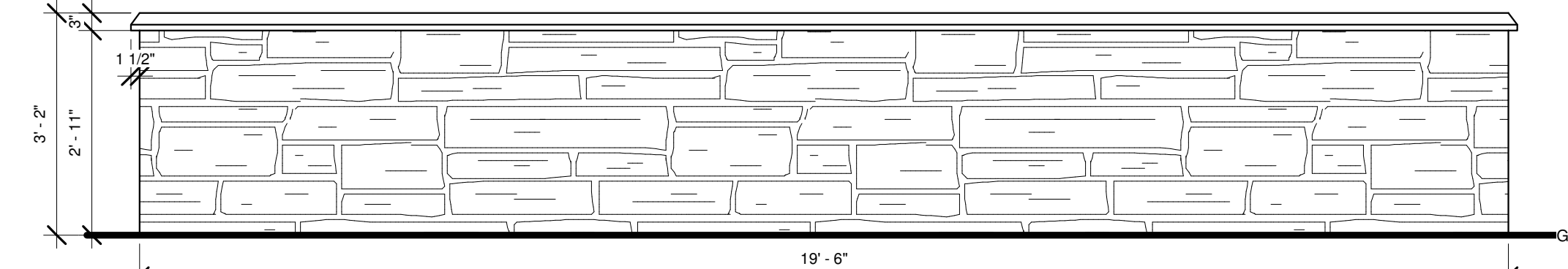
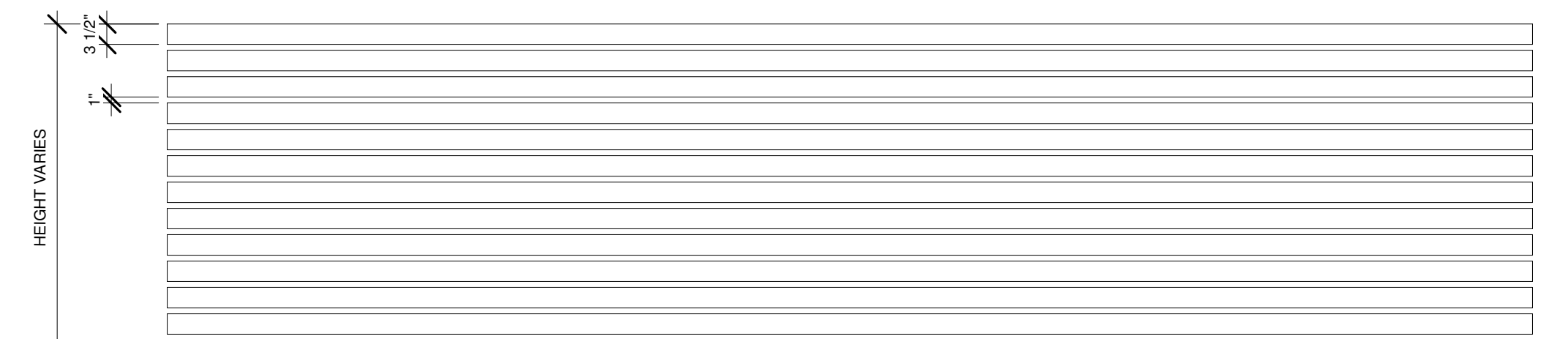
○ PLANTING LIST  
1/4" = 1'-0"



① LANDSCAPE PLAN  
1/8" = 1'-0"

AS PER SECTION 9.36.2.10 - NOTES PERTAINING TO LEAKAGE PATHS IN PROBLEMATIC AREAS	WINDOW HEAD	WALL TO CEILING
FOUNDATION TO SILL PLATE AND RIM JOISTS ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR-TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.	THE INTERFACE BETWEEN THE HEAD/JAMBS AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENTS ALSO APPLIES TO DOORS AND SKYLIGHTS.	ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL AND CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.
- INTERIOR WALL INTERFACE INTERIOR WALLS THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN INTERIOR PLAN OF AN AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL OR MAINTAINING THE CONTINUITY OF THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL.	WINDOW SILL THE INTERFACE BETWEEN WINDOW SILL AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND WINDOWS.	WALL VENTED DUCTS DUCT PENETRATIONS THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL.
- RIM JOISTS ALL JOINTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.	MECHANICAL ELUES AND CHIMNEYS STEEL LINED CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING CONSTRUCTION WITH SHEET METAL SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES AND SEALING IT TO THE TOP PLATE.	ELECTRICAL PENETRAION IN WALLS ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, WIRING, SWITCHES, AND RECESSED FIXTURES THROUGH THE PLANE OR AIRTIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE AIRTIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.
- CANTILEVERED FLOOR CANTILEVERED FLOORS AND FLOORS OVER UNHEATED SPACES/ EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL.	PLUMBING STACKS PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT PIPE WITH A COMPATIBLE MATERIAL OR SHEATHING TAPE OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION OF THE PLANE OF AIRTIGHTNESS AND SEALING IT TO THE TOP PLATE.	SKYLIGHTS THE INTERFACE BETWEEN THE SKYLIGHT AND THE WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT.

○ LEAKAGE PATH  
1/4" = 1'-0"



Duplex Design Guidelines	Building Massing	EnerGuide
<p>1. Content and Character</p> <ul style="list-style-type: none"> <li>The proposed residential duplex will maintain the surrounding neighbourhood context as there are many older two storey duplexes adjacent to the site. The duplex provides an elegant west coast presence that will modernize the neighbourhood.</li> </ul> <p>2. Scale</p> <ul style="list-style-type: none"> <li>The proposed duplex has moderated the scale between existing buildings by incorporating features that provide visual interest. The development has the east unit setback 2'-7" to give each unit a sense of self and to add variation to the front facade. The development also uses a combination of materials such as stone veneer, acrylic stucco, and longboard siding to avoid undifferentiated and blank walls.</li> </ul> <p>3. Definition of Entrance</p> <ul style="list-style-type: none"> <li>The duplex provides a clear separation between each unit through the use of privacy screens, landscaping, and by giving each unit a distinguished entrance.</li> <li>The South facing pedestrian entrance is situated off of Argyle Ave. and is clearly displayed through the use of landscaping.</li> <li>The North facing garage is situated off of the lane at the rear of the property. The garage mirrors the main dwelling facade to create a cohesive design throughout the site.</li> </ul> <p>4. Use of Appropriate Materials</p> <ul style="list-style-type: none"> <li>The materials used are high quality and appropriate for residential use.</li> <li>The building facade has been articulated to provide an elegant west coast design.</li> <li>All privacy screens have the same finish as the longboard siding. All exterior railings are aluminum and glass finishes.</li> <li>All exposed flashing will be black finished to compliment exterior finishes.</li> </ul> <p>5. Landscape Design</p> <ul style="list-style-type: none"> <li>Landscape elements are consistent in the front and rear yard of the property.</li> <li>Each unit is provided with a lawn in the front and rear of the property and is separated from each other with a 66" aluminum privacy screen.</li> <li>The landscaping creates a clear pathway to each entrance while allowing access to the rear yard, and clearly indicates each units space.</li> <li>The landscaping provides hard and soft elements around the entire property.</li> </ul>	<p>The proposed duplex is rectangular. The building is set back enough as to give some yard room at the front of the building as well as space in the back for a separate car garage.</p> <p>The Basement and Main floor are approximately the same size, the Upper floor has a smaller floor area. Majority of the windows for this building are on the north and south faces to allow light to flow through the units.</p> <p>The proposed duplex encourages the territorial design concept by using landscaping and fencing to clearly show each units identity.</p> <p>The proposed duplex design promotes the provision of natural surveillance throughout the space by providing large windows in the common areas and workspaces that are directed to the front and rear of the site.</p> <p>Access to the duplex is controlled through the use of lights, paved walkways, and locking doors.</p> <p>The shrubs and vegetation shall be maintained as to not interfere with sight lines.</p> <p>The proposed duplex is designed to use a combination of fencing and landscaping to provide security to the site in an established neighbourhood. This development will also enhance the neighbourhood watch through active open spaces in the front and rear of the property as well as from the roof top balcony.</p>	<p>This property is taking several strides to ensure that it meets and exceeds the energy requirements set out by the EnerGuide in Canada. By increasing energy efficiency and achieving an energuide rating of 80 or better, this duplex will allow it's residents to lower their utility bill, save energy, and drastically reduce their impact on the environment.</p> <p>The efforts to achieve this performance are:</p> <ul style="list-style-type: none"> <li>All windows and exterior doors will be weather stripped and/or caulked.</li> <li>All exterior windows and doors will meet a minimum U-value of 0.32 or less.</li> <li>The front entry door will meet a minimum U-value of 0.46 or less.</li> <li>All toilets, faucet aerators, and showerheads will be rated at less than 7.6 litres per minute.</li> <li>Exhaust fans will be "Energy Star" certified models.</li> <li>Pre-wiring for an electric vehicle charging station will be installed in both sides of the detached garage.</li> <li>Renewable energy is attained by the reservation of 9.3m<sup>2</sup> on the roof for the installation of a Solar Panelling System.</li> <li>All construction materials used will be made out of wood which promotes the use of a renewable resource and reduces our carbon footprint.</li> </ul>

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REVISIONS

NO. DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**  
6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
LANDSCAPE PLAN

scale As indicated

date 2020-06-24

drawn AG checked ZE

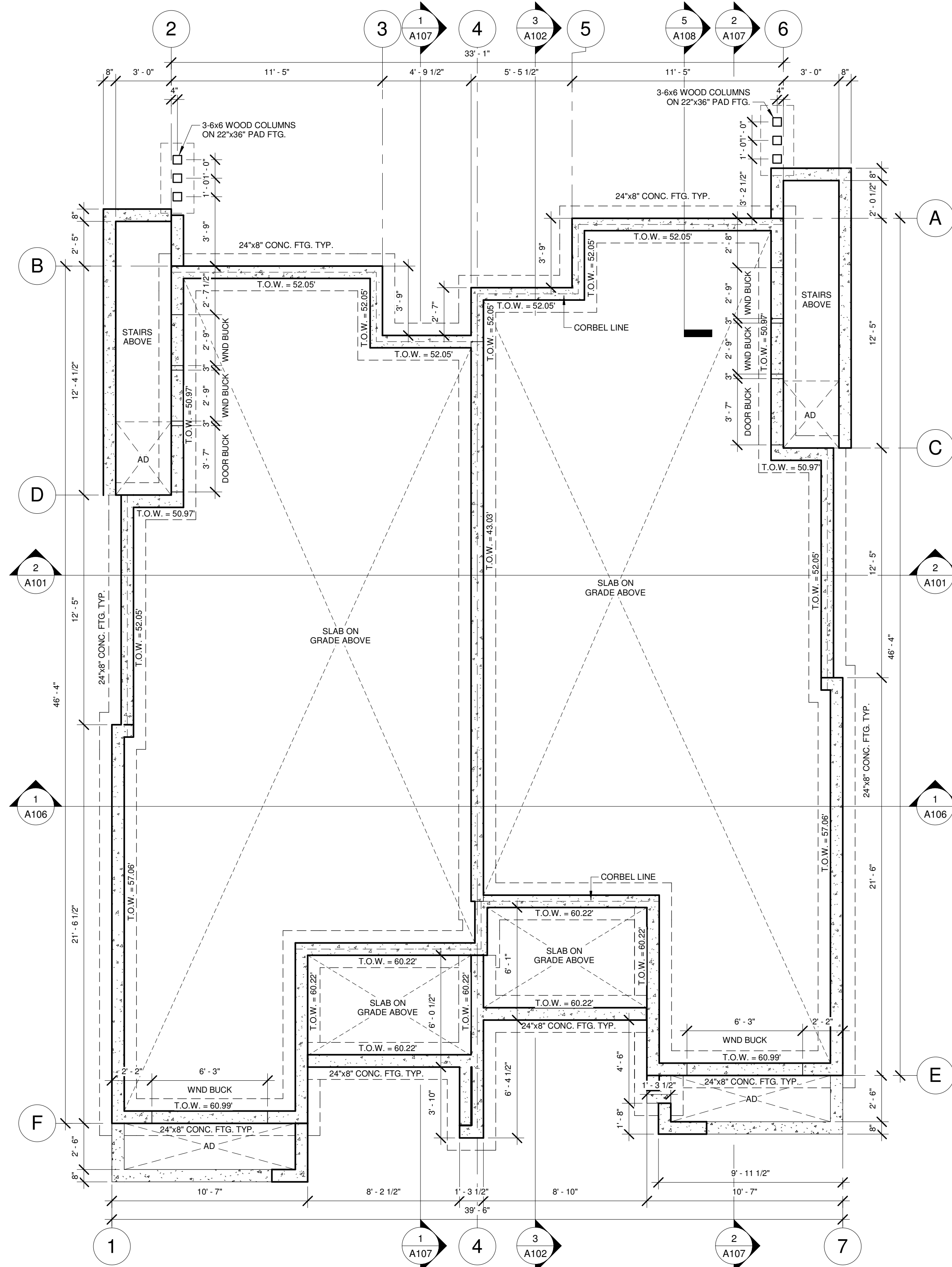
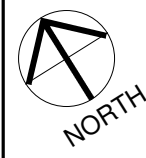
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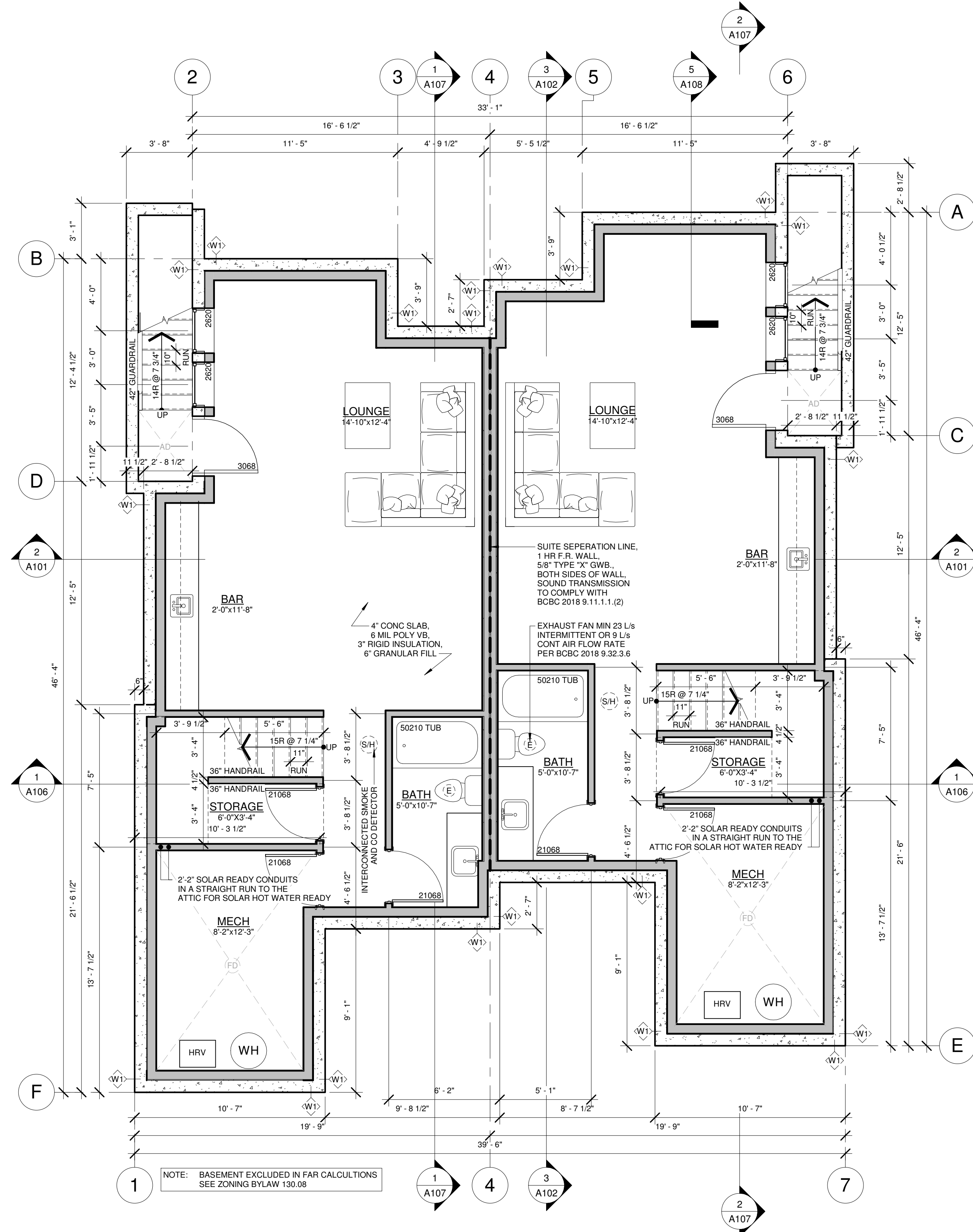
consultant

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1 FOUNDATION  
1/4" = 1'-0"



2 BASEMENT - 1,535 SF  
1/4" = 1'-0"

NOTE:  
- SMOKE ALARMS TO COMPLY WITH 9.10.19  
- CO REQUIRED IN EACH BEDROOM OR WITHIN 5m OF BEDROOM DOORS  
- INTERIOR DOORS TO HAVE A MIN 1/2" GAP AT BOTTOM (EXCLUDING DOOR BETWEEN GARAGE AND HOUSE)  
- WATER HAMMER ARRESTORS REQ'D ON DISHWASHER AND WASHER  
- SAFETY GLASS REQ'D AROUND TUB AND SHOWERS WHERE APPLICABLE

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REVISIONS		
NO.	DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**  
6421 ARGYLE AVE, WEST VANCOUVER B.C.

