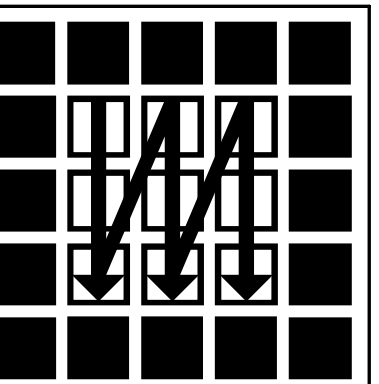




PROPOSED DUPLEX DEVELOPMENT- (REVISED FEB 21, 2018)
 6478 BAY STREET, HORSESHOE BAY, WEST VANCOUVER

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- A02 RENDERING 2: STREET VIEW LOOKING SOUTH
- A03 RENDERING 3: AERIAL VIEW OF FRONT LOOKING SOUTH
- A04 RENDERING 4: AERIAL VIEW OF FRONT YARDS
- A05 RENDERING 5: AERIAL VIEW OF REAR LOOKING EAST
- A06 RENDERING 13: LANE VIEW LOOKING EAST
- A14 SITE PLAN & PROJECT SUMMARY
- A15 BASEMENT & MAIN FLOOR PLANS
- A16 UPPER FOOR & ROOF DECK PLANS
- A17 SOUTHWEST, NORTHEAST & SOUTHEAST ELEVATIONS
- A18 NORTHWEST, NORTHEAST & SOUTHWEST ELEVATIONS
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WIEDEMANN ARCHITECTURAL DESIGN

FEB 21, 2018	GRT
NOV 13, 2017	GRT
SEPT 11, 2017	GRT
Revisions	By
MAY 17, 2017	GRT
JULY 11, 2017	GRT
JULY 21, 2017	GRT

1595 West 3rd Avenue
 -2nd Floor-
 Vancouver, B.C. V6J 1J8
 Cell: (604) 313-4241
 Office: (604) 739-0799
 Fax: (604) 739-0733

PROJECT:

ADDRESS:
 6478 BAY ST.
 WEST VANCOUVER,
 BRITISH COLUMBIA

DRAWING:
 TABLE OF CONTENTS

IT IS THE RESPONSIBILITY OF THE
 GENERAL CONTRACTOR TO CHECK AND
 VERIFY ALL DIMENSIONS AND REPORT
 ALL ERRORS AND OMISSIONS TO THE
 DESIGNER.

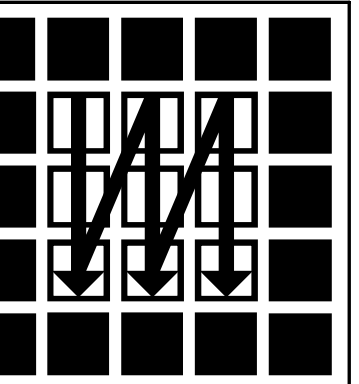
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 SCALE: 1/4" = 1'-0"
 DRAWN BY: GRT
 CHKD BY:

JOB NO.
 DRAWING NO.

A00



STREET VIEW LOOKING WEST



WIEDEMANN ARCHITECTURAL DESIGN

FEB 21, 2018	GRT
NOV 13, 2017	GRT
SEPT 11, 2017	GRT
Revisions	By
MAY 17, 2017	GRT
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PROJECT:

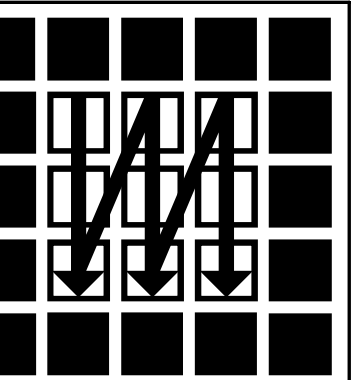
ADDRESS:
6478 BAY ST.
WEST VANCOUVER,
BRITISH COLUMBIA

DRAWING:
STREET VIEW
LOOKING WEST

IT IS THE RESPONSIBILITY OF THE
GENERAL CONTRACTOR TO CHECK AND
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DESIGNER.

DATE: 24 NOV. 2016
SCALE: NO SCALE
DRAWN BY: GRT
CHKD BY:
JOB NO.
DRAWING NO.

