



Bruce Street Perspective



Halex Architecture
346 East 20th Street - North Vancouver - BC - V7L 3A7
604.983.9909
www.kgharchitecture.com

Duplex Residence | 6457 Bruce St
West Vancouver | BC
Cover
~
Street Perspective

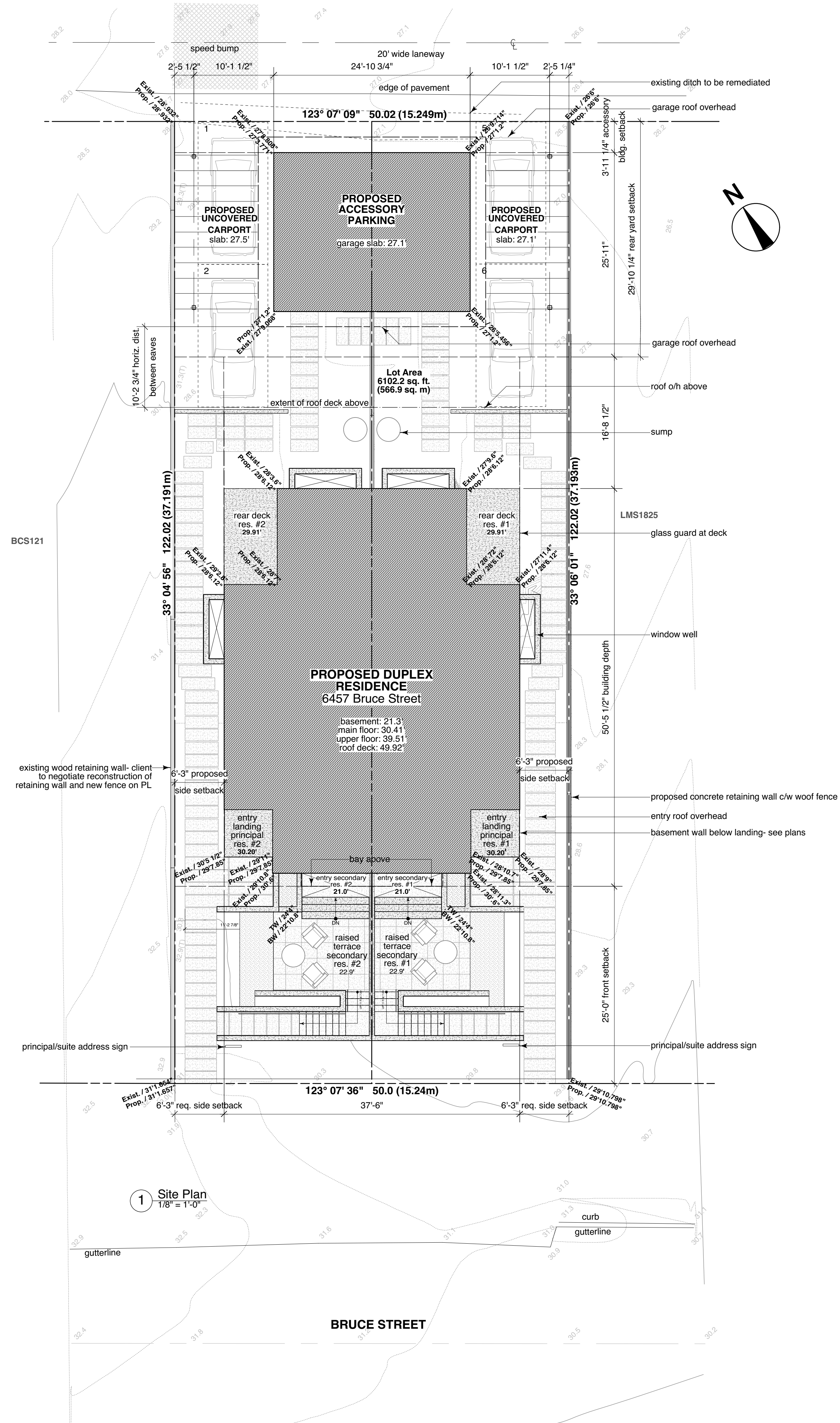


Lane perspective



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PROJECT SUMMARY

Civic Address: 6457 Bruce Street
West Vancouver, BC
Legal Description: Lot 19, Block 34, DL 430
Group 1, NWD Plan 2103
PID 008-201-148
Zoning: RD-2
Overall Site Area: 6,102.20 S.F.
Min. Allowable Site Area: 6,000.88 S.F. as per 252.03

BUILDING DATA: ALLOWABLE

Max. net floor area: 3,051.10 S.F. 0.50*Site Area
Max. site coverage: 2,440.88 S.F. 40% of site area
Front yard setback: 25'0"
Rear yard setback: 29'10 1/4"
Min. side setback: 5'0" 10% of site width
Min. combined side setback: 12'6" 25% of site width
Max. building height: 25'0"
Max. number of storeys: 2
Highest building face: 22'0"
Min. number of parking spots/dwelling unit: 1
Max. exemption for parking accessory building area: 882.64 S.F. double garage allowance
Min. parking accessory building setback from rear PL: 3'11 1/4"
Min. parking accessory building setback from any building: 3'11 1/4"
Min. parking accessory building setback from side PL: n/a where parking accessory building is located wholly within the rear 39.70' of the lot
Max. parking accessory building height: 12'1 5/8"
Min. secondary suite area: 215.28 S.F. less than 40% of net principal building area
Max. secondary suite area: 968.75 S.F.

BUILDING DATA: PROPOSED

Area:
Garage 502.12 S.F.
Basement 1,629.73 S.F.
Main Floor 1,597.09 S.F.
Upper Floor 1,330.36 S.F.
Basement Exemption -1,508.84 S.F.
Parking Exemption -502.12 S.F.
Net floor area: 3,048.34 S.F.

Site Coverage:

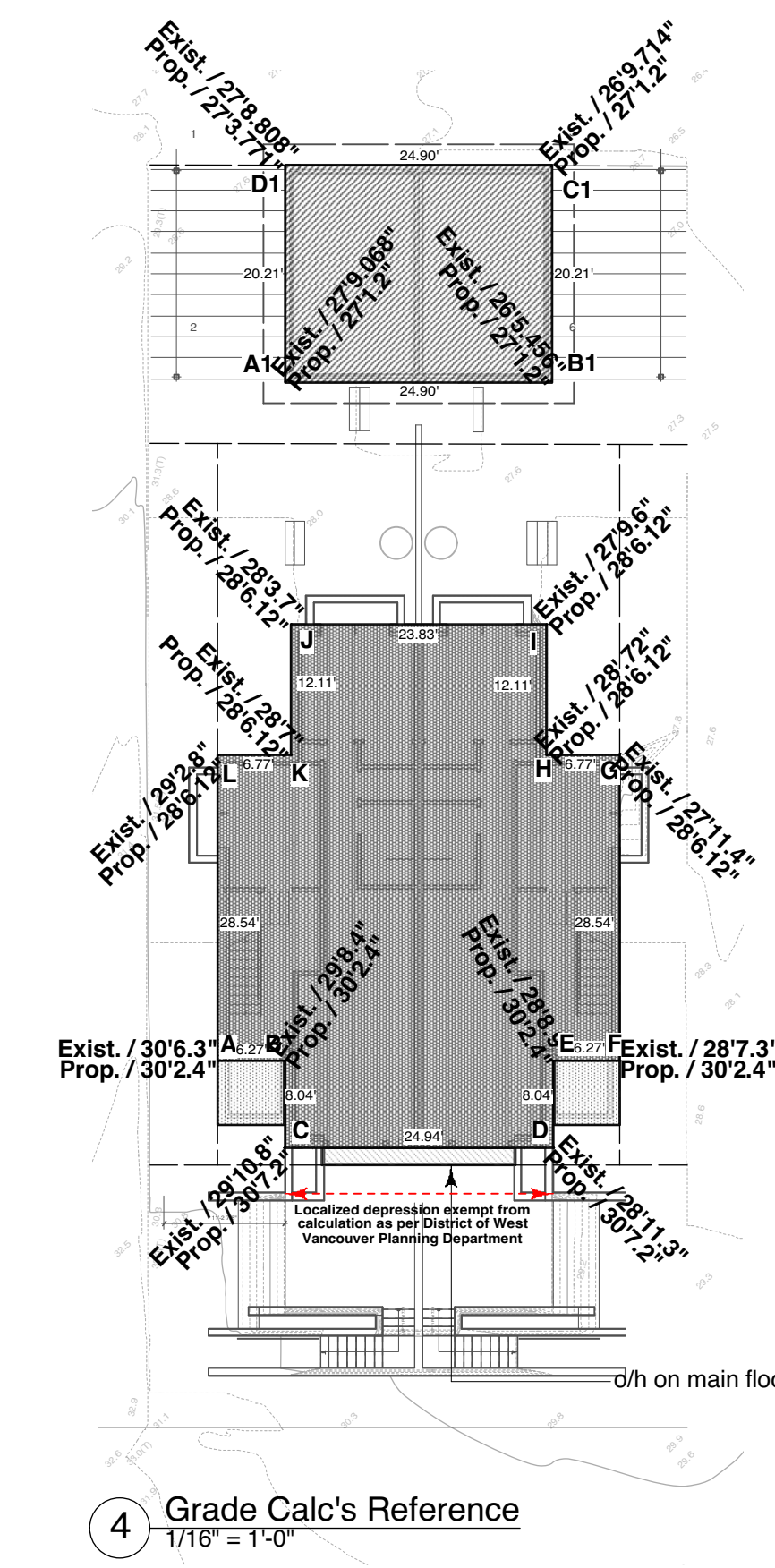
Garage 502.12 S.F.
Principal Building 1,629.73 S.F.
Net site coverage: 2,131.85 S.F.

SETBACKS

Proposed front yard setback: 25'0"
Proposed side yard setback (inside): 6'3"
Proposed side yard setback (combined): 12'3"
Proposed rear yard setback (principal): 29'10 1/4"
Proposed rear yard setback (attached garage): 3'11 1/4"

HEIGHT

Max. allowable building height: 25'0"
Proposed building height: 24'11 1/2"



Average Grades for F.A.R. exclusion as per Section 120.17

Principal Building - Natural Grades		Wall Section Length		Wall Section average grade
A-B	30'6 1/4"	+ 29'8 3/8"	+ 2	6'3 1/4" = 188.81 sq ft