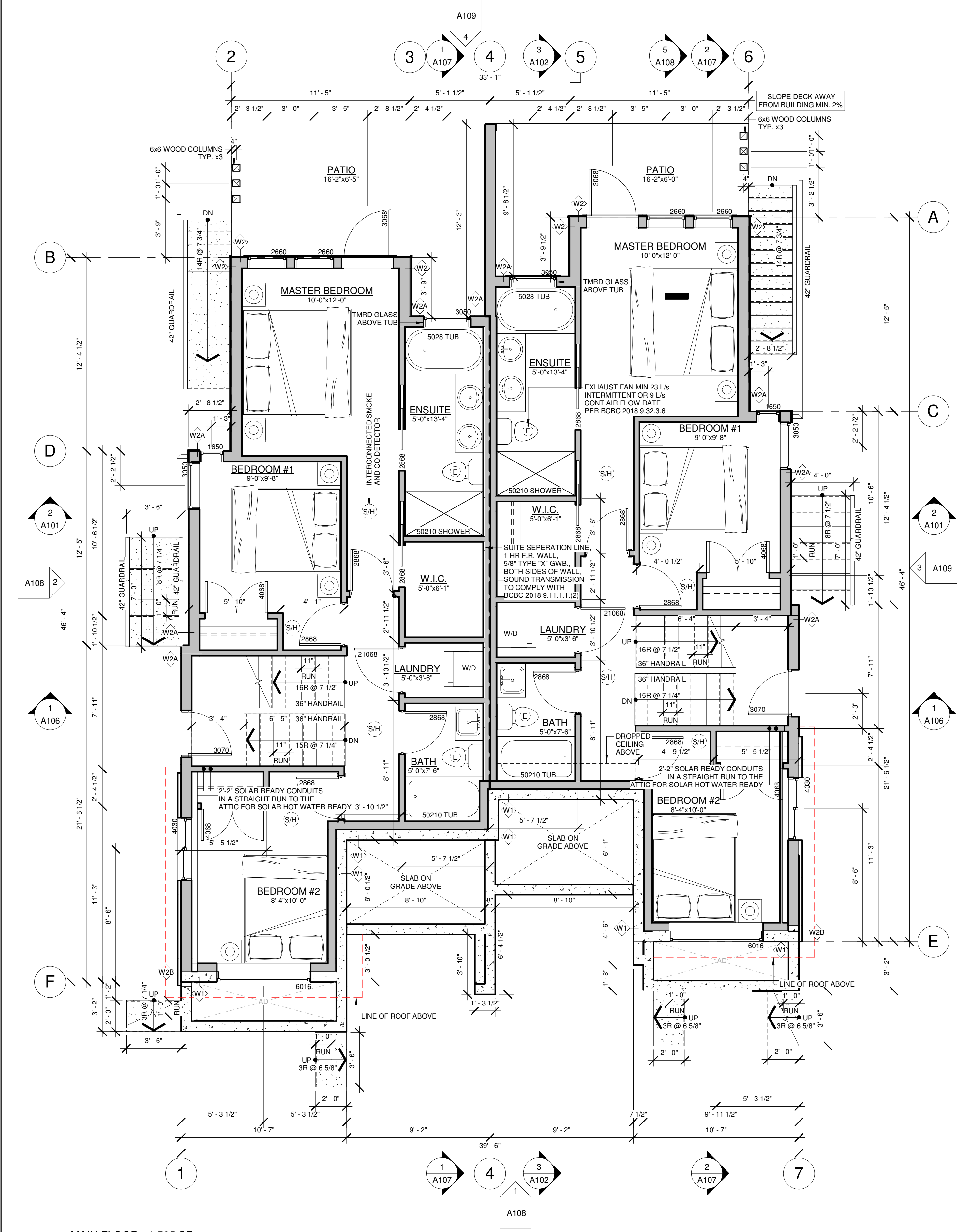
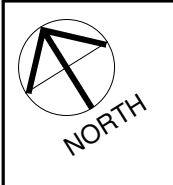
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FOUNDATION & BASEMENT

scale 1/4" = 1'-0"  
date 2020-06-24  
drawn AG checked ZE

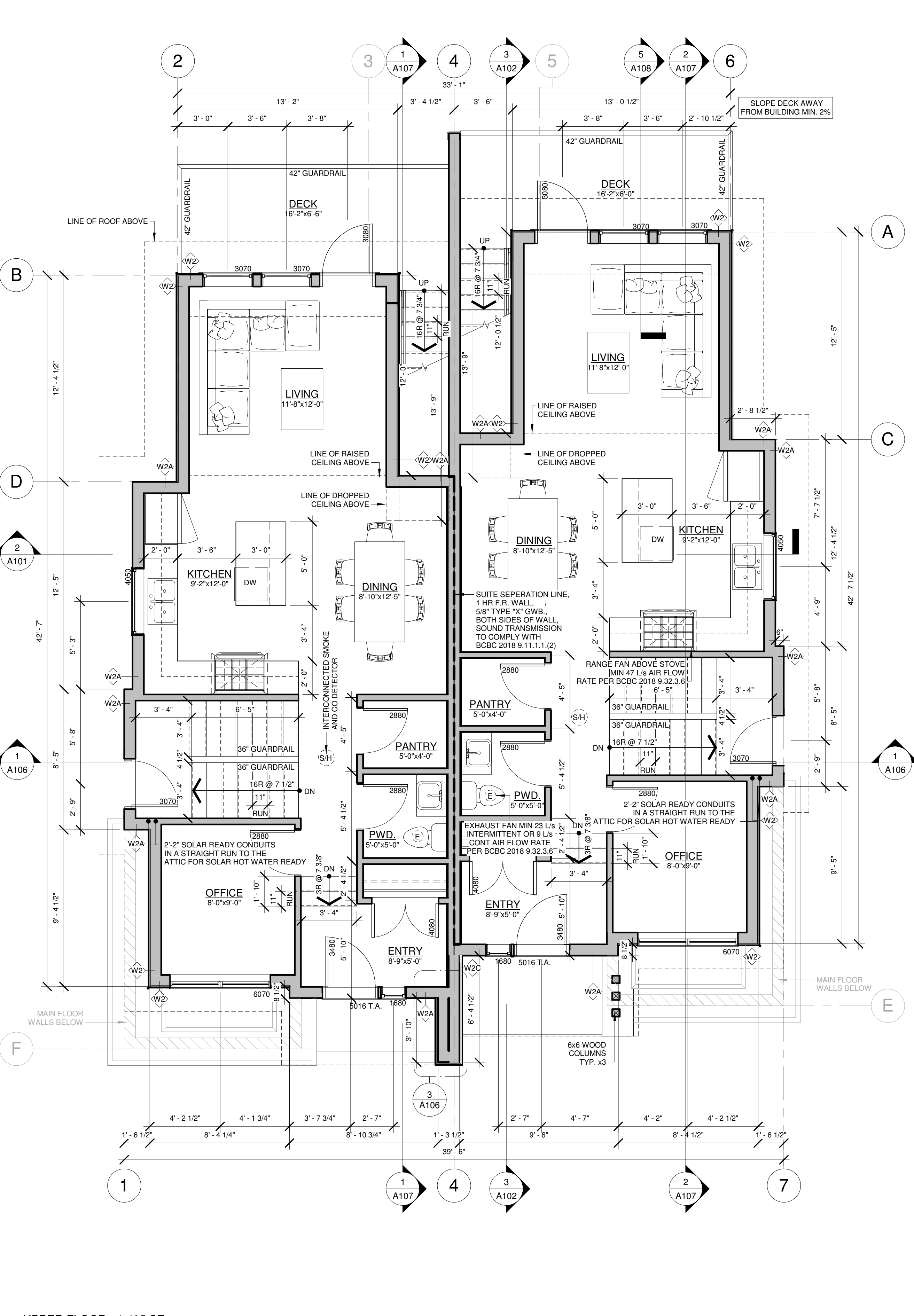
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consultant

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2 MAIN FLOOR - 1,535 SF  
1/4" = 1'-0"



1 UPPER FLOOR - 1,495 SF  
1/4" = 1'-0"

NOTE:  
 - SMOKE ALARMS TO COMPLY WITH 9.10.19  
 - CO REQUIRED IN EACH BEDROOM OR WITHIN 5m OF BEDROOM DOORS  
 - INTERIOR DOORS TO HAVE A MIN 1/2" GAP AT BOTTOM  
 - EXCLUDING DOOR BETWEEN GARAGE AND HOUSE  
 - WATER HAMMER ARRESTORS REQ'D ON DISHWASHER AND WASHER  
 - SAFETY GLASS REQ'D AROUND TUB AND SHOWERS WHERE APPLICABLE

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REVISIONS	
NO. DATE	DESCRIPTION

# RESIDENTIAL DUPLEX

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
 MAIN & UPPER FLOOR PLAN

scale 1/4" = 1'-0"  
 date 2020-06-24  
 drawn AG checked ZE

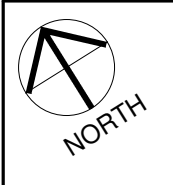
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 sheet no. A105

consultant

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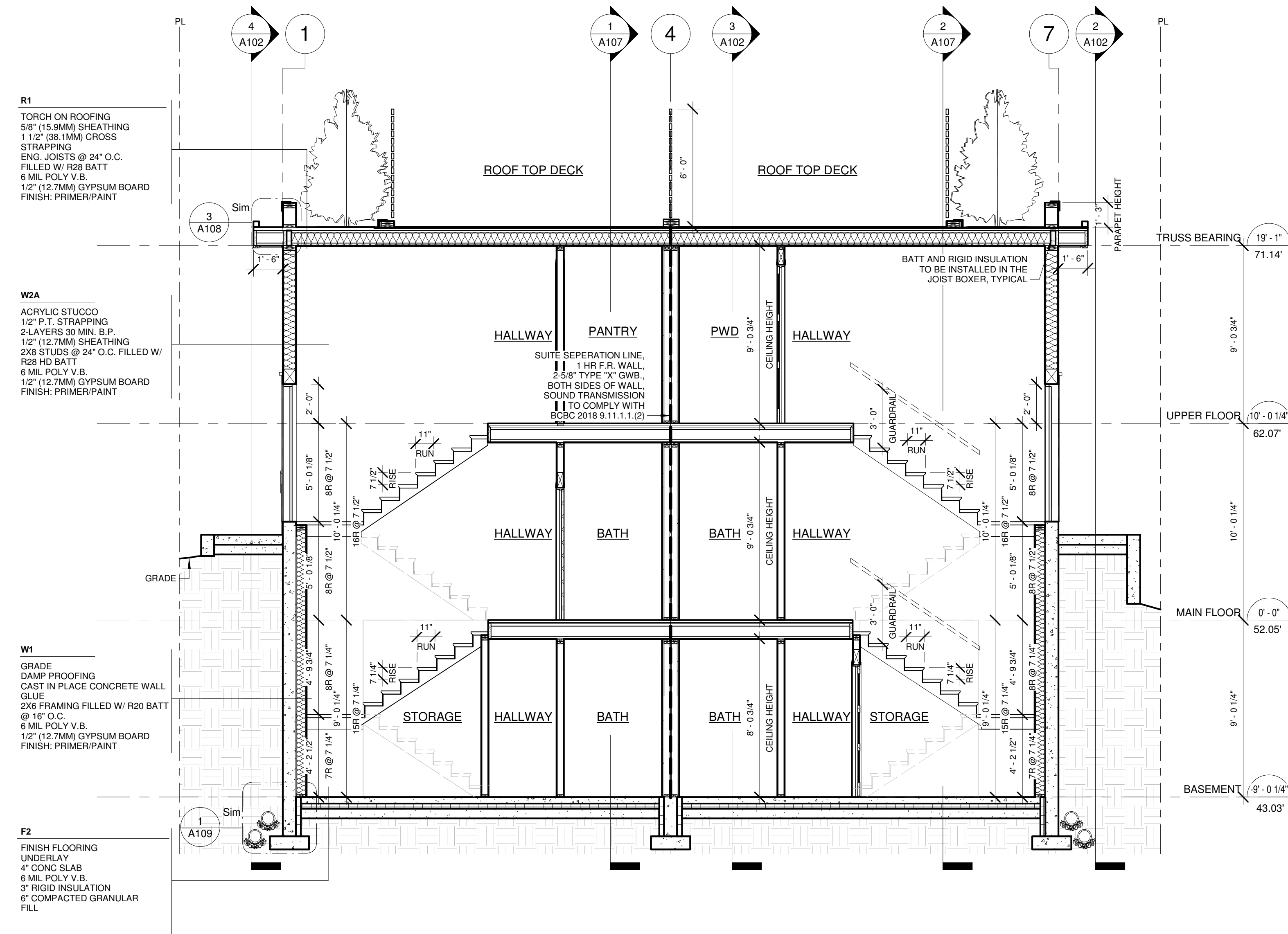
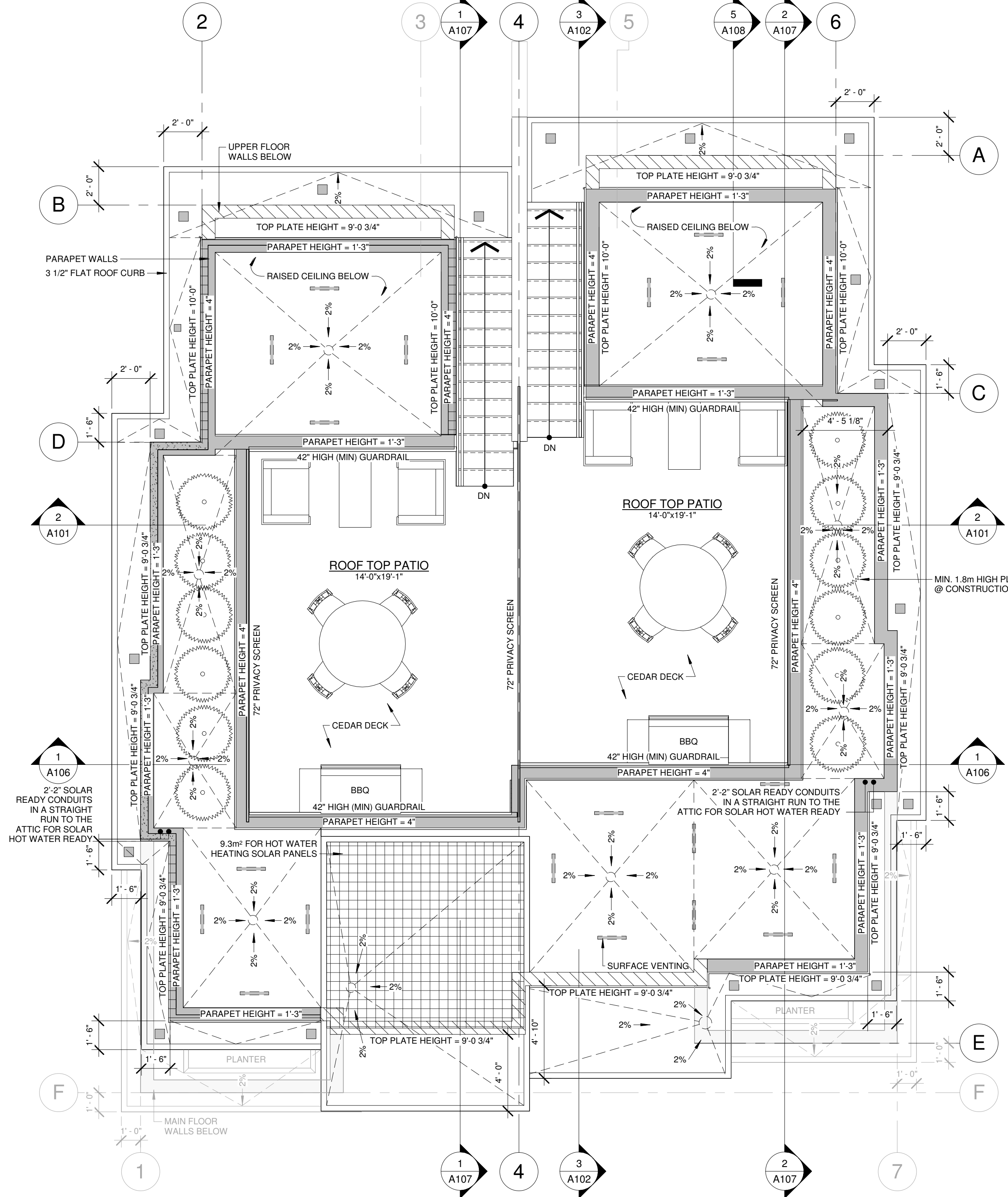
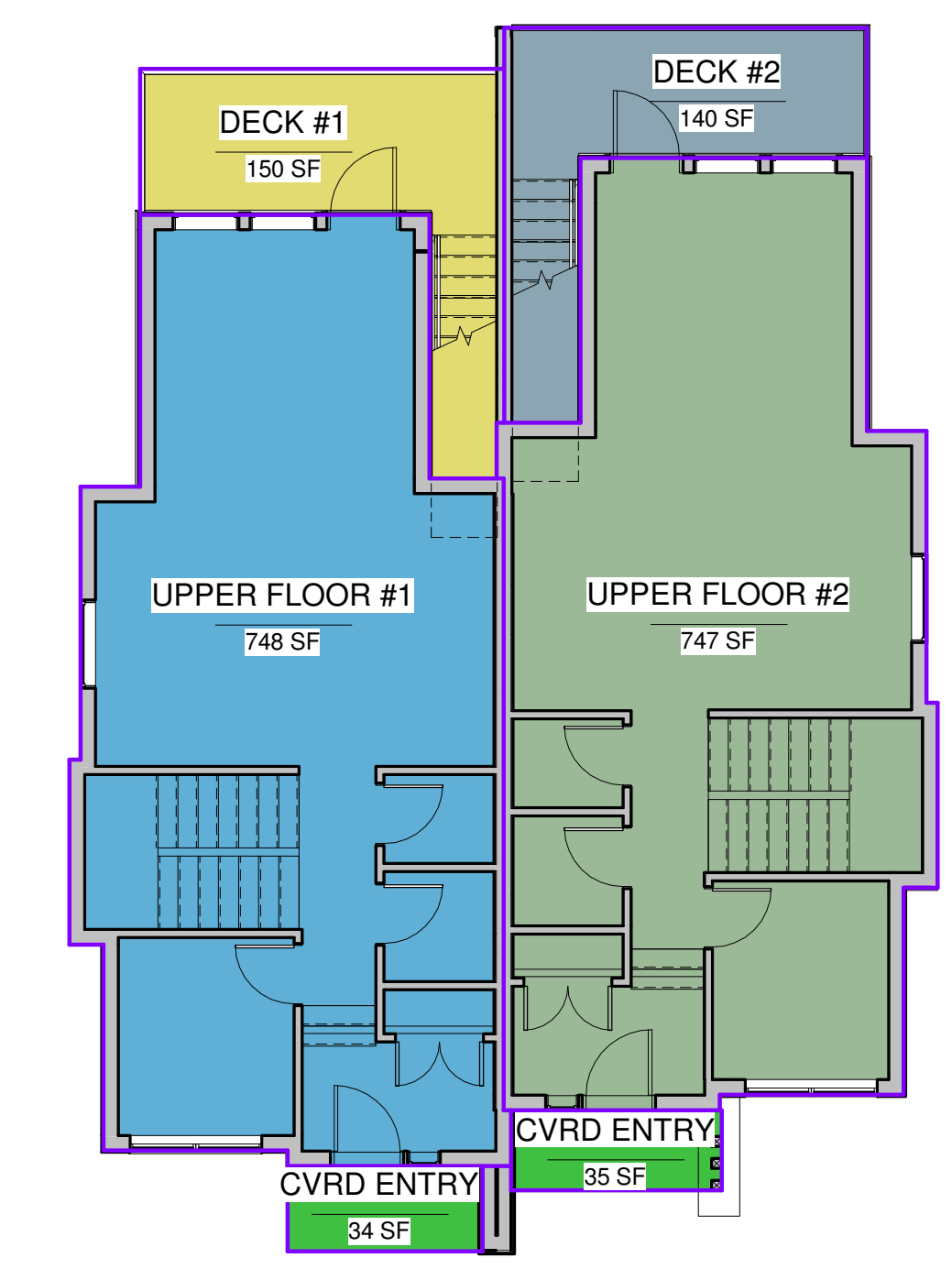
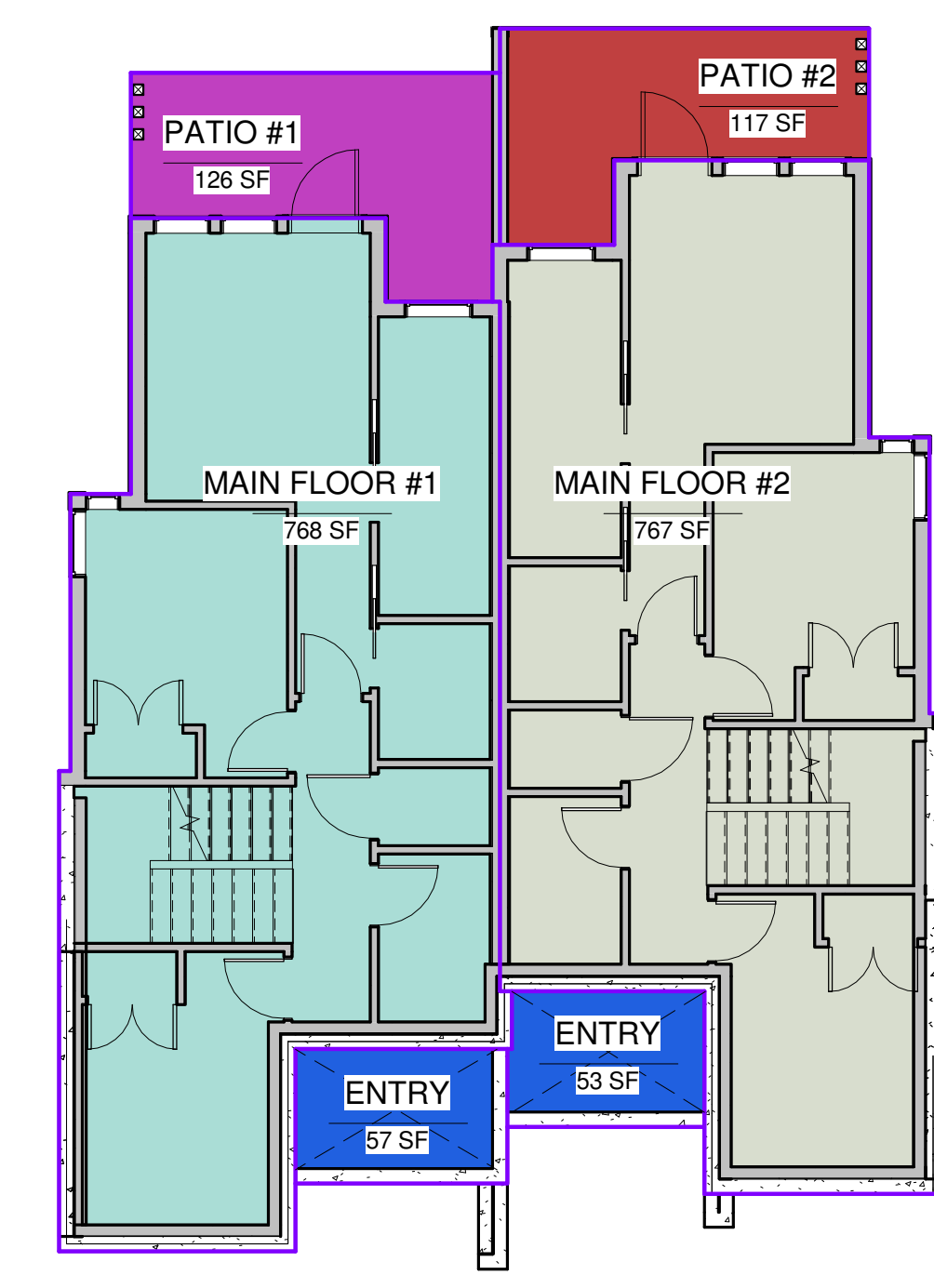
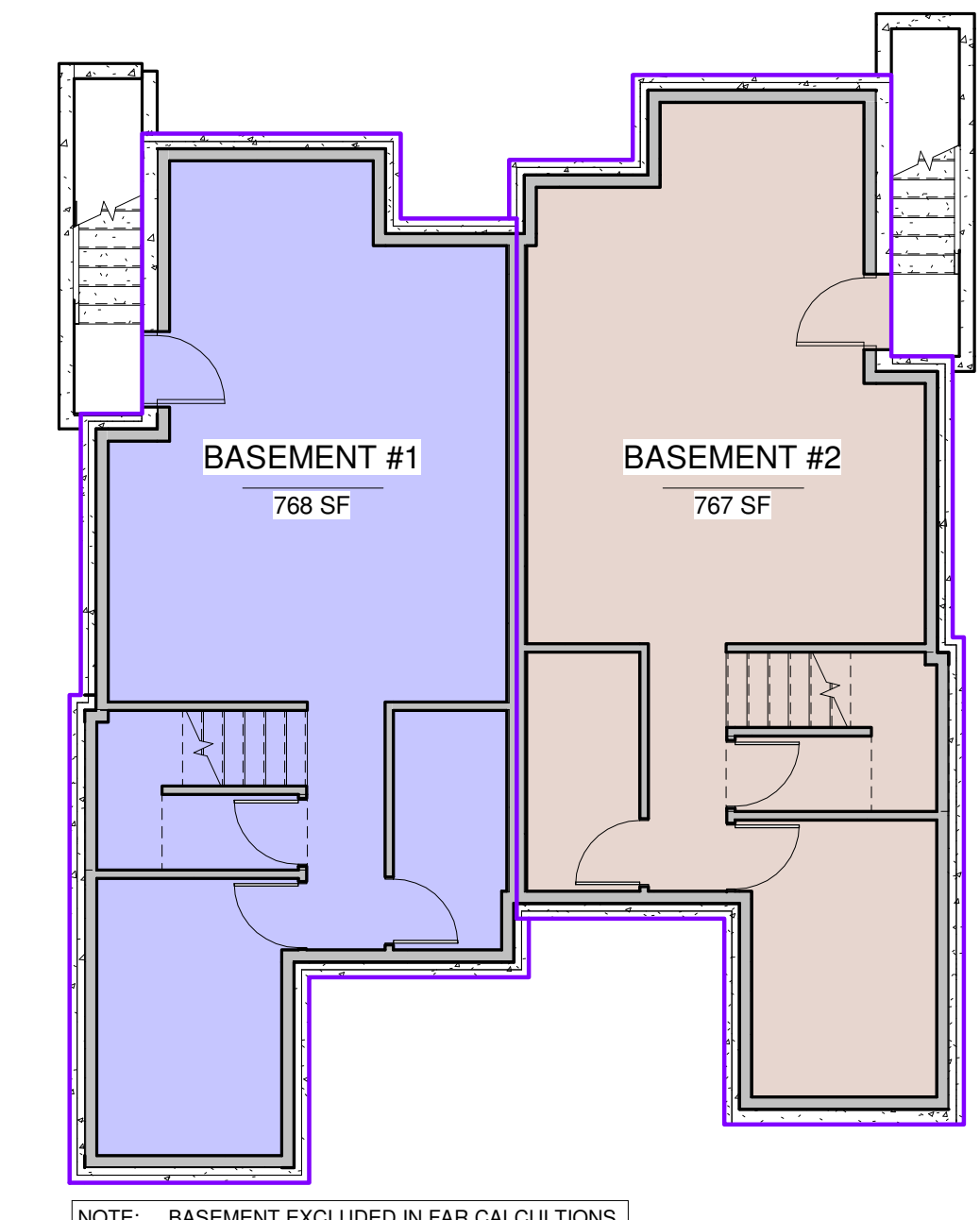
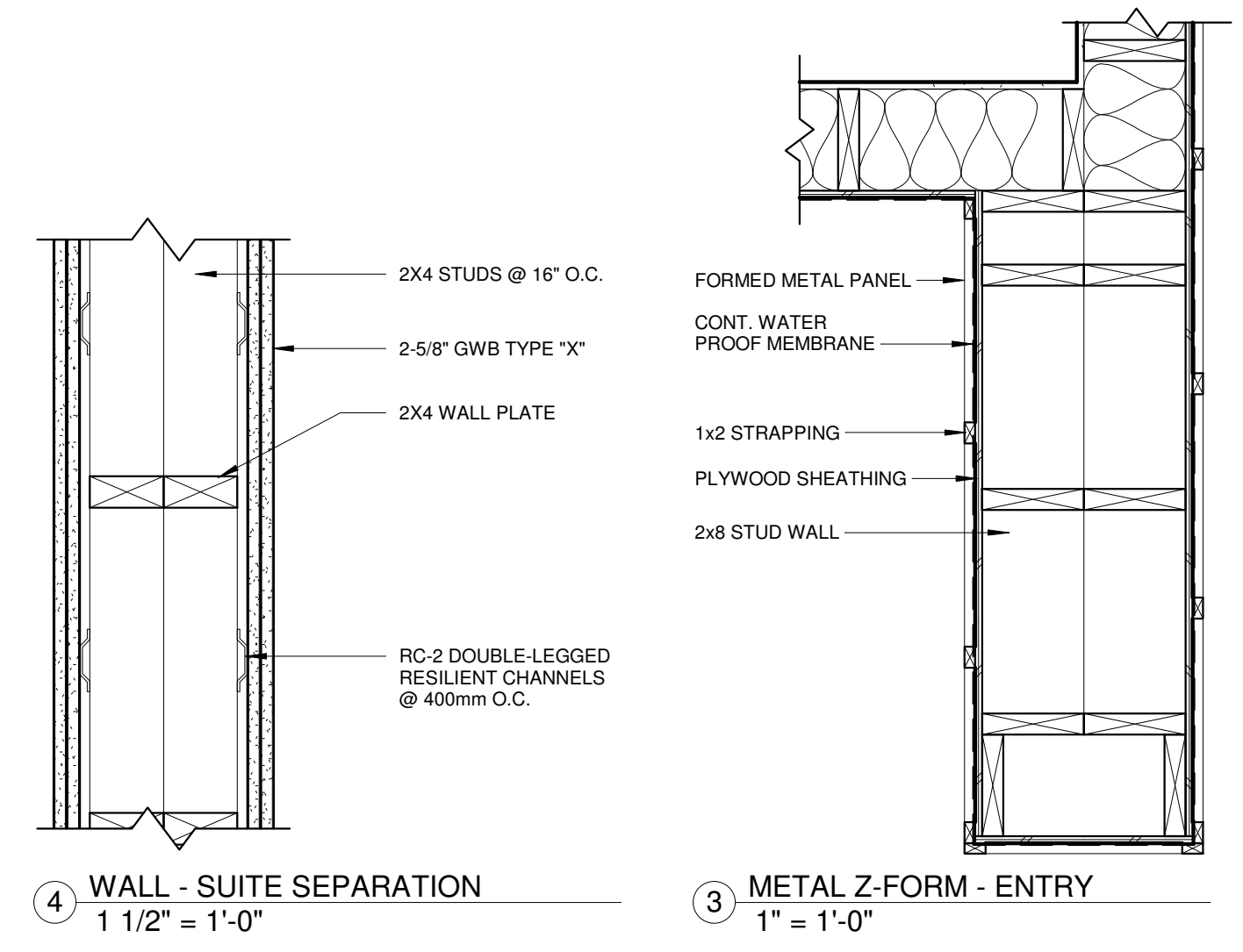
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**VENTING CALCULATIONS**