A01



WIEDEMANN ARCHITECTURAL DESIGN

FEB 21, 2018	GRT
NOV 13, 2017	GRT
SEPT 11, 2017	GRT
Revisions	By
MAY 17, 2017	GRT
JULY 11, 2017	GRT
JULY 21, 2017	GRT
	GRT

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PROJECT:

ADDRESS:
6478 BAY ST.
WEST VANCOUVER,
BRITISH COLUMBIA

DRAWING:
RENDERING OF
STREET VIEW
LOOKING SOUTH

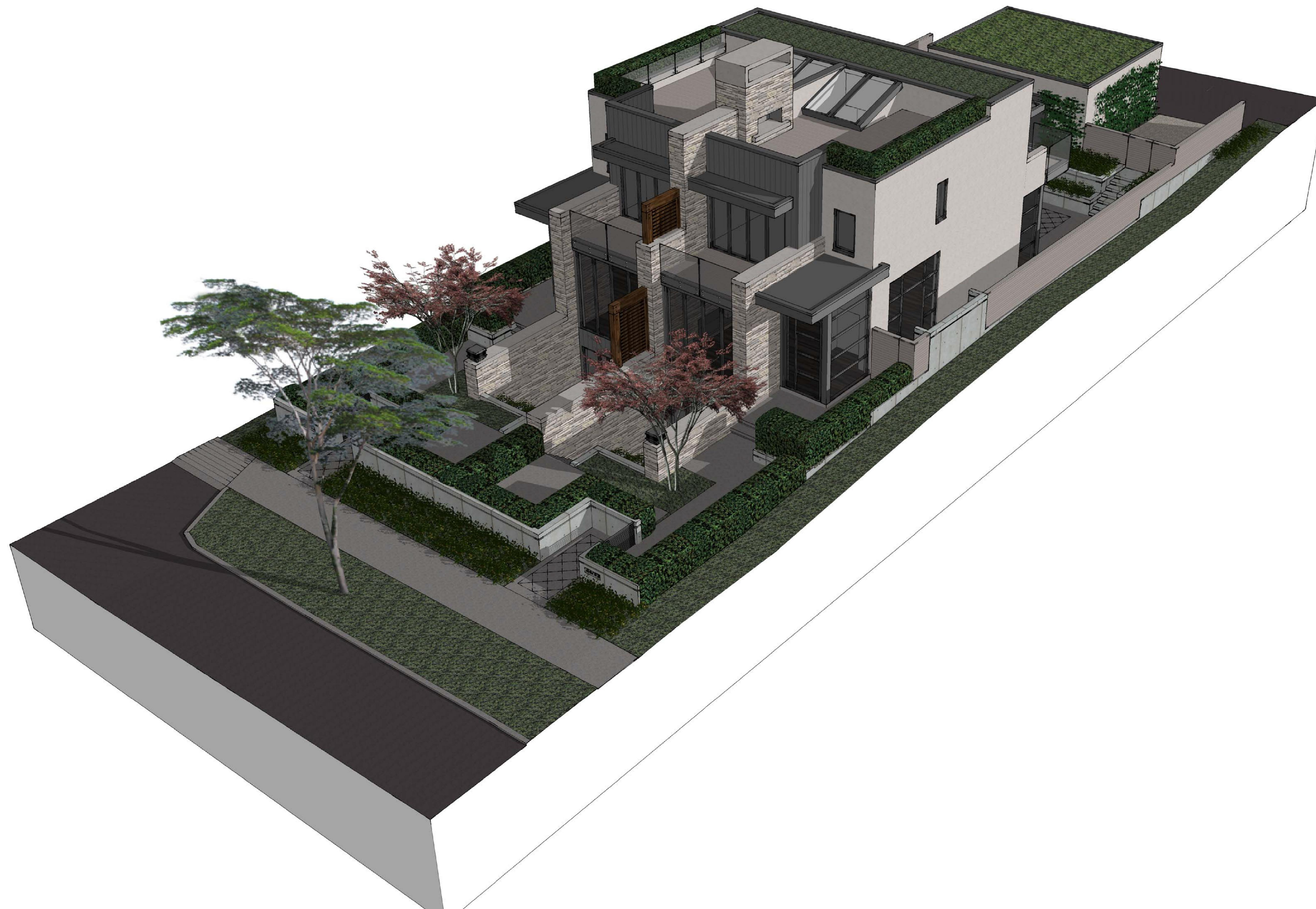
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DESIGNER.

DATE: 24 NOV. 2016
SCALE: NO SCALE
DRAWN BY: GRT
CHKD BY:
JOB NO.
DRAWING NO.