B-C	29'8 3/8"	+ 29'10 3/4"	+ 2	8'0 1/2" = 239.59 sq ft
C-D	29'10 3/4"	+ 27'11 3/8"	+ 2	24'11 1/4" = 721.39 sq ft
D-E	27'11 3/8"	+ 28'9 7/8"	+ 2	8'0 1/2" = 228.24 sq ft
E-F	28'9 7/8"	+ 28'7 1/4"	+ 2	6'3 1/4" = 180.05 sq ft
F-G	28'7 1/4"	+ 27'11 3/8"	+ 2	28'6 1/2" = 807.09 sq ft
G-H	27'11 3/8"	+ 28'7 1/4"	+ 2	8'9 1/4" = 244.43 sq ft
H-I	28'7 1/4"	+ 27'9 5/8"	+ 2	12'1 3/8" = 341.5 sq ft
I-J	27'9 5/8"	+ 28'3 3/4"	+ 2	23'10" = 679.39 sq ft
J-K	28'3 3/4"	+ 28'7"	+ 2	12'1 3/8" = 345.26 sq ft
K-L	28'7"	+ 29'2 3/4"	+ 2	6'9 1/4" = 195.71 sq ft
L-A	29'2 3/4"	+ 30'6 1/4"	+ 2	28'6 1/2" = 852.75 sq ft
				Total: 1722 3/4" = 4959.56 sq ft