MIN. 1/150 AS PER BCBC 2018 9.19.1  
 INSULATED CEILING AREA = 1,444.09 SF (134.16m<sup>2</sup>)  
 TOTAL VENTING REQ. = 9.63 SF (0.89m<sup>2</sup>)  
 SOFFIT VENTING = 48.09%  
 = 4.63 SF (0.43m<sup>2</sup>)  
 SURFACE VENTING = 51.92%  
 = 5.00 SF (0.46m<sup>2</sup>)



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**REVISIONS**

NO.	DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title TRUSS BEARING & SECTION  
 scale As indicated  
 date 2020-06-24  
 drawn AG checked ZE  
 job no. 1616  
 sheet no. A106  
 consultant

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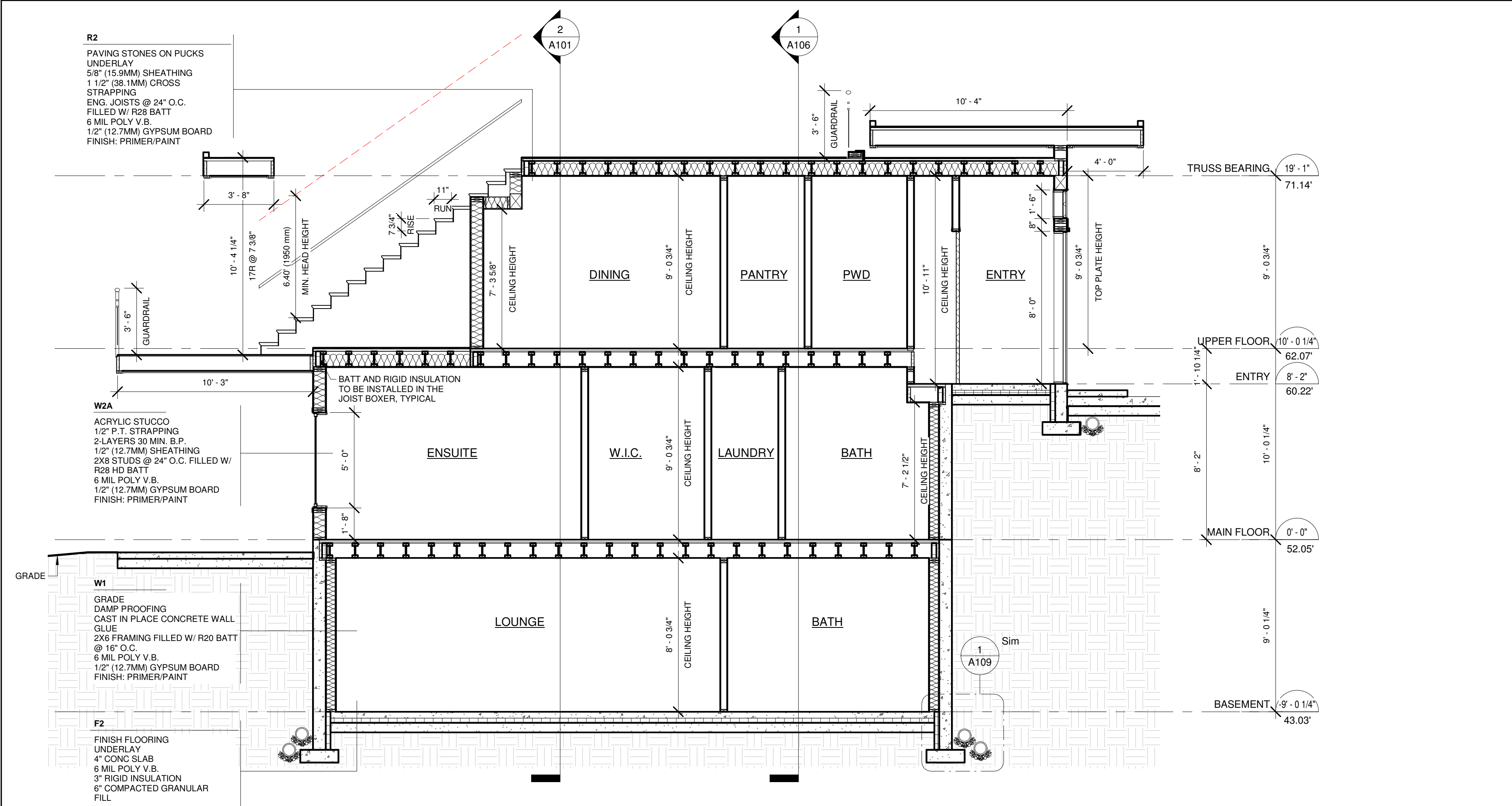
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REVISIONS  
 NO. DATE DESCRIPTION

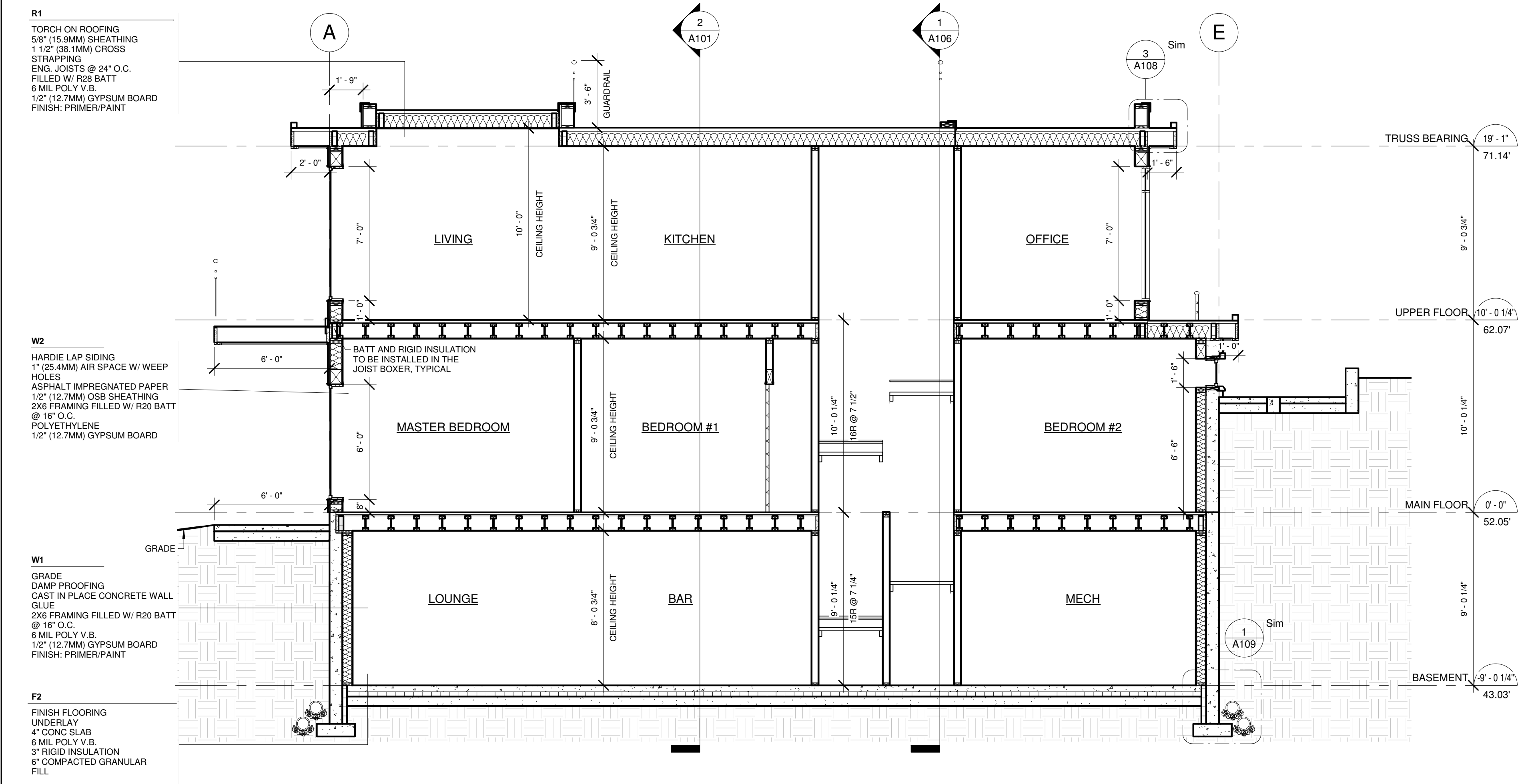
RESIDENTIAL DUPLEX  
 6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
 SECTIONS  
 scale 1/4" = 1'-0"  
 date 2020-06-24  
 drawn AG checked ZE  
 job no. 1616  
 sheet no. A107  
 consultant

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SECTION B  
 1/4" = 1'-0"



SECTION C  
 1/4" = 1'-0"

**ENG. FLOOR SYSTEM - W/ CONC. TOPPER**

FLOOR ASSEMBLY COMPONENTS	RSI	R
1. INTERIOR AIR FILM	0.12	0.68
2. FINISH FLOORING	0.00	0.00
3. UNDERLAY	0.00	0.00
4. 1 1/2" (38.1MM) CONC. TOPPING	0.00	0.00
5. 3/4" (19MM) SHEATHING	0.17	0.97
6. 9 1/4" FRAMING @ 16" O.C.	0.91	5.16
7. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
8. FINISH PRIMER/PAINT	0.00	0.00
9. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>1.40</b>	<b>7.94</b>