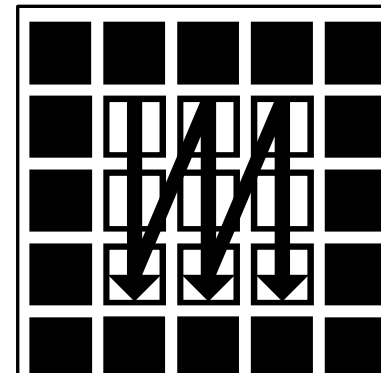
A02



STREET VIEW LOOKING SOUTH



AERIAL VIEW OF FRONT LOOKING SOUTH



WIEDEMANN ARCHITECTURAL DESIGN

FEB 21, 2018	GRT
NOV 13, 2017	GRT
SEPT 11, 2017	GRT
Revisions	By
MAY 17, 2017	GRT
JULY 11, 2017	GRT
JULY 21, 2017	GRT

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PROJECT:
 PROPOSED DUPLEX

ADDRESS:
 6478 BAY ST.
 WEST VANCOUVER,
 BRITISH COLUMBIA

DRAWING:
 RENDERING OF
 AERIAL VIEW
 LOOKING SOUTH

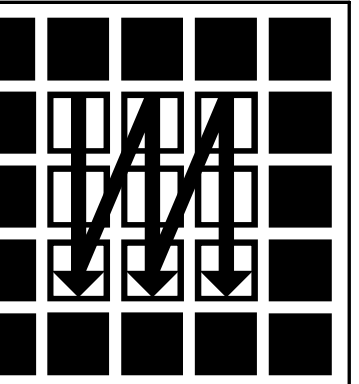
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 DESIGNER.

DATE: 24 NOV. 2016
 SCALE: NO SCALE
 DRAWN BY: GRT
 CHKD BY:
 JOB NO.
 DRAWING NO.

A03



AERIAL VIEW OF FRONT YARDS



WIEDEMANN ARCHITECTURAL DESIGN

Revisions	By
FEB 21, 2018	GRT
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JULY 11, 2017	GRT
NOV 13, 2017	GRT

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PROJECT:
 PROPOSED DUPLEX

ADDRESS:
 6478 BAY ST.
 WEST VANCOUVER,
 BRITISH COLUMBIA

DRAWING:
 RENDERING OF
 AERIAL VIEW
 OF FRONT YARDS

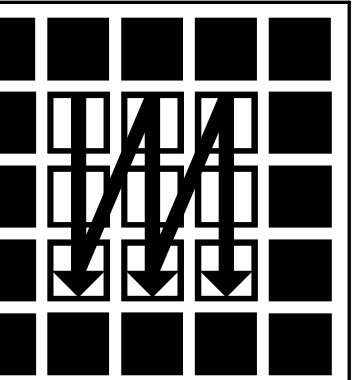
IT IS THE RESPONSIBILITY OF THE
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 ALL ERRORS AND OMISSIONS TO THE
 DESIGNER.

DATE: 24 NOV. 2016
 SCALE: NO SCALE
 DRAWN BY: GRT
 CHKD BY:
 JOB NO.
 DRAWING NO.

A04



AERIAL VIEW OF REAR LOOKING EAST



WIEDEMANN ARCHITECTURAL DESIGN

FEB 21, 2018	GRT
NOV 13, 2017	GRT
SEPT 11, 2017	GRT
Revisions	By
MAY 17, 2017	GRT
JULY 11, 2017	GRT
JULY 21, 2017	GRT

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PROJECT:
 PROPOSED DUPLEX

ADDRESS:
 6478 BAY ST.
 WEST VANCOUVER,
 BRITISH COLUMBIA

DRAWING:
 RENDERING OF
 AERIAL VIEW
 LOOKING EAST

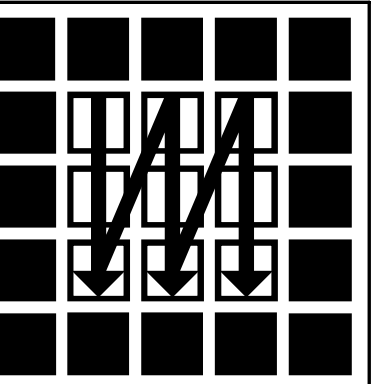
IT IS THE RESPONSIBILITY OF THE
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 ALL ERRORS AND OMISSIONS TO THE
 DESIGNER.

DATE: 24 NOV. 2016
 SCALE: NO SCALE
 DRAWN BY: GRT
 CHKD BY:
 JOB NO.
 DRAWING NO.

A05



LANE VIEW LOOKING EAST



WIEDEMANN ARCHITECTURAL DESIGN

FEB. 21, 2018	GRT
Revisions	By
July 11 2016	GRT
Sept 11 2017	GRT
Nov 13, 2017	GRT

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 -2nd Floor-
 Vancouver, B.C. V6J 1J8
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 Office: (604) 739-0799
 Fax: (604) 739-0733