Average natural grade
4959.56 sq ft + 1722 3/4" = **28'9 1/2"**

Parking - Natural Grades		Wall Section Length		Wall Section average grade
A1-B1	27'9 1/8"	+ 28'5 1/2"	+ 2	24'10 3/4" = 674.92 sq ft
B1-C1	26'5 1/2"	+ 28'9 3/4"	+ 2	20'2 1/2" = 538.23 sq ft
C1-D1	26'9 3/4"	+ 27'8 3/4"	+ 2	24'10 3/4" = 679.07 sq ft
D1-A1	9'0'2 5/8"	+ 27'9 1/4"	+ 2	20'2 1/2" = 1192.14 sq ft
				Total: 9'0'2 5/8" = 3084.36 sq ft

Average natural grade (parking)
3084.36 sq ft + 9'0'2 5/8" = **34'2 1/4"**

Principal Building - Finished Grades		Wall Section Length		Wall Section average grade
A-B	30'2 3/8"	+ 30'2 3/8"	+ 2	6'3 1/4" = 189.35 sq ft
B-C	30'2 3/8"	+ 30'7 1/4"	+ 2	8'0 1/2" = 244.42 sq ft
C-D	30'7 1/4"	+ 30'7 1/4"	+ 2	24'11 1/4" = 763.16 sq ft
D-E	30'7 1/4"	+ 30'2 3/8"	+ 2	8'0 1/2" = 244.42 sq ft
E-F	30'2 3/8"	+ 30'2 3/8"	+ 2	6'3 1/4" = 189.35 sq ft
F-G	30'2 3/8"	+ 28'6 1/8"	+ 2	28'6 1/2" = 837.79 sq ft
G-H	28'6 1/8"	+ 28'6 1/8"	+ 2	6'9 1/4" = 193.01 sq ft
H-I	28'6 1/8"	+ 28'6 1/8"	+ 2	12'1 3/8" = 345.26 sq ft
I-J	28'6 1/8"	+ 28'6 1/8"	+ 2	23'10" = 679.39 sq ft
J-K	28'6 1/8"	+ 28'6 1/8"	+ 2	12'1 3/8" = 345.26 sq ft
K-L	28'6 1/8"	+ 28'6 1/8"	+ 2	6'9 1/4" = 193.01 sq ft
L-A	28'6 1/8"	+ 30'2 3/8"	+ 2	28'6 1/2" = 837.79 sq ft
				Total: 1722 3/4" = 5062.22 sq ft

Average finished grade
5062.22 sq ft + 1722 3/4" = **29'4 3/4"**

Parking - Finished Grades		Wall Section Length		Wall Section average grade
A1-B1	27'1 1/4"	+ 27'1 1/4"	+ 2	24'10 3/4" = 674.79 sq ft
B1-C1	27'1 1/4"	+ 27'1 1/4"	+ 2	20'2 1/2" = 541.69 sq ft
C1-D1	27'1 1/4"	+ 27'3 3/4"	+ 2	24'10 3/4" = 677.46 sq ft
D1-A1	27'3 3/4"	+ 27'1 1/4"	+ 2	20'2 1/2" = 549.86 sq ft
				Total: 9'0'2 5/8" = 2449.79 sq ft

Average finished grade (parking)
2449.79 sq ft + 9'0'2 5/8" = **27'1 7/8"**

Summary		Lower of natural & finished:	
Average natural grade	28'9 1/2"	29'4 3/4"	
Average finished grade	29'4 3/4"	27'1 7/8"	
Average natural grade (parking)	34'2 1/4"	27'1 7/8"	
Average finished grade (parking)	27'1 7/8"	27'1 7/8"	