**ENG. FLOOR SYSTEM (UNCONDITIONED SPACE/F1)**

FLOOR ASSEMBLY COMPONENTS	RSI	R
1. INTERIOR AIR FILM	0.12	0.68
2. FINISH FLOORING	0.00	0.00
3. UNDERLAY	0.00	0.00
4. 1 1/2" (38.1MM) CONC. TOPPING	0.00	0.00
5. 3/4" (19MM) SHEATHING	0.17	0.97
6. 9 1/4" FRAMING @ 16" O.C. FILLED W/ R30 BATT	4.45	25.24
7. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
8. FINISH PRIMER/PAINT	0.00	0.00
9. EXTERIOR AIR FILM	0.03	0.17
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.85</b>	<b>27.51</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.67</b>	<b>26.50</b>

**CONCRETE SLAB (F2)**

FLOOR ASSEMBLY COMPONENTS	RSI	R
1. INTERIOR AIR FILM	0.12	0.68
2. FINISH FLOORING	0.00	0.00
3. UNDERLAY	0.00	0.00
4. 4" CONC. SLAB	0.64	3.23
5. 6 MIL POLY V.B.	0.00	0.00
6. 3" RIGID INSULATION	2.79	15.85
7. 6" COMPACTED GRANULAR FILL	0.67	3.80
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>3.62</b>	<b>20.56</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>2.32</b>	<b>13.20</b>

**CONCRETE WALL**

WALL ASSEMBLY COMPONENTS	RSI	R
1. GRADE	0.00	0.00
2. DAMP PROOFING	0.00	0.00
3. CAST IN PLACE CONCRETE	0.24	1.36
4. 2" EXTRUDED POLYSTYRENE (R10)	1.76	9.99
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>2.00</b>	<b>11.35</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>1.99</b>	<b>11.30</b>

**CONCRETE WALL W/ 2X6 FURRING**

WALL ASSEMBLY COMPONENTS	RSI	R
1. GRADE	0.00	0.00
2. DAMP PROOFING	0.00	0.00
3. CAST IN PLACE CONCRETE WALL	0.24	1.36
4. GLUE	0.00	0.00
5. 2X6 FRAMING @ 16" O.C. FILLED W/ R20 BATT	2.54	14.99
6. 6 MIL POLY V.B.	0.00	0.00
7. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
8. FINISH PRIMER/PAINT	0.00	0.00
9. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>3.08</b>	<b>17.48</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>1.99</b>	<b>11.30</b>

**2X8 HARD LAP SIDING (W2)**

WALL ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. HARD LAP SIDING	0.00	0.00
3. 1/2" P.T. STRAPPING	0.18	1.02
4. 2-LAYERS 30 MIN. B.P.	0.00	0.00
5. 1/2" (12.7MM) SHEATHING	0.11	0.62
6. 2X8 FRAMING @ 24" O.C. FILLED W/ R28 HD BATT	3.68	20.91
7. 6 MIL POLY V.B.	0.00	0.00
8. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
9. FINISH PRIMER/PAINT	0.00	0.00
10. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.20</b>	<b>23.85</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>2.78</b>	<b>15.80</b>

**2X8 ACRYLIC STUCCO (W2A)**

WALL ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. ACRYLIC STUCCO	0.00	0.00
3. 1/2" P.T. STRAPPING	0.18	1.02
4. 2-LAYERS 30 MIN. B.P.	0.00	0.00
5. 1/2" (12.7MM) SHEATHING	0.11	0.62
6. 2X8 FRAMING @ 24" O.C. FILLED W/ R28 HD BATT	3.68	20.91
7. 6 MIL POLY V.B.	0.00	0.00
8. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
9. FINISH PRIMER/PAINT	0.00	0.00
10. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.20</b>	<b>23.85</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>2.78</b>	<b>15.80</b>

**2X8 STONE FACING (W2B)**

WALL ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. 2" STONE FACING	0.00	0.00
3. 1" (25.4MM) AIR SPACE W/ WEEP HOLES	0.18	1.02
4. ASPHALT IMPREGNATED PAPER	0.00	0.00
5. 1/2" (12.7MM) SHEATHING	0.11	0.62
6. 2X8 FRAMING @ 24" O.C. FILLED W/ R28 HD BATT	3.68	20.91
7. 6 MIL POLY V.B.	0.00	0.00
8. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
9. FINISH PRIMER/PAINT	0.00	0.00
10. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.20</b>	<b>23.85</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>2.78</b>	<b>15.80</b>

**2X8 METAL PANEL (W2C)**

WALL ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. METAL PANEL	0.00	0.00
3. 1/2" P.T. STRAPPING	0.18	1.02
4. 2-LAYERS 30 MIN. B.P.	0.00	0.00
5. 1/2" (12.7MM) SHEATHING	0.11	0.62
6. 2X8 FRAMING @ 24" O.C. FILLED W/ R28 HD BATT	3.68	20.91
7. 6 MIL POLY V.B.	0.00	0.00
8. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
9. FINISH PRIMER/PAINT	0.00	0.00
10. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.20</b>	<b>23.85</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>2.78</b>	<b>15.80</b>

**2X6 EXTERIOR GARAGE WALL (W2D)**

WALL ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. ACRYLIC STUCCO	0.00	0.00
3. 1/2" P.T. STRAPPING	0.18	1.02
4. 2-LAYERS 30 MIN. B.P.	0.00	0.00
5. 1/2" (12.7MM) SHEATHING	0.11	0.62
6. 2X6 FRAMING @ 16" O.C.	0.29	1.67
7. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
8. FINISH PRIMER/PAINT	0.00	0.00
9. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>0.81</b>	<b>4.61</b>

**EXTERIOR WALL SYSTEM (WATERLINES)**

WALL ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. EXTERIOR FINISH	0.00	0.00
3. 1" (25.4MM) AIR SPACE W/ WEEP HOLES	0.18	1.02
4. ASPHALT IMPREGNATED PAPER	0.00	0.00
5. 1/2" (12.7MM) SHEATHING	0.11	0.62
6. 2X4 FRAMING FILLED W/ R14 BATT @ 16" O.C.	2.36	13.40
7. 2" RIGID INSULATION	1.68	9.54
8. 6 MIL POLY V.B.	0.00	0.00
9. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
10. FINISH PRIMER/PAINT	0.00	0.00
11. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.55</b>	<b>25.88</b>

**FLAT ROOF (R1)**

ROOF ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. TORCH ON ROOFING	0.00	0.00
3. 5/8" (15.9MM) SHEATHING	0.23	1.32
4. 1 1/2" (38.1MM) CROSS STRAPPING	0.27	1.56
5. ENG. JOISTS @ 24" O.C. FILLED W/ R28 BATT	4.36	24.73
6. 6 MIL POLY V.B.	0.00	0.00
7. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
8. FINISH PRIMER/PAINT	0.00	0.00
9. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>5.09</b>	<b>28.91</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.67</b>	<b>26.50</b>

**FLAT ROOF DECK (R2)**

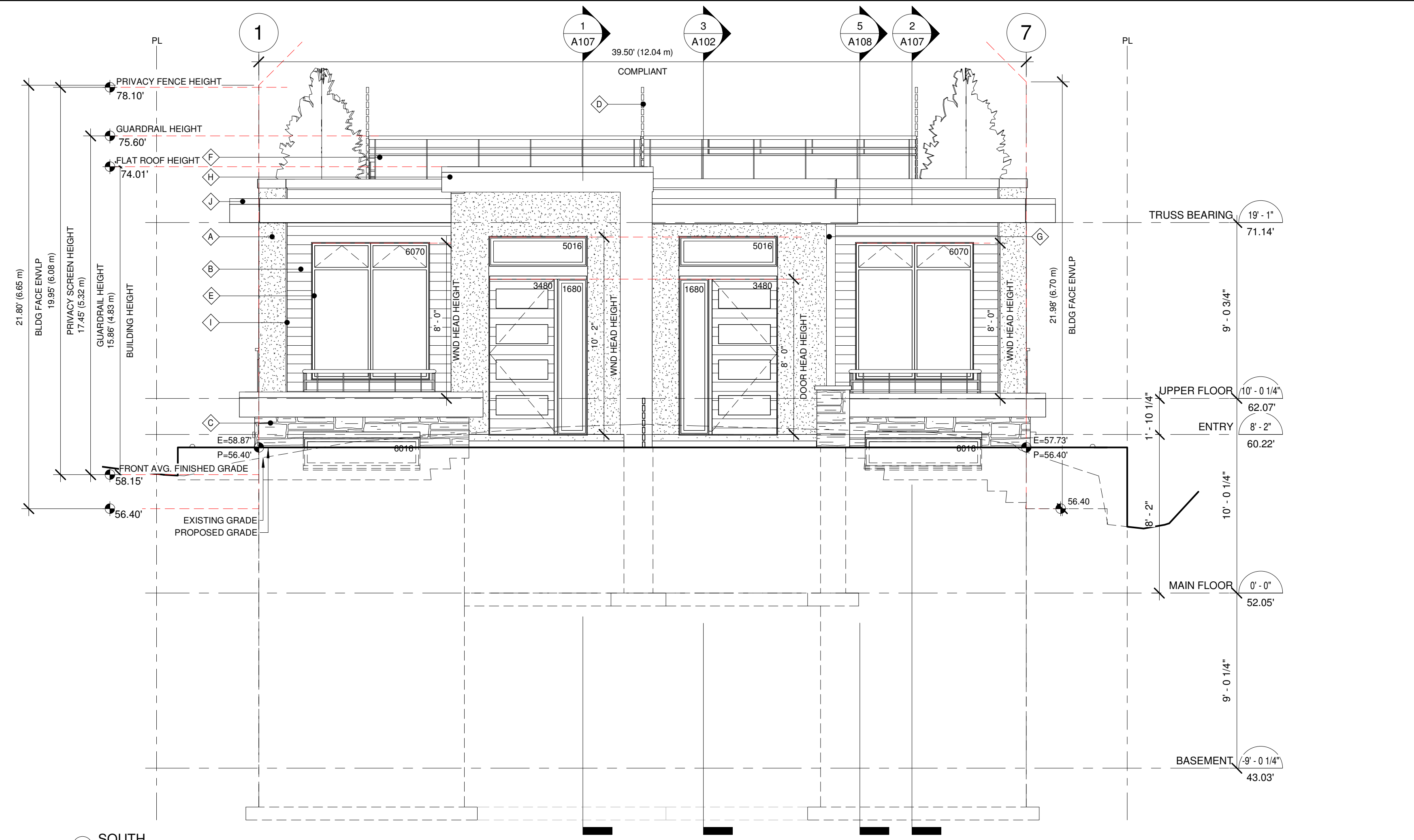
ROOF ASSEMBLY COMPONENTS	RSI	R
1. EXTERIOR AIR FILM	0.03	0.17
2. PAVING STONES ON PUCKS	0.00	0.00
3. UNDERLAY	0.00	0.00
4. 5/8" (15.9MM) SHEATHING	0.23	1.32
5. 1 1/2" (38.1MM) CROSS STRAPPING	0.27	1.56
6. ENG. JOISTS @ 24" O.C. FILLED W/ R28 BATT	4.36	24.73
7. 6 MIL POLY V.B.	0.00	0.00
8. 1/2" (12.7MM) GYPSUM BOARD	0.06	0.45
9. FINISH PRIMER/PAINT	0.00	0.00
10. INTERIOR AIR FILM	0.12	0.68
<b>EFFECTIVE RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>5.09</b>	<b>28.91</b>
<b>REQUIRED RSIR VALUE OF ENTIRE ASSEMBLY</b>	<b>4.67</b>	<b>26.50</b>

RSI INFO  
 1/4" = 1'-0"

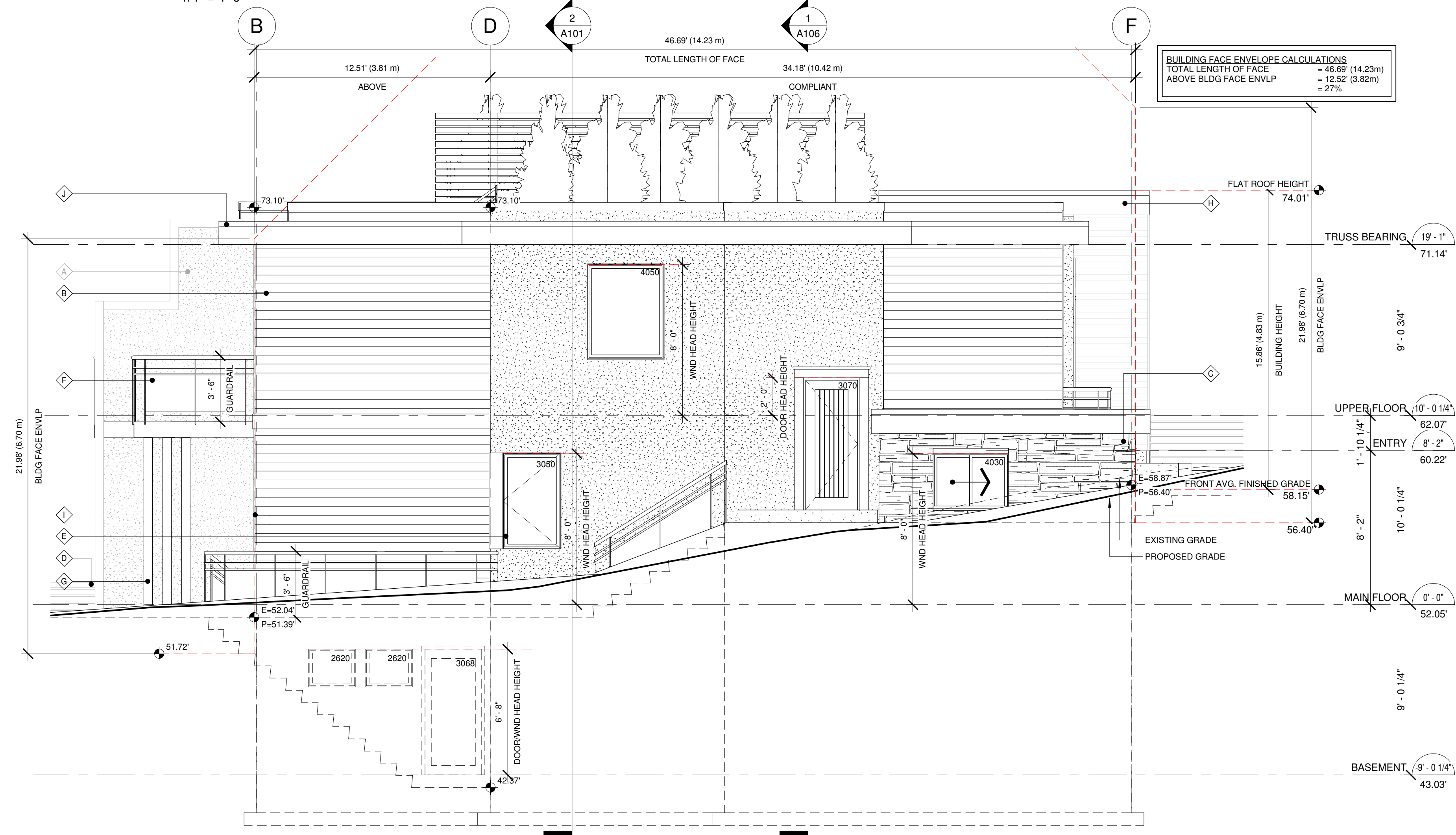
DESCRIPTION	
A	ACRYLIC STUCCO BENJAMIN MOORE 'ICE MIST' 2123-70
B	HARDI ARTISAN LAP SIDING KBS PANELING SYSTEM 'ACORN'
C	ADERA NATURAL STONE 'BROADSTREET SPLIT FACE'
D	ALUMINIUM PRIVACY SCREEN KBS PANELING SYSTEM 'ACORN'
E	VINYL WINDOWS VICWEST 'CHARCOAL' 56072
F	METAL & GLASS RAILING VICWEST 'CHARCOAL' 56072
G	6x6 TIMBER COLUMN BEHR 'CEDAR NATURAL TONE' SC-533
H	METAL PANEL VICWEST 'CHARCOAL' 56072
I	1x1 CORNER TRIM KBS PANELING SYSTEM 'ACORN'
J	METAL CAP FLASHING VICWEST 'CHARCOAL' 56072

OPAQUE WALL CALCULATIONS	
EXPOSED WALL FACE	= 3,791.14 SF (352.21m <sup>2</sup> )
ACTUAL OPENINGS	= 16.02%
	= 607.33 SF (56.42m <sup>2</sup> )

SPATIAL SEPARATION	
<b>SOUTH</b>	
LIMITING DISTANCE	= 49.01' (14.94m)
EXPOSED WALL FACE	= 506.73 SF (47.08m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 100%
TOTAL ALLOWED	= 506.73 SF (47.08m <sup>2</sup> )
ACTUAL OPENINGS	= 32.03%
	= 162.33 SF (15.08m <sup>2</sup> )
<b>WEST</b>	
LIMITING DISTANCE	= 5.29' (1.60m)
EXPOSED WALL FACE	= 757.20 SF (70.35m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 8.00%
TOTAL ALLOWED	= 60.58 SF (5.63m <sup>2</sup> )
ACTUAL OPENINGS	= 6.21%
	= 47.00 SF (4.37m <sup>2</sup> )