PROJECT:
 PROPOSED DUPLEX

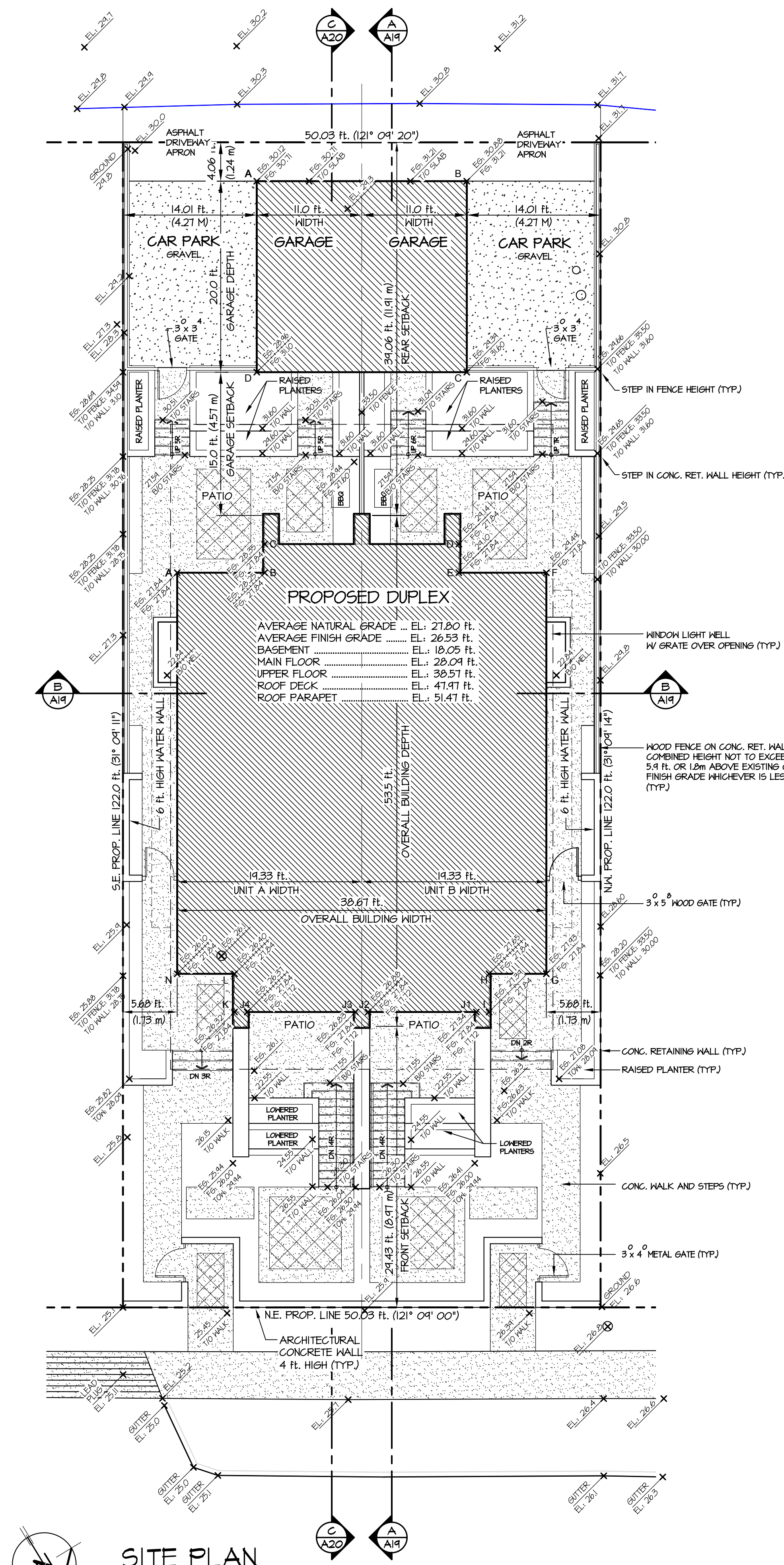
ADDRESS:
 6478 BAY ST.
 WEST VANCOUVER,
 BRITISH COLUMBIA

DRAWING:
 RENDERING OF
 LANE VIEW
 LOOKING EAST

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DATE: 21 APRIL 2015
 SCALE: NO SCALE
 DRAWN BY: GRT
 CHKD BY:
 JOB NO.
 DRAWING NO.

A06



SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT SUMMARY

LEGAL DESCRIPTION: LOT 4, BLOCK 34, DISTRICT LOT 430, NEW WESTMINSTER DISTRICT, PLAN 2103
CIVIC ADDRESS: 6410 BAY STREET, WEST VANCOUVER, B.C.
ZONE: RD2- DUPLEX DWELLING ZONE 2
LOT AREA: 6,103.00 sq. ft. = 561.0 sq. m.