As per Section 130.08 (e) the percentage floor area exemption for principal building basement is:

avg. grade elevation - basement floor elevation	X	100	=
main floor elevation - basement floor elevation			
29'4 3/4" - 21'3 5/8"	=	8'1 1/8"	X 100 = 88.83%
30'4 7/8" - 21'3 5/8"	=	9'1 3/8"	

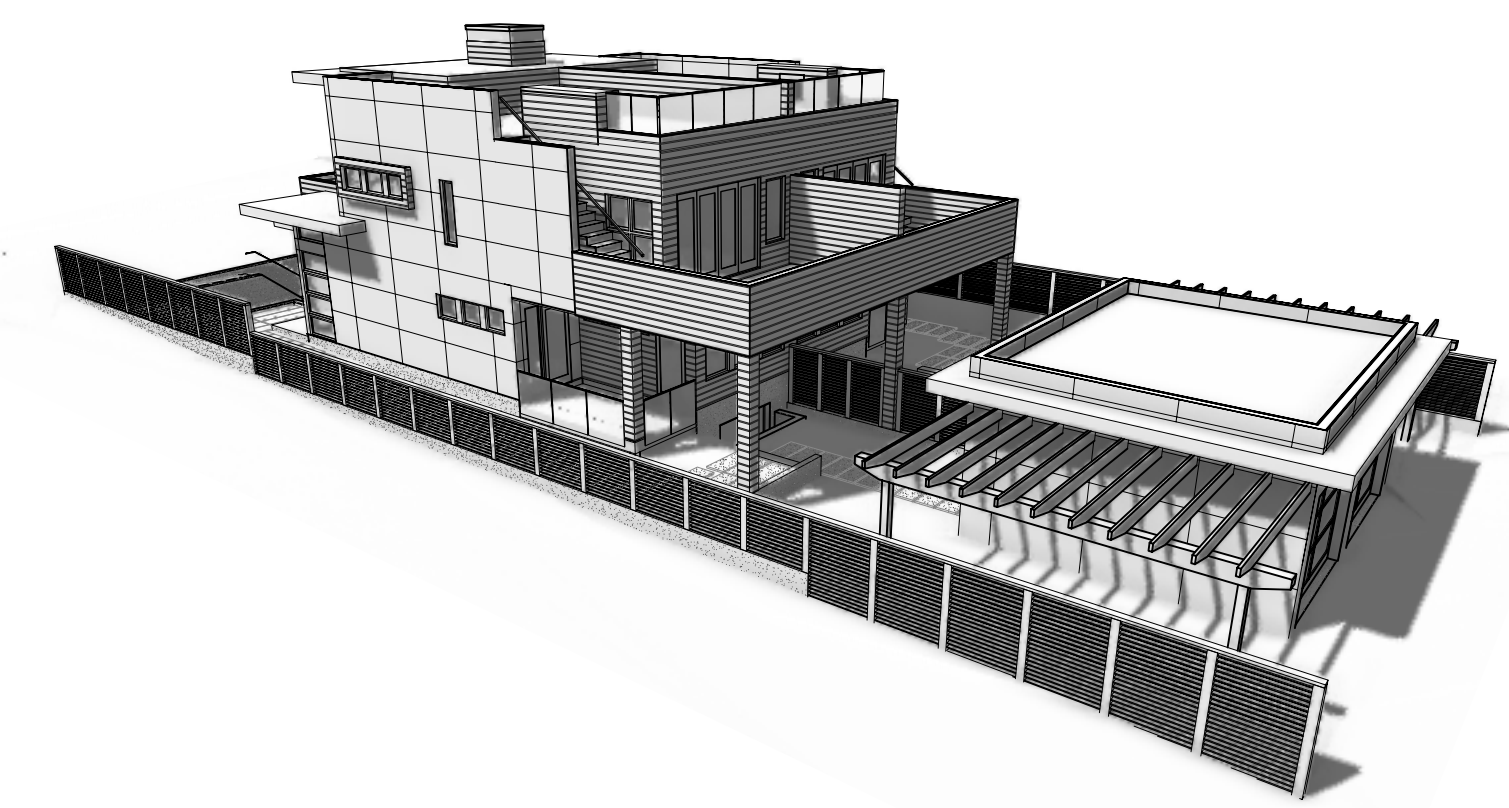