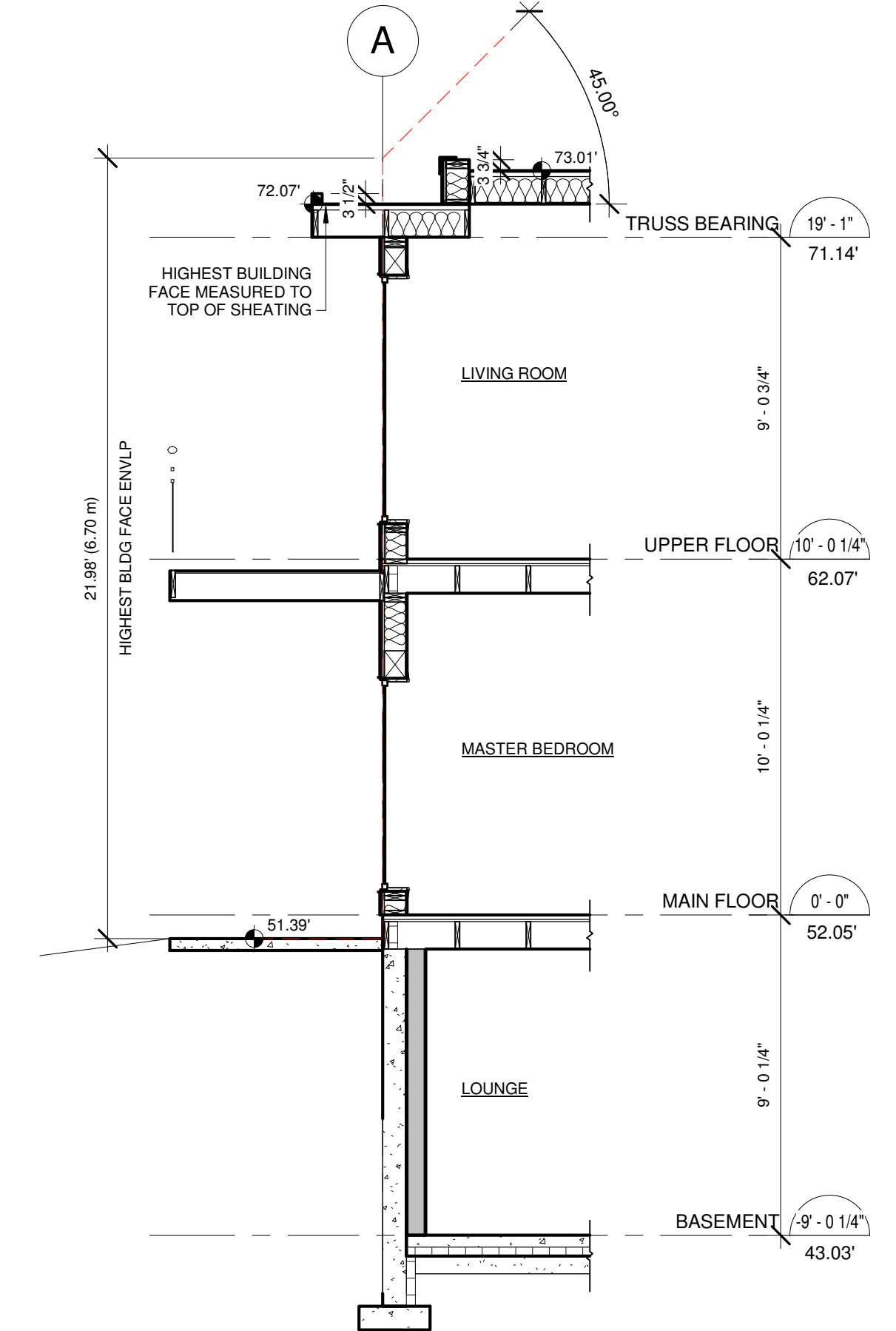


1 SOUTH  
1/4" = 1'-0"

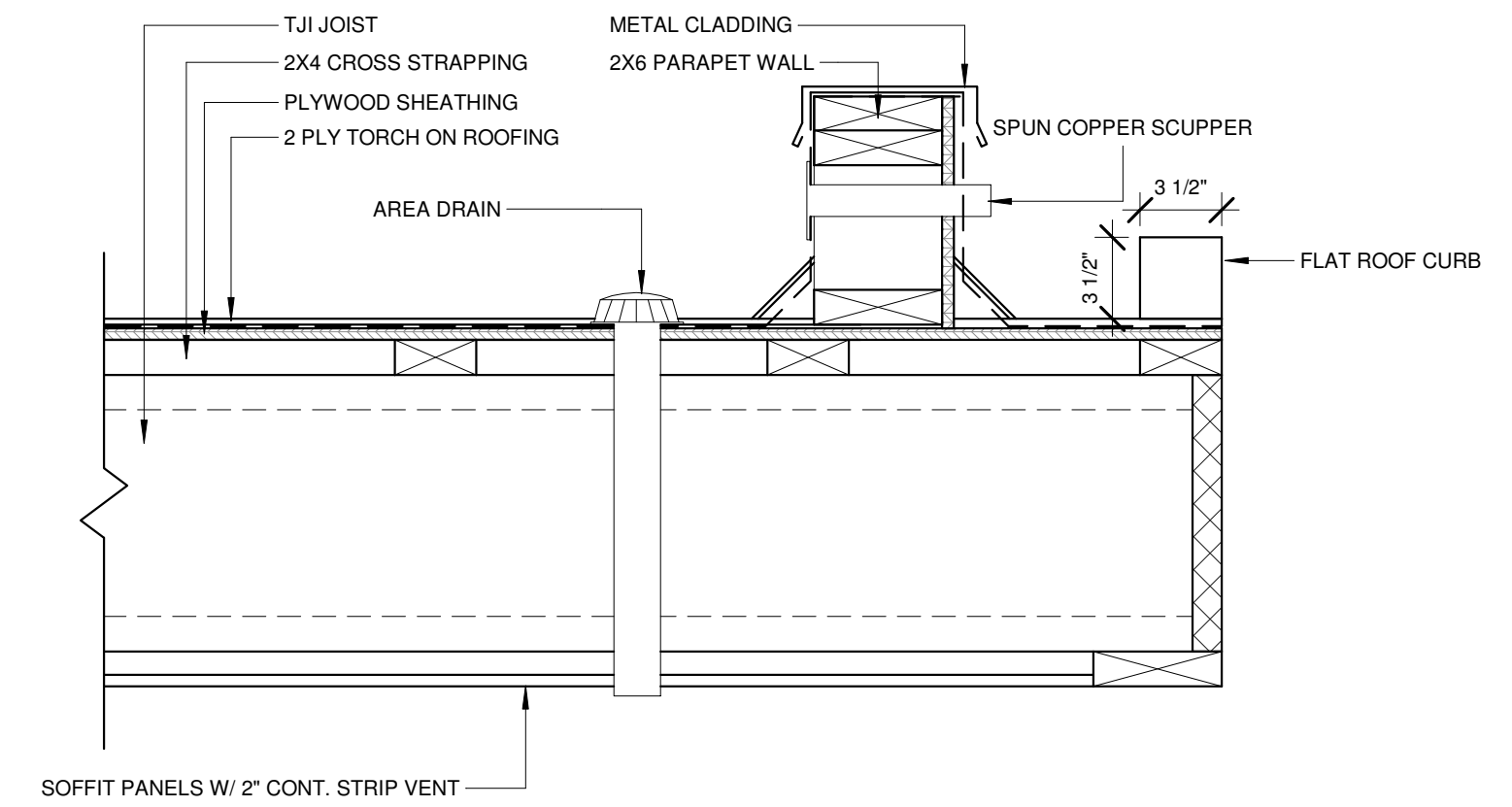


2 WEST  
1/4" = 1'-0"

BUILDING FACE ENVELOPE CALCULATIONS	
TOTAL LENGTH OF FACE	= 46.69' (14.23m)
ABOVE BLDG FACE ENVP	= 12.52' (3.82m)
	= 27%



5 HIGHEST BLDG FACE RATIONALE  
1/4" = 1'-0"



3 FLAT ROOF PARAPET DETAIL  
1 1/2" = 1'-0"

NOTE:  
- ALL EXTERIOR DOORS AND WINDOWS TO HAVE A MIN U VALUE OF U-0.32  
- FRONT DOOR TO HAVE A MIN U VALUE OF U-0.46  
- RAINSCREEN REQ'D @ ALL CLADDING OTHER THAN HORIZONTAL VINYL  
- FLASHING REQ'D @ UNPROTECTED OPENINGS  
- ALL WINDOWS AND EXTERIOR DOORS TO CONFORM TO NAFS AS PER 9.7.4

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REVISIONS		
NO.	DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**  
6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
S&W ELEVATIONS

scale As indicated  
date 2020-06-24  
drawn AG checked ZE

job no. 1616  
sheet no. A108

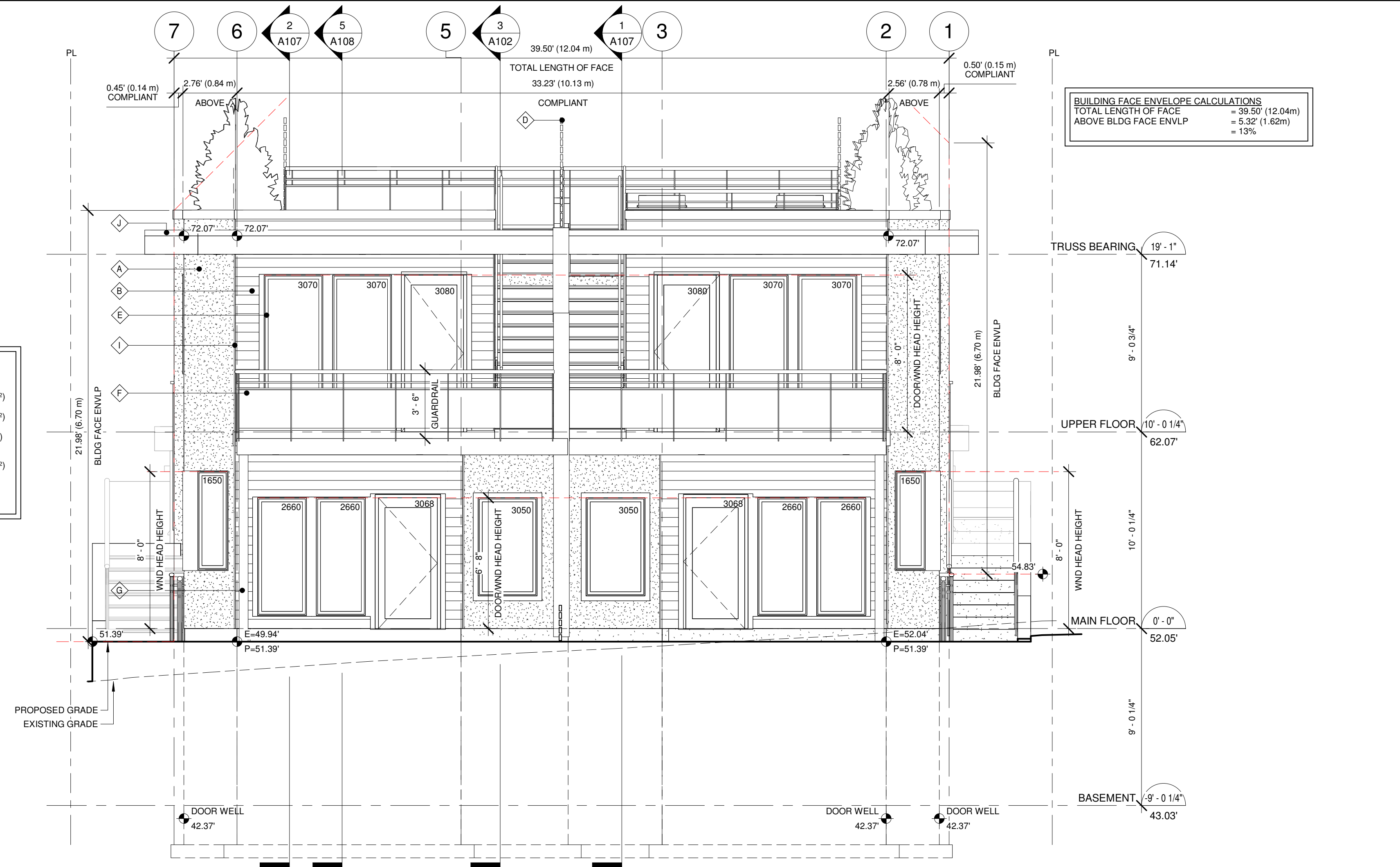
consultant

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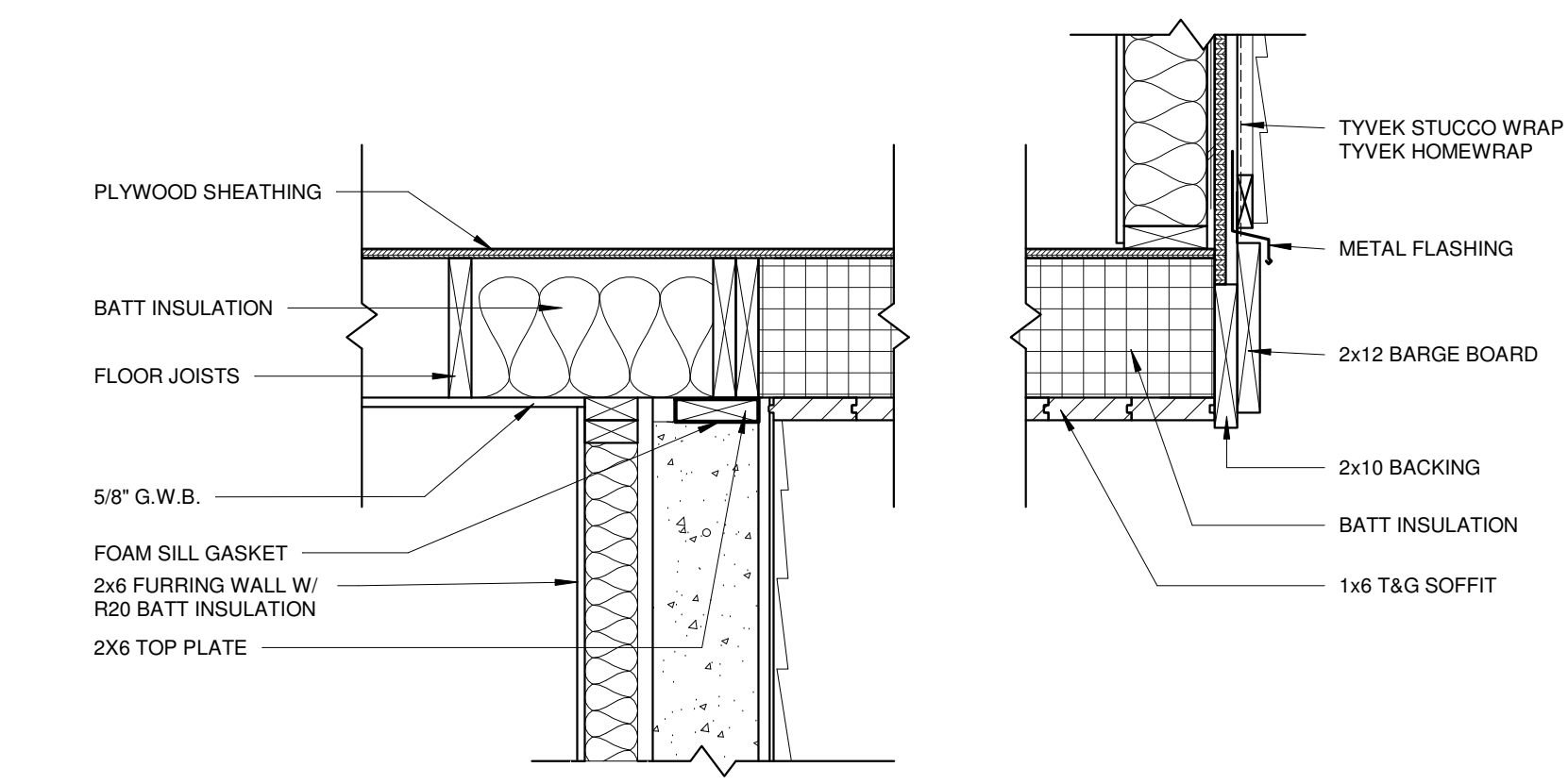
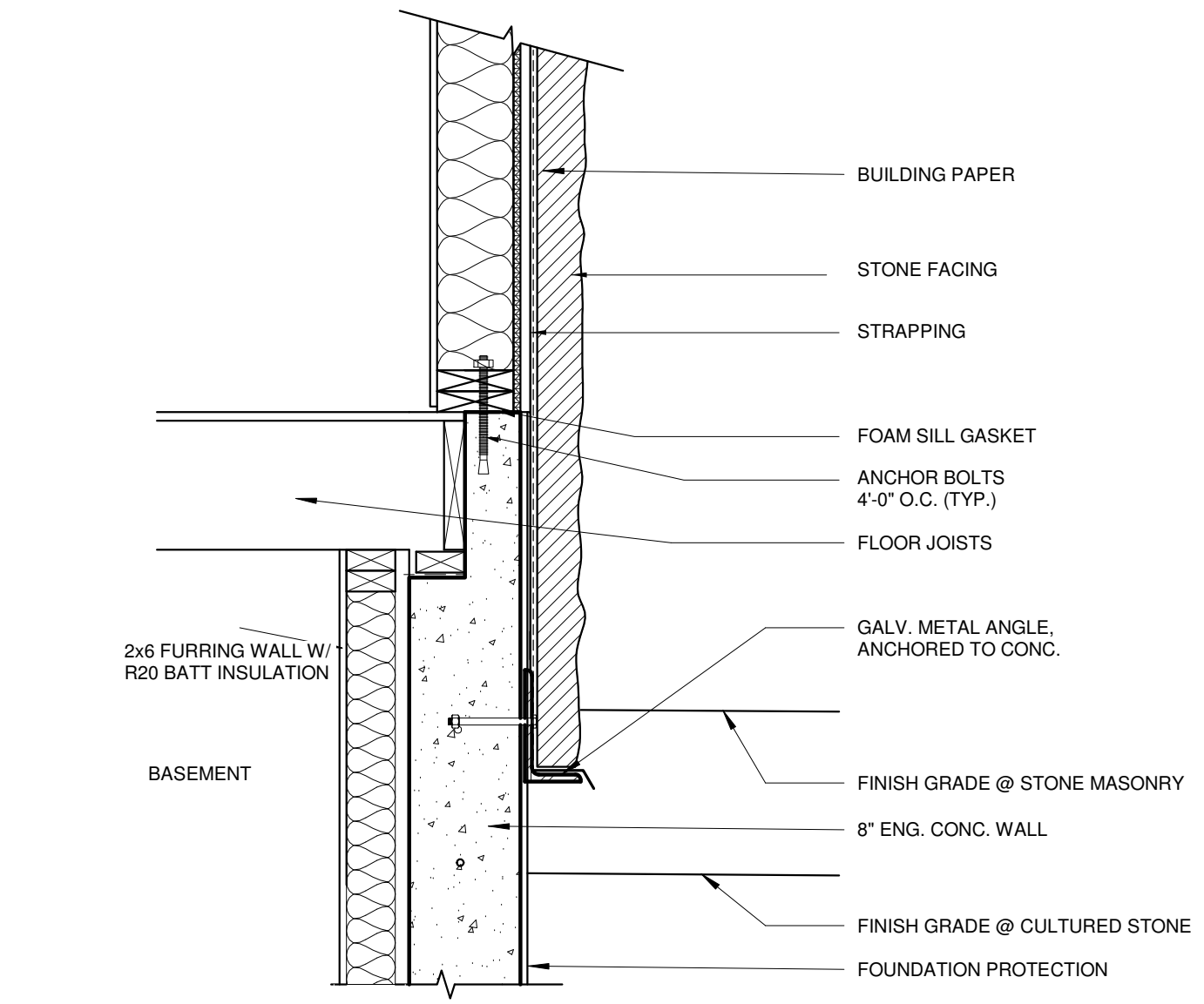
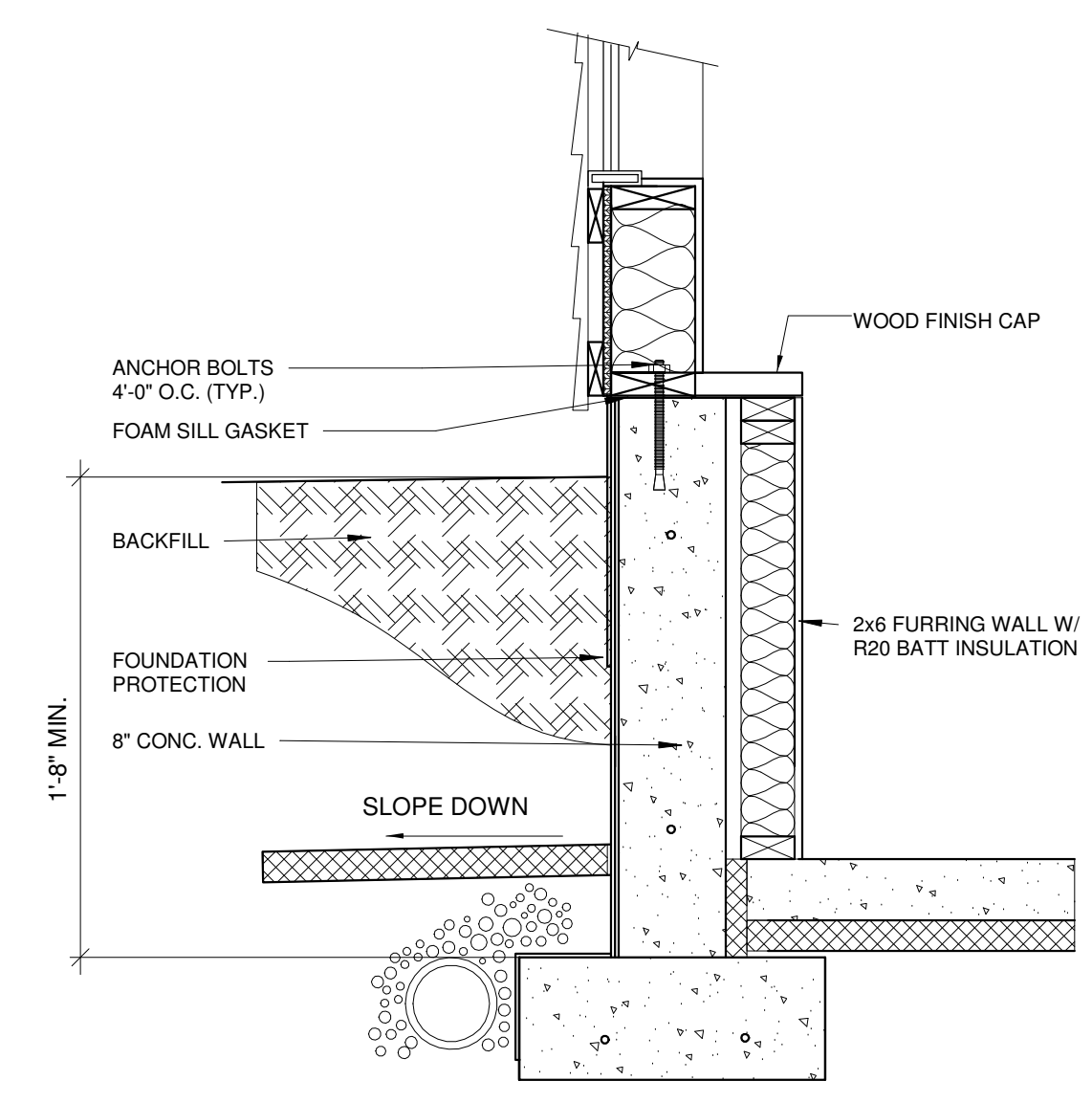
DESCRIPTION	
A	ACRYLIC STUCCO BENJAMIN MOORE "ICE MIST" 2123-70
B	HARDI ARTISAN LAP SIDING KBS PANELING SYSTEM "ACORN"
C	ADERA NATURAL STONE "BROADSTREET SPLIT FACE"
D	ALUMINIUM PRIVACY SCREEN KBS PANELING SYSTEM "ACORN"
E	VINYL WINDOWS VICWEST "CHARCOAL" 56072
F	METAL & GLASS RAILING VICWEST "CHARCOAL" 56072
G	6x6 TIMBER COLUMN BEHR "CEDAR NATURALTONE" SC-533
H	METAL PANEL VICWEST "CHARCOAL" 56072
I	1x1 CORNER TRIM KBS PANELING SYSTEM "ACORN"
J	METAL CAP FLASHING VICWEST "CHARCOAL" 56072