PROJECT DESCRIPTION:

	PERMITTED/REQUIRED	PROPOSED
PRINCIPAL BUILDING		
BUILDING HEIGHT:	25.00 ft. (7.62 m)	24.94 ft. (7.60 m)
SETBACKS:	FRONT: 24.94 ft. (7.6 m) SIDE: 4.94 ft. (1.52 m) REAR: 24.86 ft. (7.6 m)	25.10 ft. (7.65 m) S.E. 5.60 ft. (1.73 m)/ N.W. 5.60 ft. (1.73 m) 34.06 ft. (11.91 m)
FLOOR AREA:	(5) FSR x 6,103.00 sq. ft. = 3,051.5 sq. ft.	3,040.32 sq. ft. (44.95 % FSR)
ABOVE GRADE FLOOR AREA:		
MAIN FLOOR x 2 UNITS	N/A	1,785.66 sq. ft. (842.83 sq. ft. x 2 UNITS)
UPPER FLOOR x 2 UNITS	N/A	1,262.66 sq. ft. (631.33 sq. ft. x 2 UNITS)
GARAGE x 2 UNITS (441.36 sq. ft. EXEMPT FROM FSR)	N/A	0.00 sq. ft. (220 sq. ft. x 2 UNITS - 441.36 sq. ft.)
TOTAL	3,051.5 sq. ft.	3,040.32 sq. ft.
BELOW GRADE FLOOR AREA:		
BASEMENT x 2 UNITS (EXEMPT FROM FSR CALCULATIONS)	N/A	1,785.66 sq. ft. (842.83 sq. ft. x 2 UNITS)
ROOF DECK AREA:	N/A	374.0 sq. ft. (2nd FLOOR 184.5 sq. ft. x 2 UNITS) 522.34 sq. ft. (2nd FLOOR 261.41 sq. ft. x 2 UNITS) 401.44 sq. ft.
BUILDING DEPTH:	N/A	53.5 ft. (16.31 m)
SECONDARY SUITE		
FLOOR AREA:		
MINIMUM ALLOWED FLOOR AREA 20 sq. m.	215.30 sq. ft.	N/A
MAXIMUM ALLOWED FLOOR AREA 90 sq. m. OR 40% OF THE TOTAL FLOOR AREA, WHICHEVER IS LESS	460.85 sq. ft.	112.26 sq. ft.
ACCESSORY BUILDINGS		
BUILDING HEIGHT:	12.14 ft. (3.7 m)	12.01 ft. (3.66 m)
SETBACKS:	SIDE: 0.0 ft. (0.0 m) REAR: 3.94 ft. (1.2 m) FROM PRINCIPAL BLDG.: 14.76 ft. (4.5 m)	S.E. 14.01 ft. (4.27 m)/ N.W. 14.01 ft. (4.27 m) 4.06 ft. (1.24 m) 15.0 ft. (4.57 m)
FLOOR AREAS:		
GARAGE x 2 UNITS	N/A	440.00 sq. ft. (220.00 sq. ft. x 2 UNITS)
SITE COVERAGE		
PRINCIPAL & ACCESSORY BLDGS.	2,441.20 sq. ft. (40 %)	2,250.17 sq. ft. (37.56 %)
IMPERMEABLE AREA:		
SIDEWALKS, STAIRS & PATIOS	N/A	1,870.40 sq. ft. (30.65 %)
RETAINING WALLS, GARDEN WALLS & PLANTERS	N/A	464.04 sq. ft. (7.61 %)
DRIVEWAY APRON	N/A	191.84 sq. ft. (3.14 %)
TOTAL	N/A	2,531.33 sq. ft. (41.48 %)

PRINCIPAL BUILDING - AVERAGE NATURAL GRADE CALCULATIONS

WALL SECTION	AVERAGE GRADE (FT.)	LENGTH	Y
A-B	(21.84 + 28.25) / 2 = 28.05	4.17 ft.	257.22
B-C	(28.25 + 28.35) / 2 = 28.30	3.0 ft.	84.90
C-D	(28.35 + 24.14) / 2 = 28.24	20.33 ft.	584.34
D-E	(24.14 + 24.10) / 2 = 24.12	3.0 ft.	86.36
E-F	(24.10 + 24.44) / 2 = 24.30	4.17 ft.	268.88
F-G	(24.44 + 21.83) / 2 = 28.11	42.0 ft.	1205.82
G-H	(21.83 + 21.65) / 2 = 21.74	6.0 ft.	166.74
H-I	(21.65 + 21.34) / 2 = 21.52	4.0 ft.	110.28
I-J	(21.34 + 21.34) / 2 = 21.31	1.33 ft.	36.40
J-L	(21.34 + 26.88) / 2 = 21.11	11.33 ft.	307.16
J2-B	(26.88 + 26.83) / 2 = 26.86	1.33 ft.	35.72
J3-J4	(26.83 + 26.31) / 2 = 26.60	11.33 ft.	301.88
J4-K	(26.31 + 26.32) / 2 = 26.35	1.33 ft.	35.05
K-L	(26.32 + 26.40) / 2 = 26.36	4.0 ft.	105.44
L-N	(26.40 + 26.10) / 2 = 26.25	6.0 ft.	157.50
N-A	(26.10 + 21.84) / 2 = 26.41	42.0 ft.	1132.74
TOTALS		175.33 ft.	4,875.58

TOTAL Y / TOTAL PERIMETER LENGTH = AVERAGE NATURAL GRADE
4,875.58 / 175.33 ft. = 27.80 ft.