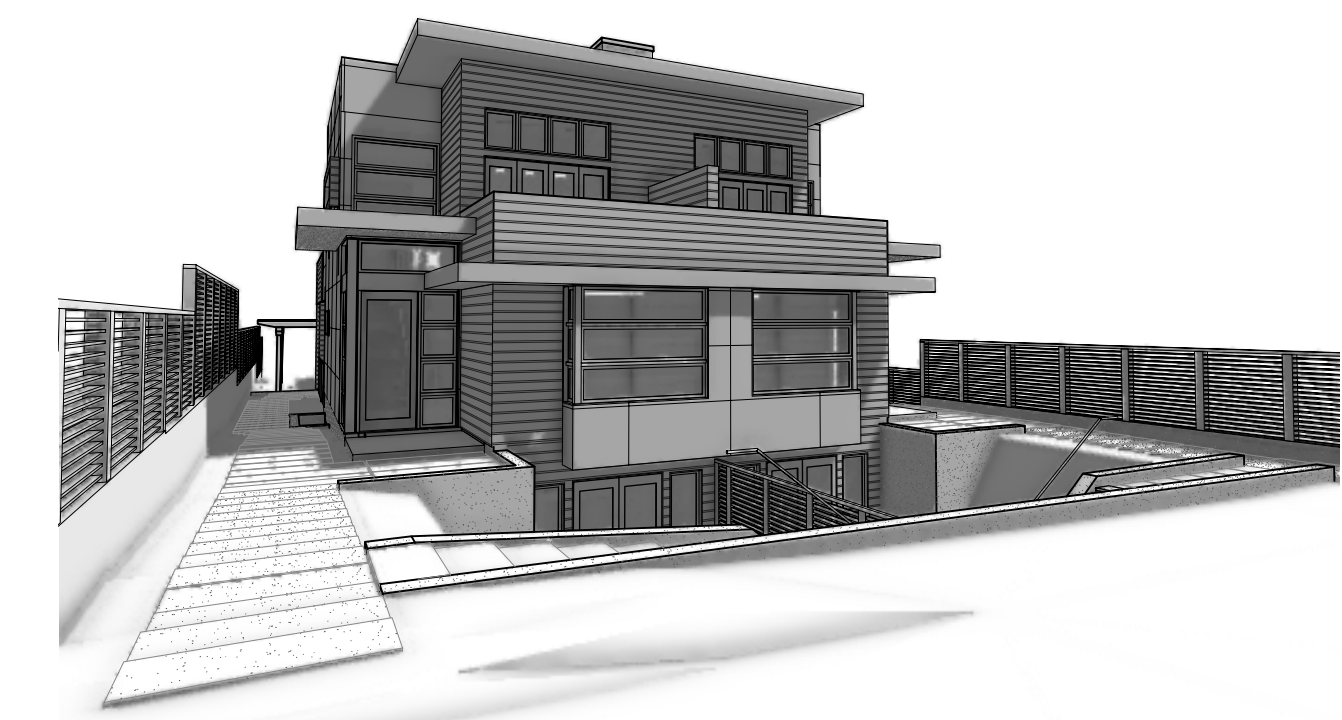
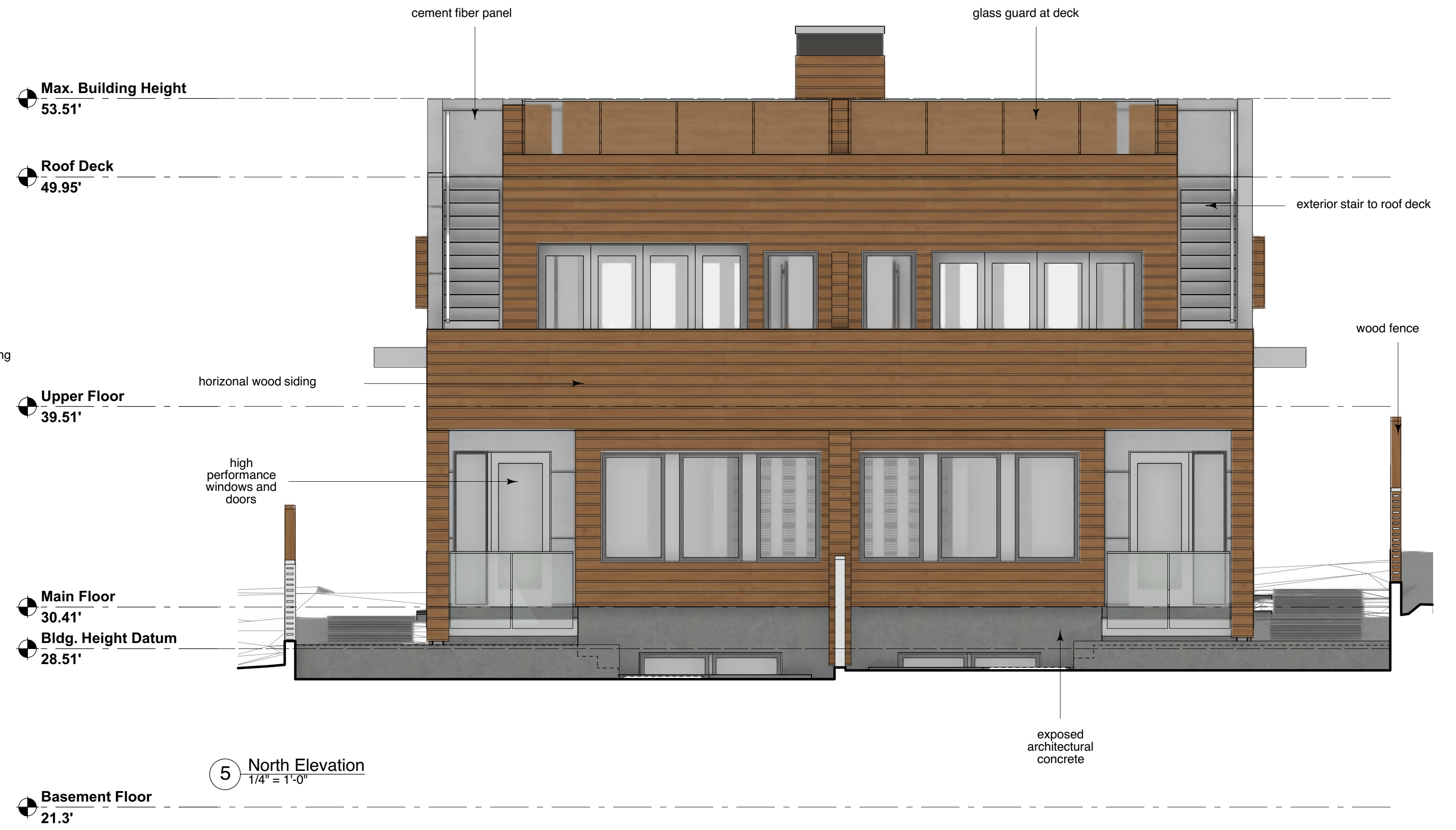
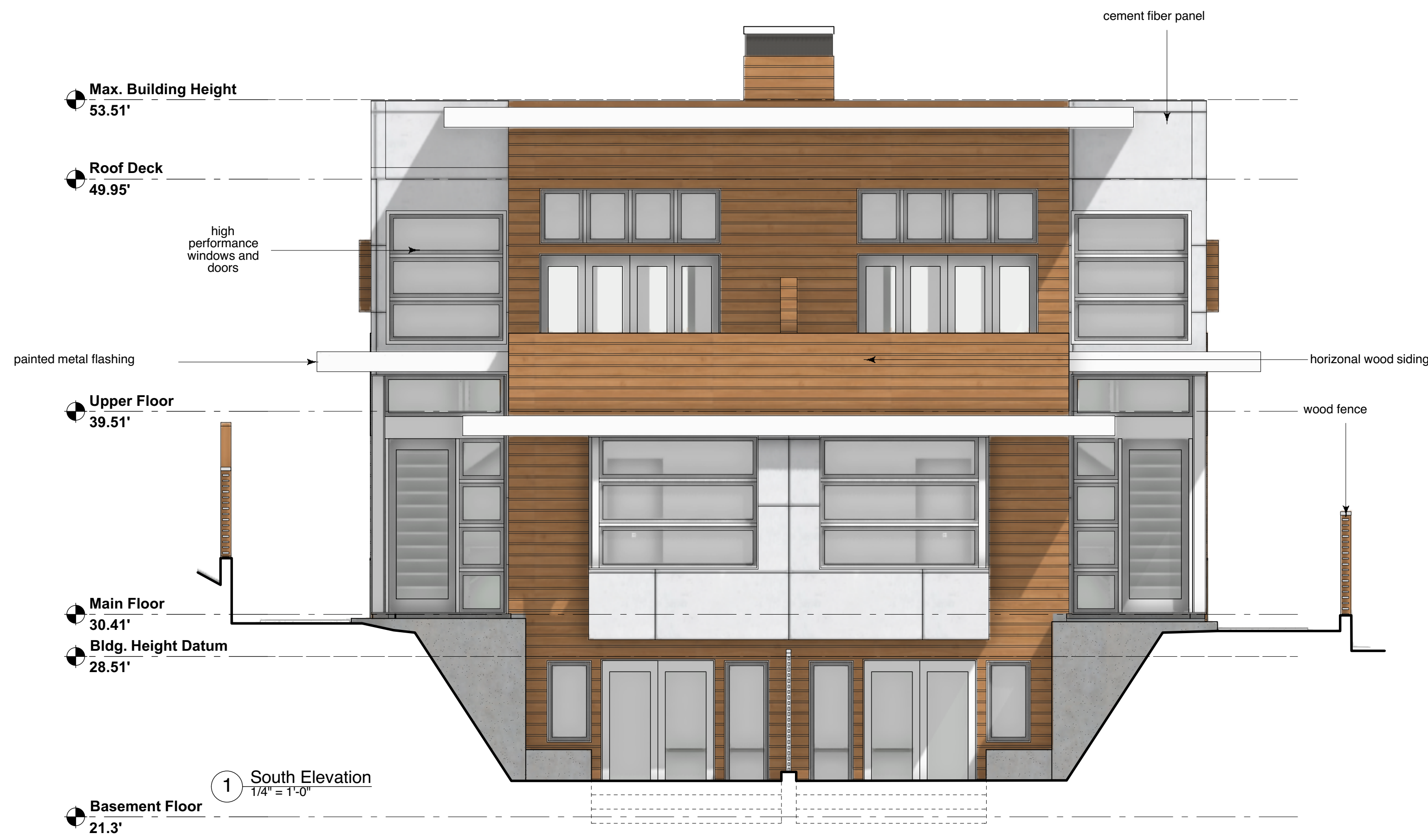
Basement storey area exempt from F.A.R. calculations= 1508.84 sq ft



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Site Plan



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Elevations & Perspectives