SPATIAL SEPARATION	
<b>NORTH</b>	
LIMITING DISTANCE	= 17.04' (5.20m)
EXPOSED WALL FACE	= 760.38 SF (70.64m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 50.75%
TOTAL ALLOWED	= 385.89 SF (35.85m <sup>2</sup> )
ACTUAL OPENINGS	= 32.63%
TOTAL ALLOWED	= 248.11SF (23.05m <sup>2</sup> )
<b>EAST</b>	
LIMITING DISTANCE	= 5.20' (1.58m)
EXPOSED WALL FACE	= 751.48 SF (69.81m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 8.00%
TOTAL ALLOWED	= 60.12 SF (5.59m <sup>2</sup> )
ACTUAL OPENINGS	= 6.25%
TOTAL ALLOWED	= 47.00 SF (4.37m <sup>2</sup> )

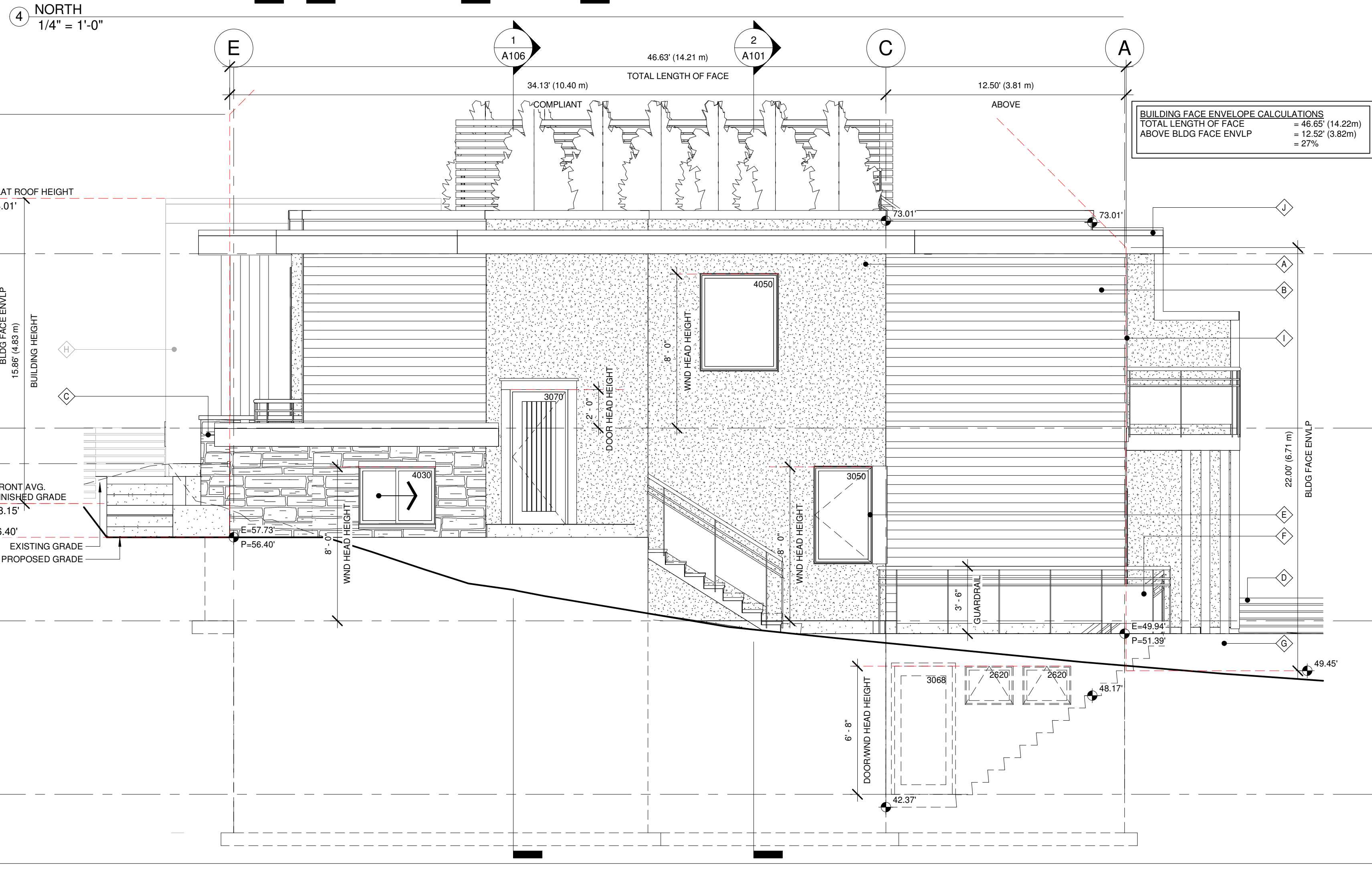


**BUILDING FACE ENVELOPE CALCULATIONS**  
TOTAL LENGTH OF FACE = 39.50' (12.04m)  
ABOVE BLDG FACE ENVL = 5.32' (1.62m)  
= 13%

**BUILDING FACE ENVELOPE CALCULATIONS**  
TOTAL LENGTH OF FACE = 46.63' (14.22m)  
ABOVE BLDG FACE ENVL = 12.52' (3.82m)  
= 27%



1 FOUNDATION - FOUNDATIONS DETAIL  
1" = 1'-0"



**BUILDING FACE ENVELOPE CALCULATIONS**  
TOTAL LENGTH OF FACE = 46.63' (14.22m)  
ABOVE BLDG FACE ENVL = 12.52' (3.82m)  
= 27%

3 EAST  
1/4" = 1'-0"

**NOTE:**  
- ALL EXTERIOR DOORS AND WINDOWS TO HAVE A MIN U VALUE OF U-0.32  
- FRONT DOOR TO HAVE A MIN U VALUE OF U-0.46  
- RAINSCREEN REQ'D @ ALL CLADDING OTHER THAN HORIZONTAL VINYL  
- FLASHING REQ'D @ UNPROTECTED OPENINGS  
- ALL WINDOWS AND EXTERIOR DOORS TO CONFORM TO NAFS AS PER 9.7.4

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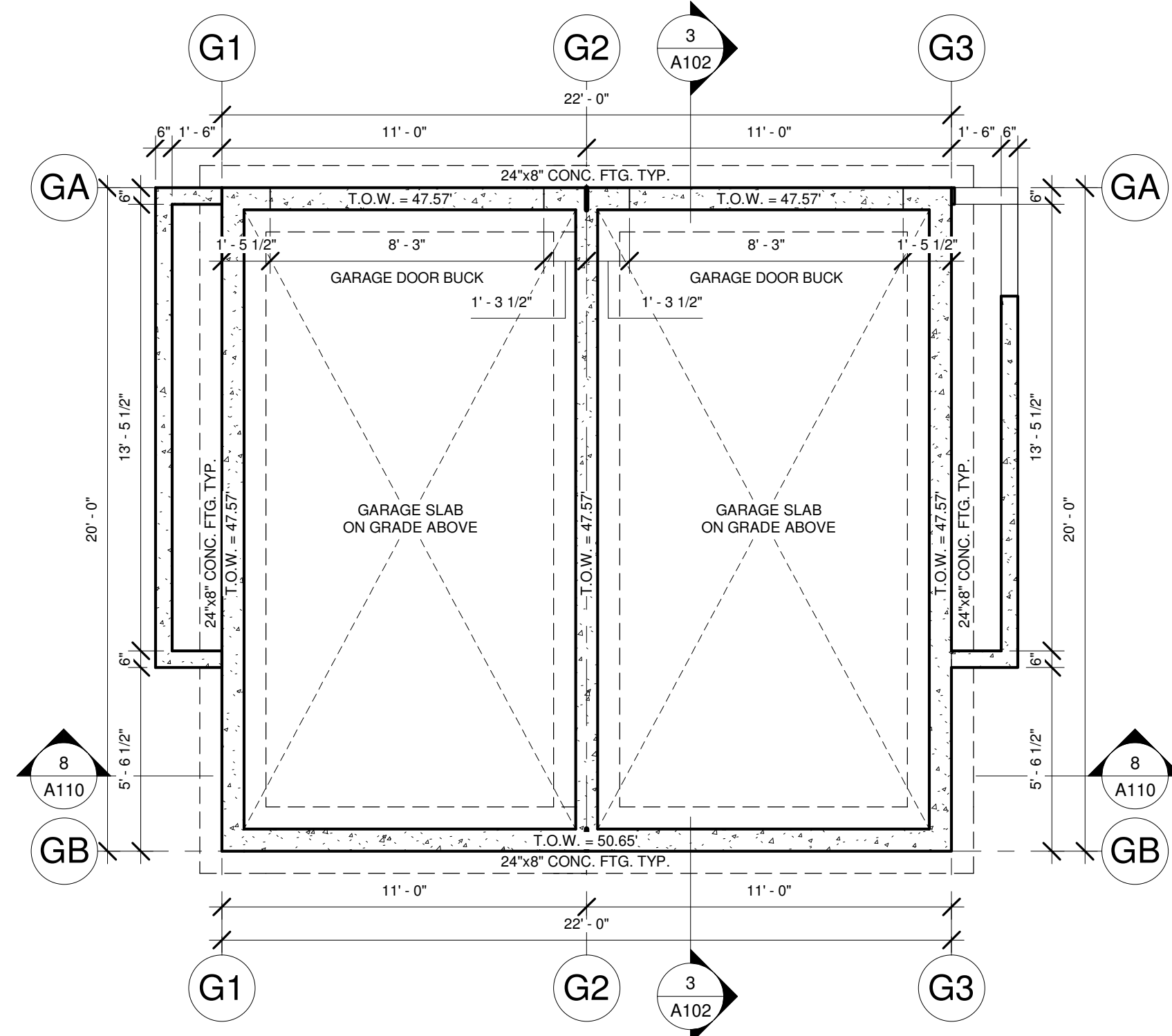
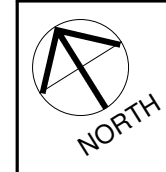
REVISIONS	
NO. DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**  
6421 ARGYLE AVE, WEST VANCOUVER B.C.

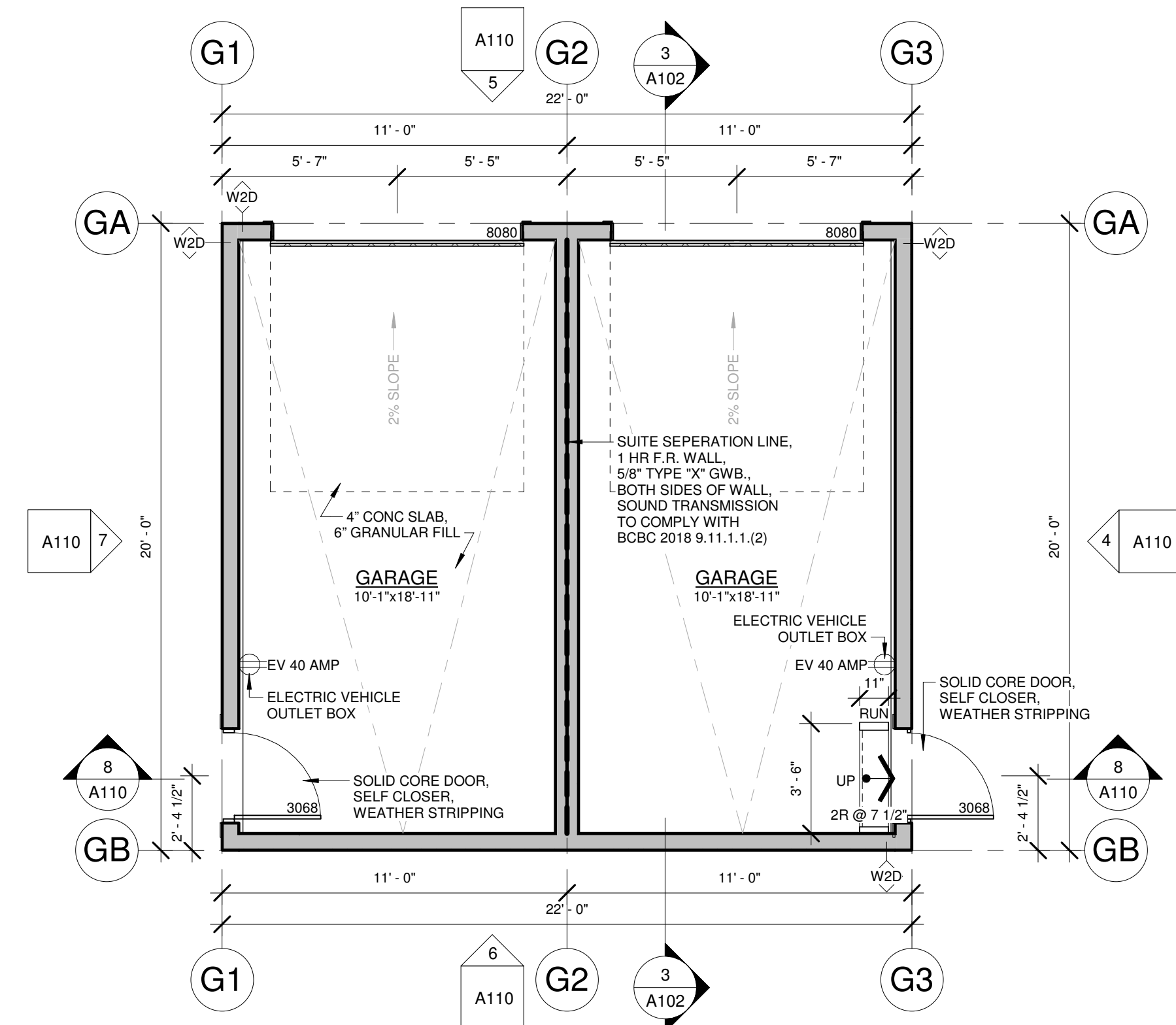
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**N&E ELEVATIONS**  
scale As indicated  
date 2020-06-24  
drawn AG checked ZE  
job no. 1616  
sheet no. **A109**  
consultant