PRINCIPAL BUILDING - AVERAGE FINISH GRADE CALCULATIONS

WALL SECTION	AVERAGE GRADE (FT.)	LENGTH	Y
A-B	(21.84 + 21.84) / 2 = 21.84	4.17 ft.	255.24
B-C	(21.84 + 21.84) / 2 = 21.84	3.0 ft.	83.52
C-D	(21.84 + 21.84) / 2 = 21.84	20.33 ft.	565.94
D-E	(21.84 + 21.84) / 2 = 21.84	3.0 ft.	83.52
E-F	(21.84 + 21.84) / 2 = 21.84	4.17 ft.	255.24
F-G	(21.84 + 21.84) / 2 = 21.84	42.0 ft.	1164.28
G-H	(21.84 + 21.84) / 2 = 21.84	6.0 ft.	167.04
H-I	(21.84 + 21.84) / 2 = 21.84	4.0 ft.	111.36
I-J	(21.84 + 21.84) / 2 = 21.84	1.33 ft.	37.03
J-L	(11.12 + 11.12) / 2 = 11.12	11.33 ft.	200.17
J2-B	(21.84 + 21.84) / 2 = 21.84	1.33 ft.	37.03
J3-J4	(11.12 + 11.12) / 2 = 11.12	11.33 ft.	200.17
J4-K	(21.84 + 21.84) / 2 = 21.84	1.33 ft.	37.03
K-L	(21.84 + 21.84) / 2 = 21.84	4.0 ft.	111.36
L-N	(21.84 + 21.84) / 2 = 21.84	6.0 ft.	167.04
N-A	(21.84 + 21.84) / 2 = 21.84	42.0 ft.	1164.28
TOTALS		175.33 ft.	4,651.60

TOTAL Y / TOTAL PERIMETER LENGTH = AVERAGE FINISH GRADE
4,651.60 / 175.33 ft. = 26.53 ft.

GARAGE BUILDING - AVERAGE NATURAL GRADE CALCULATIONS

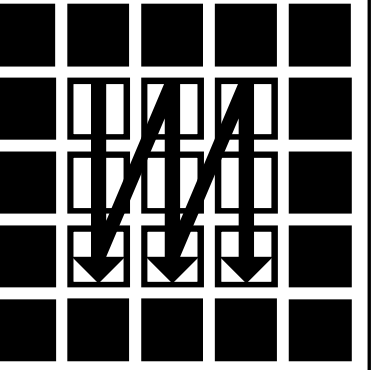
WALL SECTION	AVERAGE GRADE (FT.)	LENGTH	Y
A-B	(30.12 + 30.88) / 2 = 30.50	22.0 ft.	671.00
B-C	(30.88 + 24.34) / 2 = 30.14	20.0 ft.	602.80
C-D	(24.34 + 28.96) / 2 = 24.80	22.0 ft.	641.96
D-A	(28.96 + 30.12) / 2 = 29.54	20.0 ft.	590.80
TOTALS		84.0 ft.	2,506.56

TOTAL Y / TOTAL PERIMETER LENGTH = AVERAGE NATURAL GRADE
2,506.56 / 84.0 ft. = 29.84 ft.

GARAGE BUILDING - AVERAGE FINISH GRADE CALCULATIONS

WALL SECTION	AVERAGE GRADE (FT.)	LENGTH	Y
A-B	(30.71 + 31.21) / 2 = 30.96	22.0 ft.	681.12
B-C	(31.21 + 31.60) / 2 = 31.41	20.0 ft.	628.20
C-D	(31.60 + 31.00) / 2 = 31.35	22.0 ft.	689.70
D-A	(31.00 + 30.71) / 2 = 30.86	20.0 ft.	617.20
TOTALS		84.0 ft.	2,617.22

TOTAL Y / TOTAL PERIMETER LENGTH = AVERAGE FINISH GRADE
2,617.22 / 84.0 ft. = 31.16 ft.



WIEDEMANN ARCHITECTURAL DESIGN

Revisions	By
MAY 16, 2017	GRT
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NOV. 13, 2017	GRT

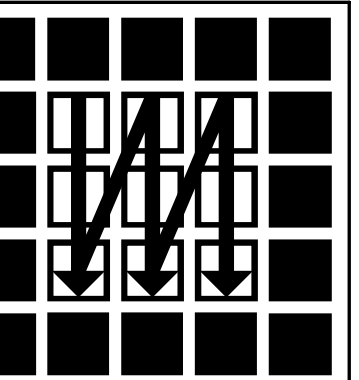
1595 West 3rd Avenue
2nd Floor
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Cell: (604) 313-4241
Office: (604) 739-0799
Fax: (604) 739-0733