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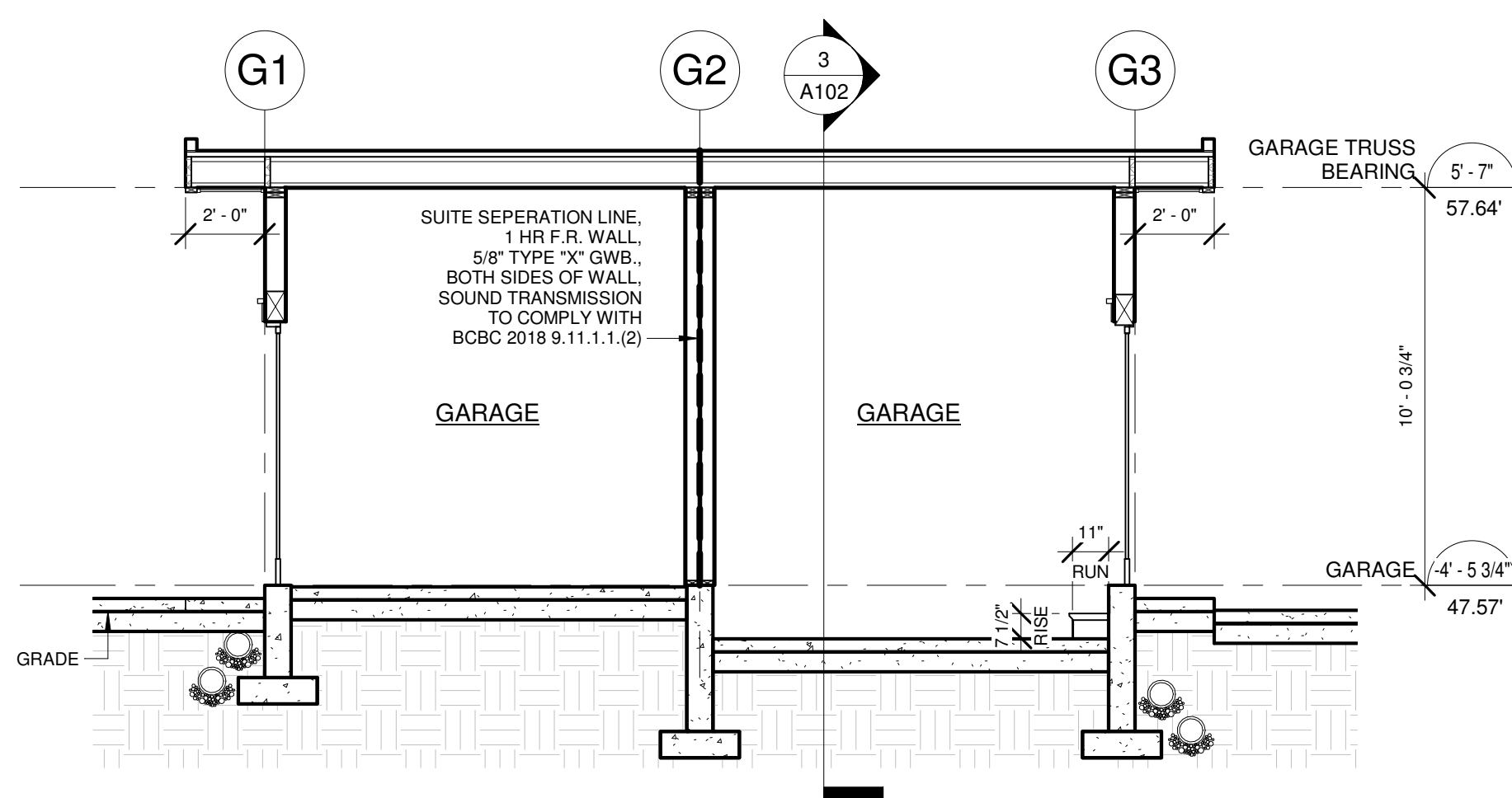
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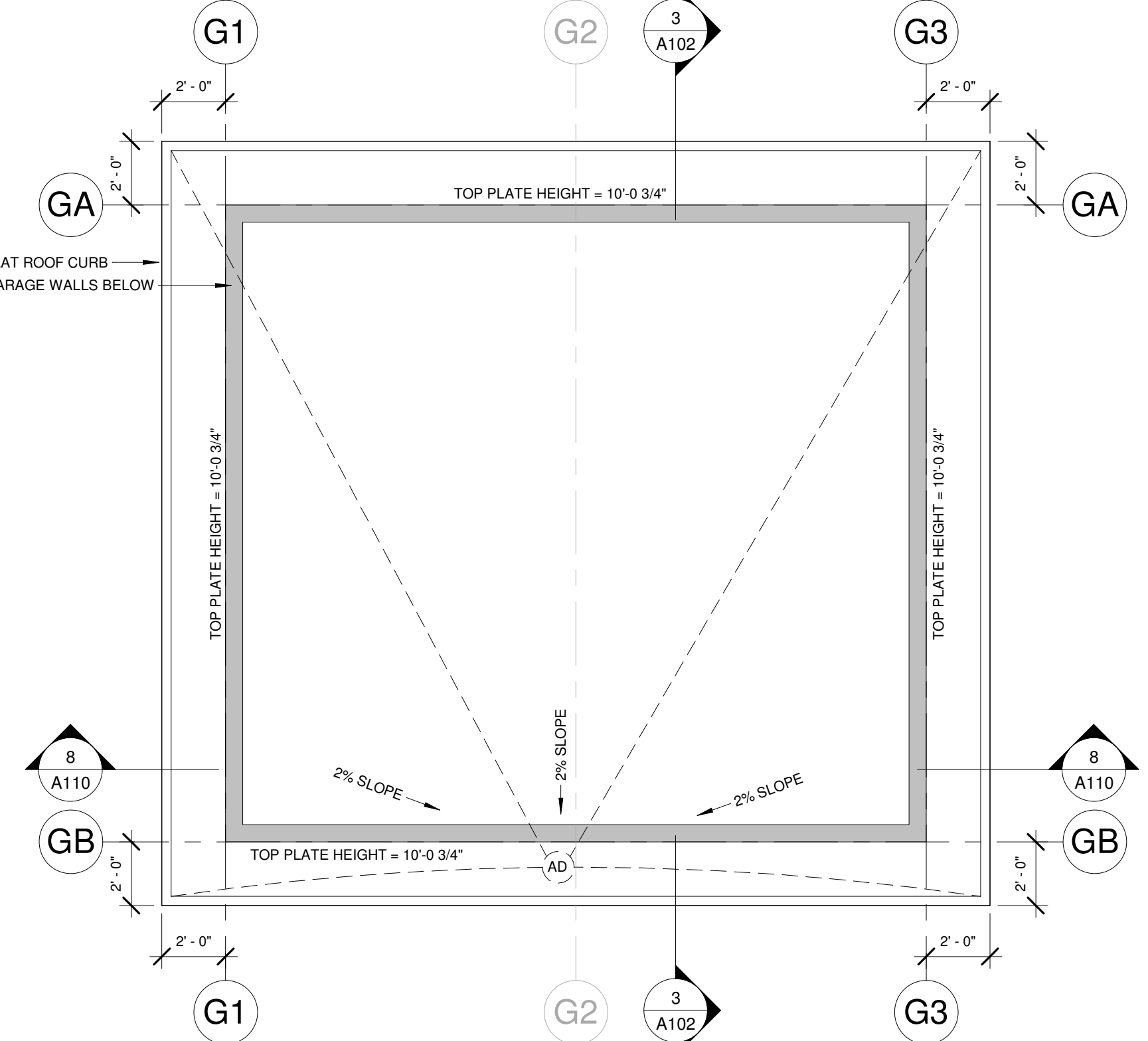
2 GARAGE - FOUNDATION  
1/4" = 1'-0"



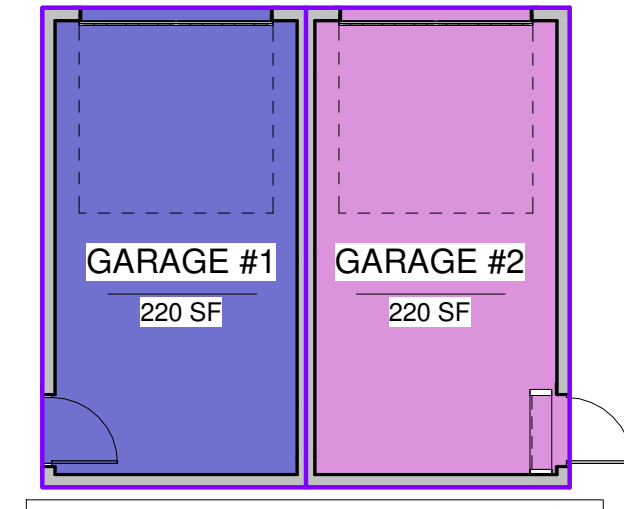
1 GARAGE - 440 SF  
1/4" = 1'-0"



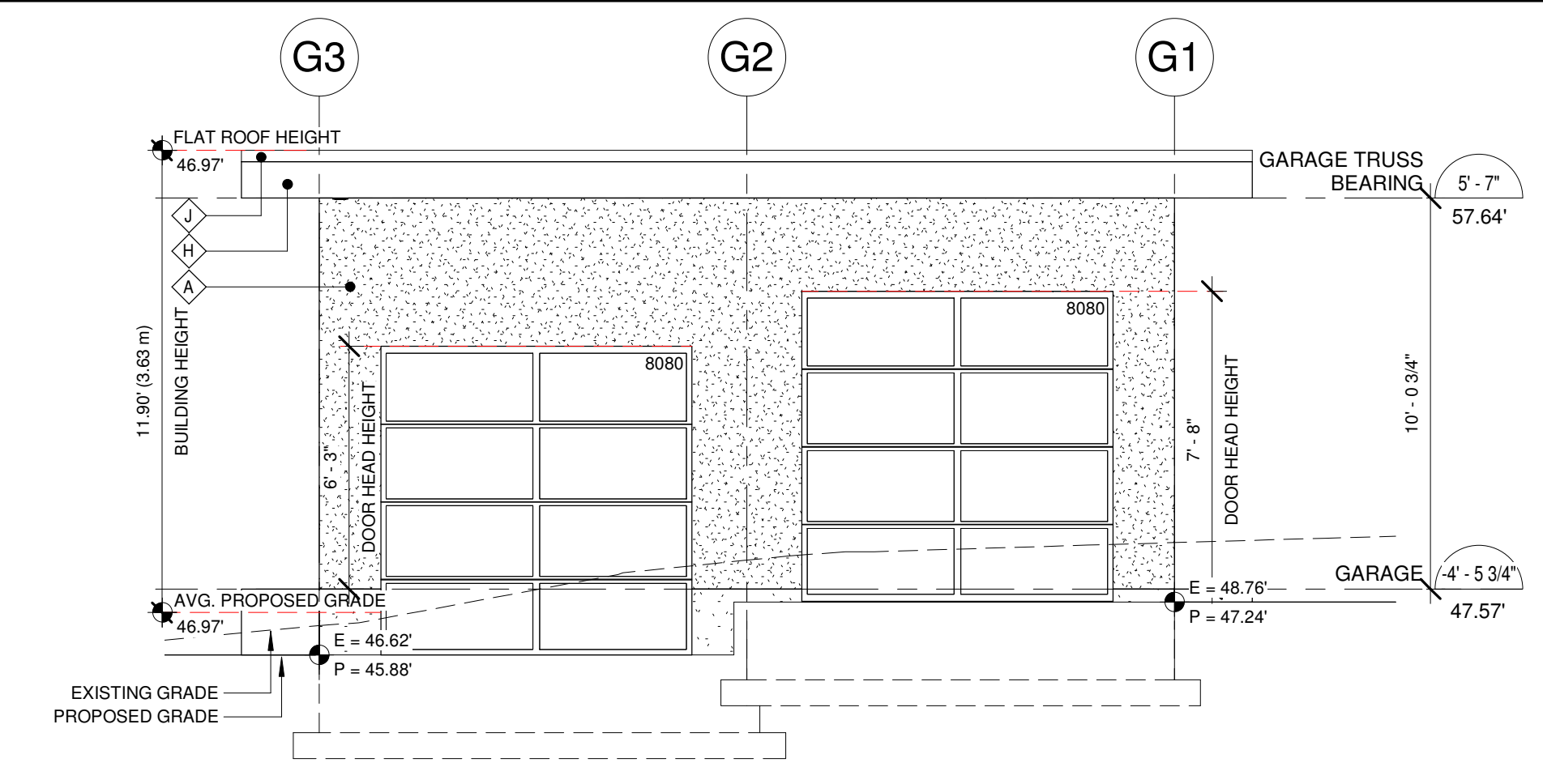
8 GARAGE - SECTION A  
1/4" = 1'-0"



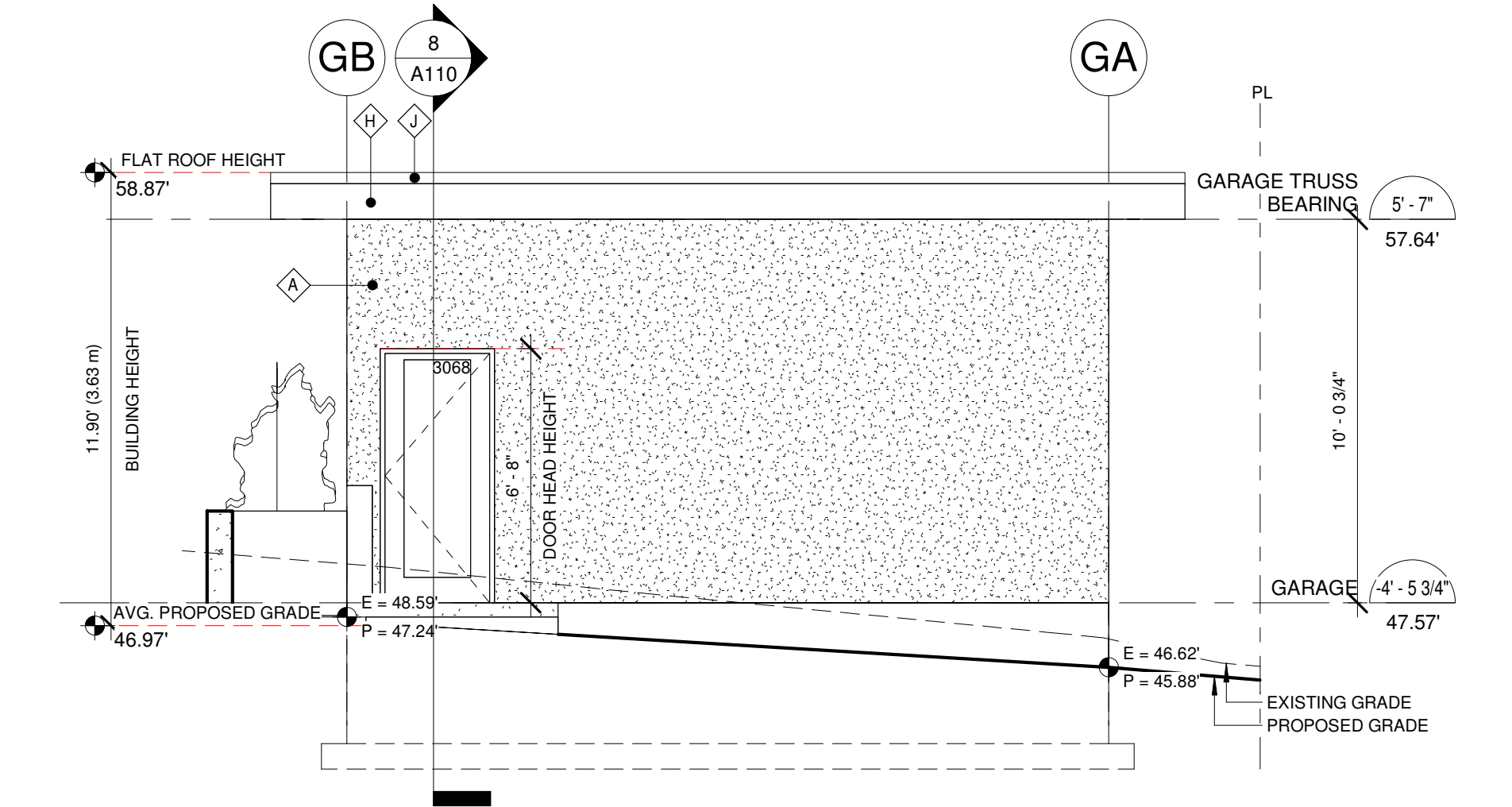
3 GARAGE - TRUSS BEARING  
1/4" = 1'-0"



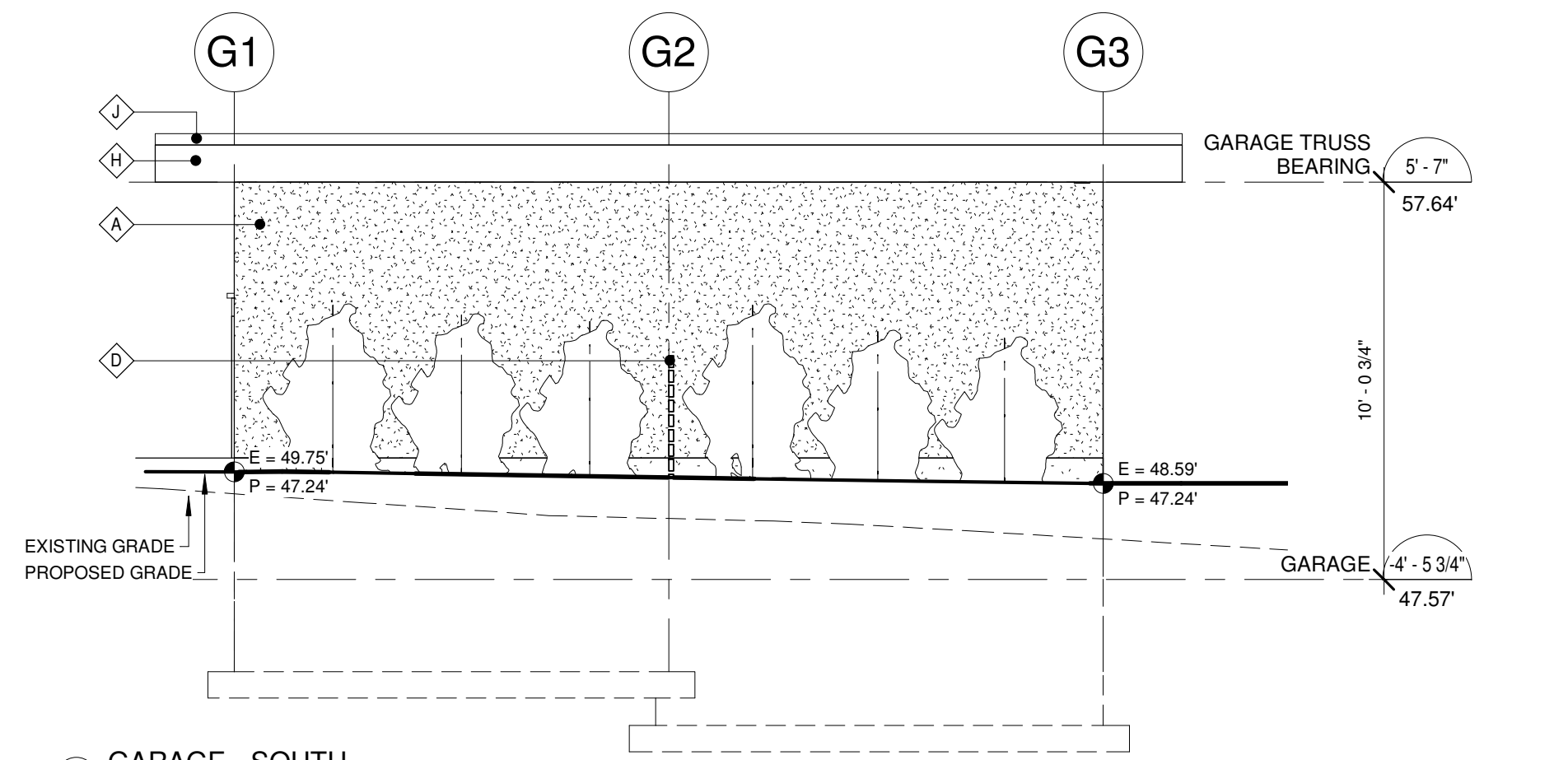
9 GARAGE  
1/8" = 1'-0"



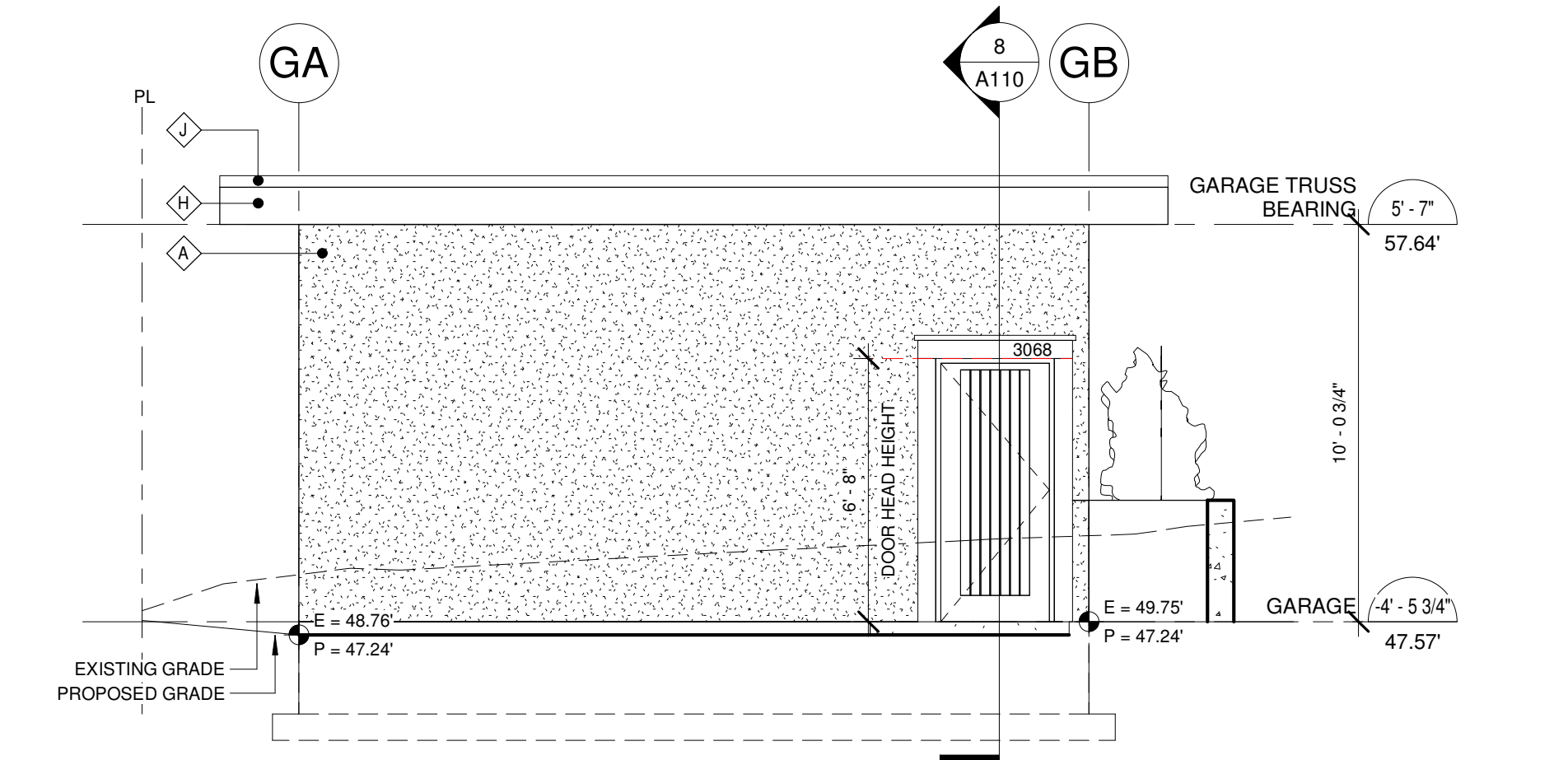
5 GARAGE - NORTH  
1/4" = 1'-0"