PROJECT:

ADDRESS:
6478 BAY ST.
WEST VANCOUVER,
BRITISH COLUMBIA

DRAWING:
PROPOSED SITE PLAN,
GENERAL NOTES &
PROJECT SUMMARY

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.
DATE: 02 DEC 2016
SCALE: 1/4" = 1'-0"
DRAWN BY: GRT
CHKD BY:
JOB NO.
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WIEDEMANN ARCHITECTURAL DESIGN

Revisions	By
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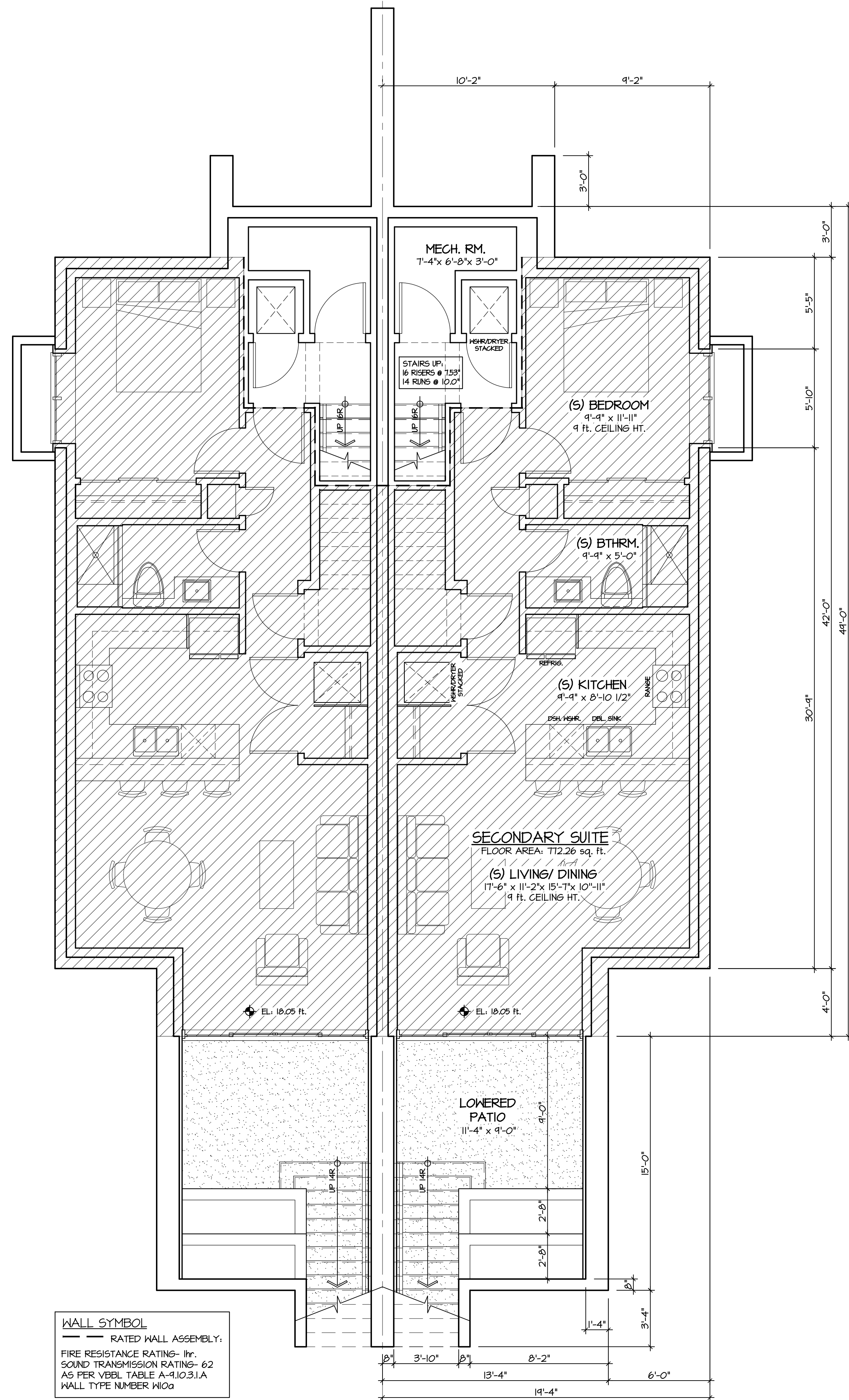
ADDRESS:
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DRAWING:
 PROPOSED