4 GARAGE - EAST  
1/4" = 1'-0"



6 GARAGE - SOUTH  
1/4" = 1'-0"



7 GARAGE - WEST  
1/4" = 1'-0"

DESCRIPTION
ACRYLIC STUCCO
BENJAMIN MOORE "ICE MIST" 2123-70
HARDY ARTISAN LAP SIDING
KBS PANELING SYSTEM "ACORN"
ADENA NATURAL STONE
"BROADSTREET SPLIT FACE"
ALUMINUM PRIVACY SCREEN
KBS PANELING SYSTEM "ACORN"
VINYL WINDOWS
VICWEST "CHARCOAL" 56072
METAL & GLASS RAILING
VICWEST "CHARCOAL" 56072
6x6 TIMBER COLUMN
BEHR "CEDAR NATURALTONE" SC-533
METAL PANEL
VICWEST "CHARCOAL" 56072
1x1 CORNER TRIM
KBS PANELING SYSTEM "ACORN"
METAL CAP FLASHING
VICWEST "CHARCOAL" 56072

SPATIAL SEPARATION	
<b>NORTH</b>	
LIMITING DISTANCE	= 13.36' (4.07m)
EXPOSED WALL FACE	= 243.23 SF (22.60m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 39.00%
TOTAL ALLOWED	= 94.77 SF (8.80m <sup>2</sup> )
ACTUAL OPENINGS	= 0.00%
ACTUAL OPENINGS	= 0.00 SF (0.00m <sup>2</sup> )
<b>EAST</b>	
LIMITING DISTANCE	= 13.99' (4.26m)
EXPOSED WALL FACE	= 223.10 SF (20.73m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 39.00%
TOTAL ALLOWED	= 87.01 SF (8.08m <sup>2</sup> )
ACTUAL OPENINGS	= 0.00%
ACTUAL OPENINGS	= 0.00 SF (0.00m <sup>2</sup> )
<b>SOUTH</b>	
LIMITING DISTANCE	= 3.97' (1.21m)
EXPOSED WALL FACE	= 186.86 SF (17.36m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 7.00%
TOTAL ALLOWED	= 13.08 SF (1.22m <sup>2</sup> )
ACTUAL OPENINGS	= 0.00%
ACTUAL OPENINGS	= 0.00 SF (0.00m <sup>2</sup> )
<b>WEST</b>	
LIMITING DISTANCE	= 14.01' (4.27m)
EXPOSED WALL FACE	= 207.75 SF (19.30m <sup>2</sup> )
MAX. ALLOWABLE OPENINGS	= 39.00%
TOTAL ALLOWED	= 81.02 SF (7.53m <sup>2</sup> )
ACTUAL OPENINGS	= 0.00%
ACTUAL OPENINGS	= 0.00 SF (0.00m <sup>2</sup> )

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email zane@zedstudio.com  
web www.zedstudio.com

REVISIONS		
NO.	DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
DETACHED GARAGE

scale As indicated  
date 2020-06-24  
drawn AG checked ZE

job no. 1616  
sheet no. **A110**

consultant

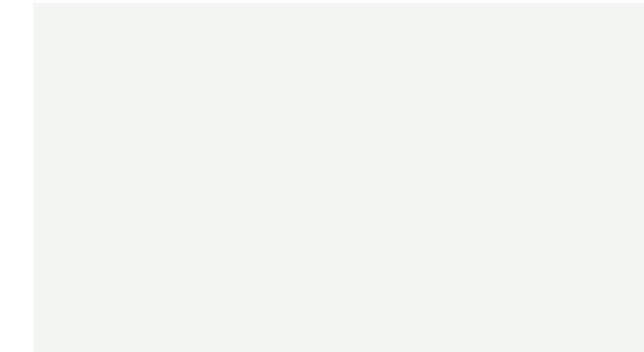
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RENDERED SOUTH ELEVATION



RENDERED NORTH ELEVATION



A ACRYLIC STUCCO  
BENJAMIN MOORE "ICE MIST" 2123-70



B LONGBOARD SIDING

KBS PANELING SYSTEM "ACORN"

D ALUMINIUM PRIVACY SCREEN

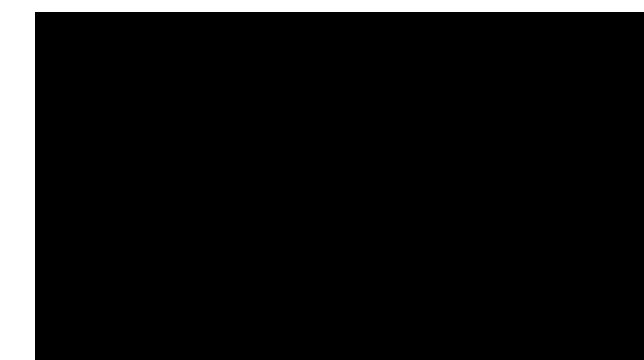
KBS PANELING SYSTEM "ACORN"

I 1x1 CORNER TRIM

KBS PANELING SYSTEM "ACORN"



C ADERA NATURAL STONE  
"BROADSTREET SPLIT FACE"



E VINYL WINDOWS

ALPOLIC "TBL BLACK" 4-TBL-70

F METAL & GLASS RAILING

ALPOLIC "TBL BLACK" 4-TBL-70

H METAL PANEL

ALPOLIC "TBL BLACK" 4-TBL-70

J METAL CAP FLASHING

ALPOLIC "TBL BLACK" 4-TBL-70



G 6x6 TIMBER COLUMN  
BEHR "CEDAR NATURALTONE" SC-533

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REVISIONS

NO.	DATE	DESCRIPTION

RESIDENTIAL DUPLEX

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title  
MATERIAL BOARD

scale 1/4" = 1'-0"

date 2020-06-24

drawn AG checked ZE

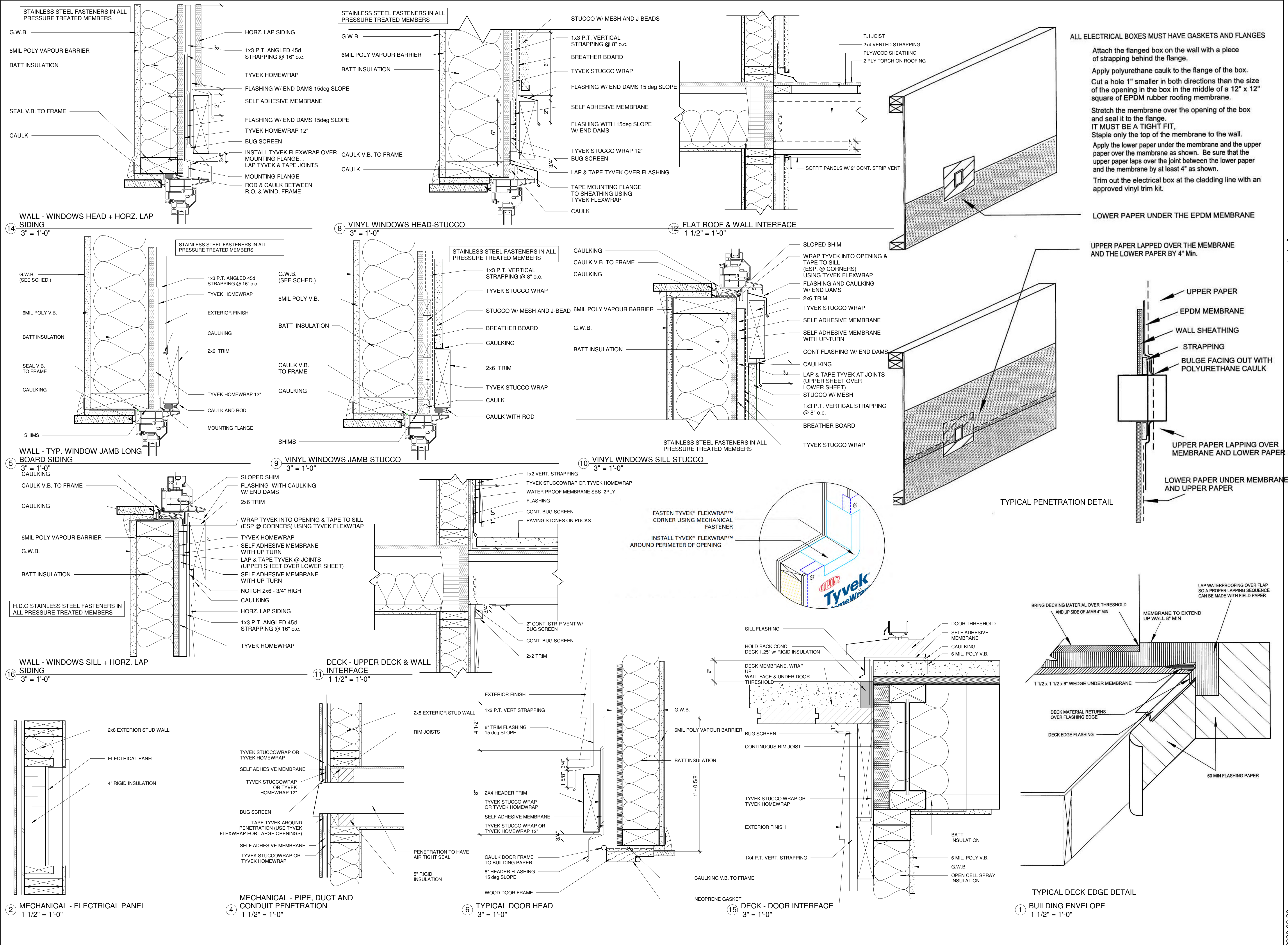
job no. 1616

sheet no. A111

consultant

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ALL ELECTRICAL BOXES MUST HAVE GASKETS AND FLANGES

Attach the flanged box on the wall with a piece of strapping behind the flange.

Apply polyurethane caulk to the flange of the box.

Cut a hole 1" smaller in both directions than the size of the opening in the box in the middle of a 12" x 12" square of EPDM rubber roofing membrane.

Stretch the membrane over the opening of the box and seal it to the flange.

IT MUST BE A TIGHT FIT.

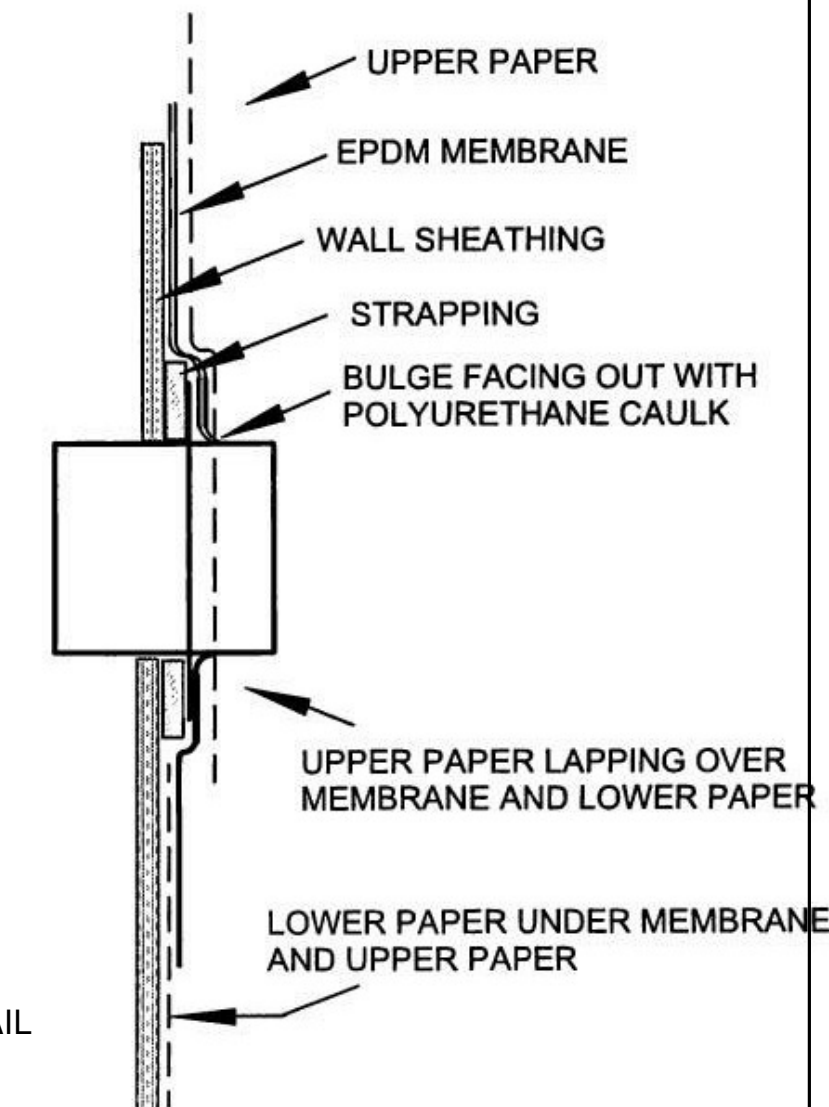
Staple only the top of the membrane to the wall.

Apply the lower paper under the membrane and the upper paper over the membrane as shown. Be sure that the upper paper laps over the joint between the lower paper and the membrane by at least 4" as shown.

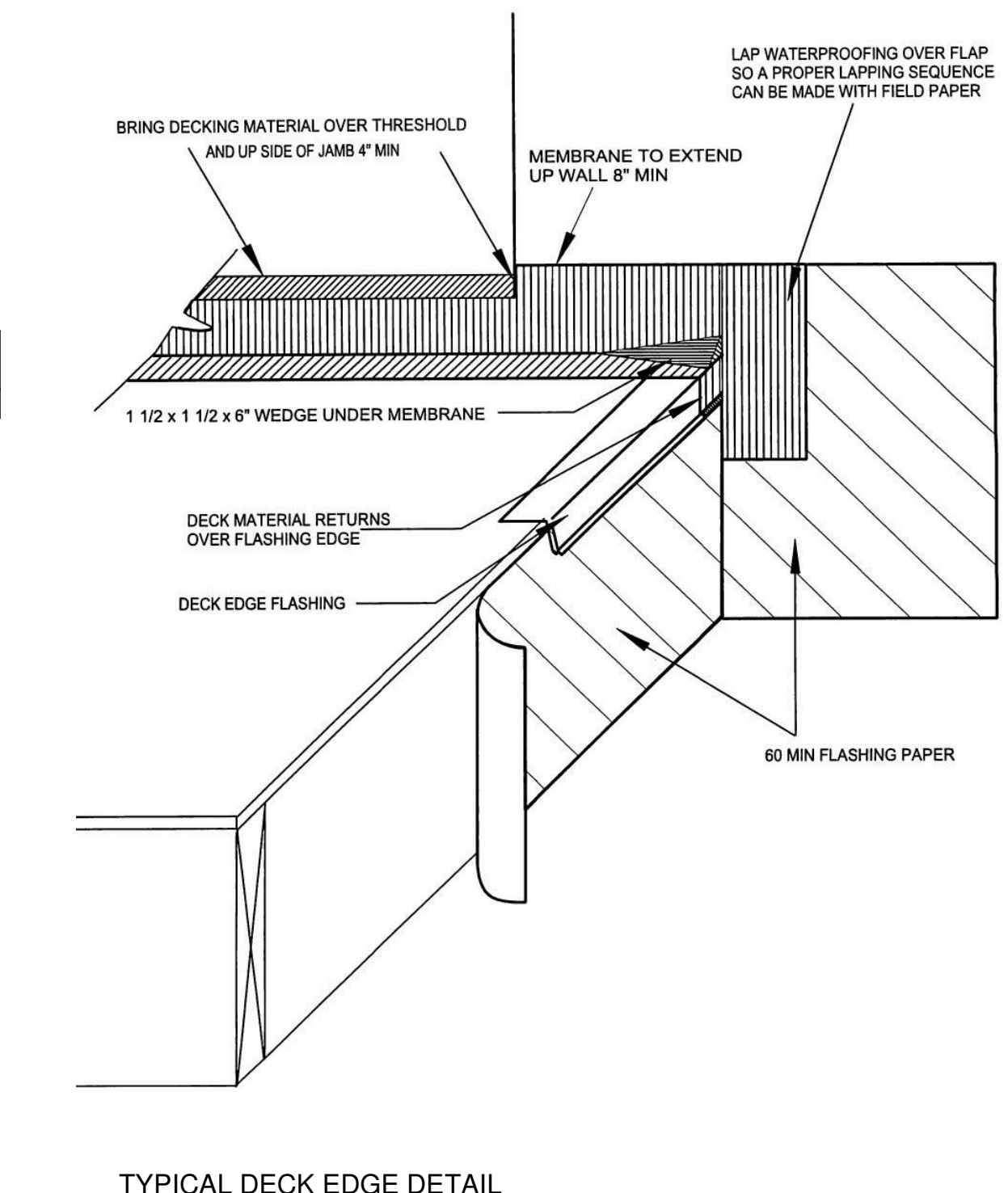
Trim out the electrical box at the cladding line with an approved vinyl trim kit.

LOWER PAPER UNDER THE EPDM MEMBRANE

UPPER PAPER LAPPED OVER THE MEMBRANE AND THE LOWER PAPER BY 4" Min.



TYPICAL PENETRATION DETAIL



TYPICAL DECK EDGE DETAIL

ZED STUDIO

778 242 1160  
#301 - 3007 GLEN DRIVE  
COQUITLAM, BC  
V3B 0L8  
zane@zedstudio.com  
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REVISIONS		
NO.	DATE	DESCRIPTION

**RESIDENTIAL DUPLEX**

6421 ARGYLE AVE, WEST VANCOUVER B.C.

title DETAILS

scale As indicated  
date 2020-06-24  
drawn ... checked ZE  
job no. 1616  
sheet no. A112  
consultant

Drawings are to be read in conjunction with each other, any discrepancies found on any drawings are to be reported to the designer before commencing work.

Contractors are responsible to ensure that all work is executed to the requirements of the latest edition of the B.C. Building Code.

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