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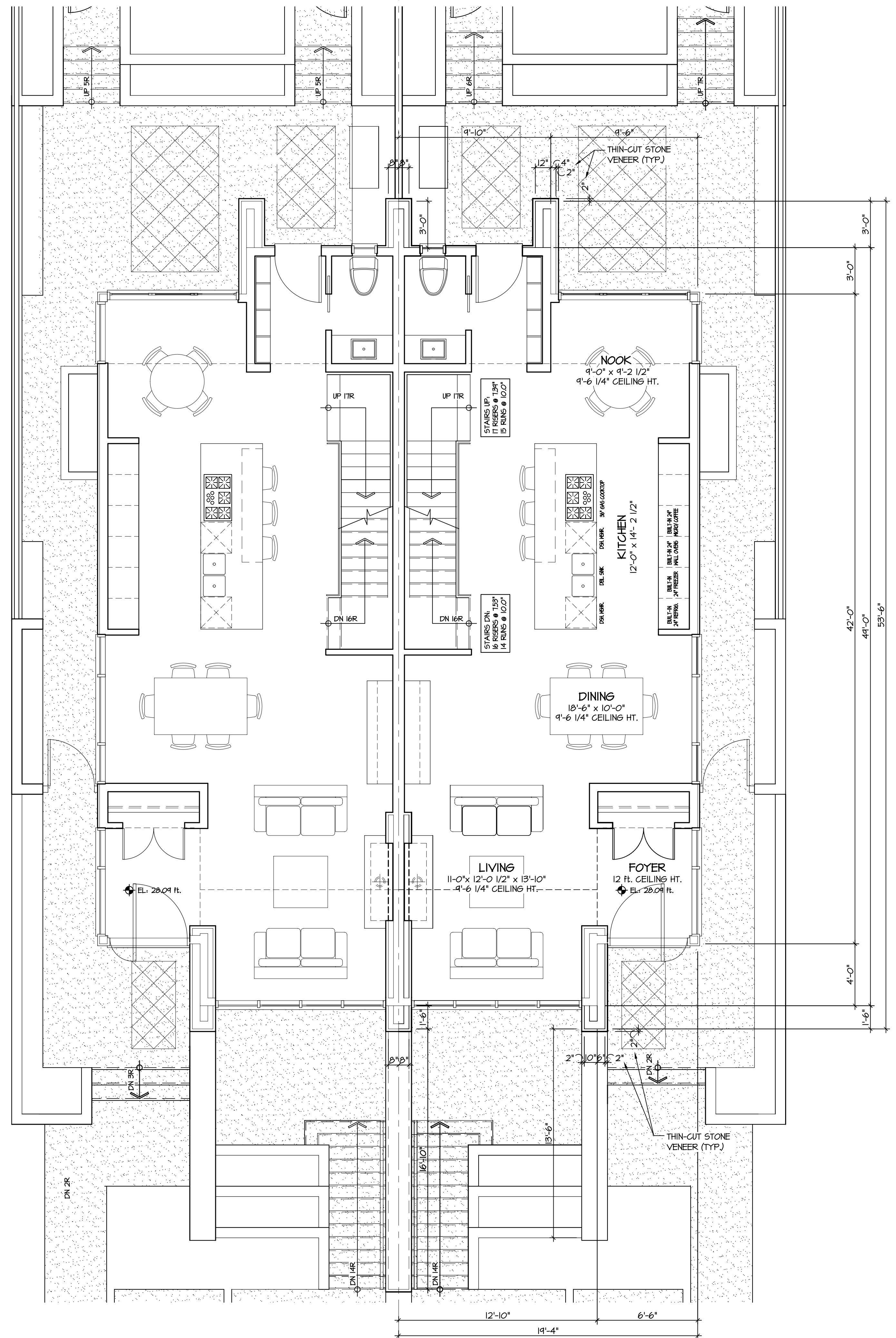
A15



WALL SYMBOL
 — RATED WALL ASSEMBLY:
 FIRE RESISTANCE RATING= 1hr.
 SOUND TRANSMISSION RATING= 62
 AS PER VEBL TABLE A-110.31.A
 WALL TYPE NUMBER W10a

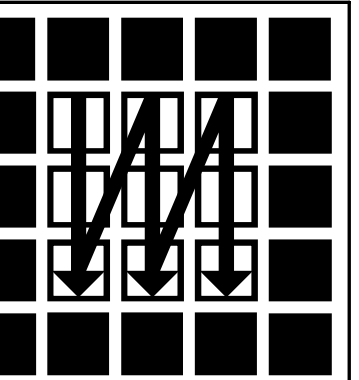
UNIT A- BASEMENT FLOOR PLAN
 PRINCIPAL RESIDENCE : 120.51 sq. ft.
 SECONDARY SUITE : 712.26 sq. ft.
 TOTAL FLOOR AREA: 842.83 sq. ft.

UNIT B- BASEMENT FLOOR PLAN
 PRINCIPAL RESIDENCE : 120.51 sq. ft.
 SECONDARY SUITE : 712.26 sq. ft.
 TOTAL FLOOR AREA: 842.83 sq. ft.

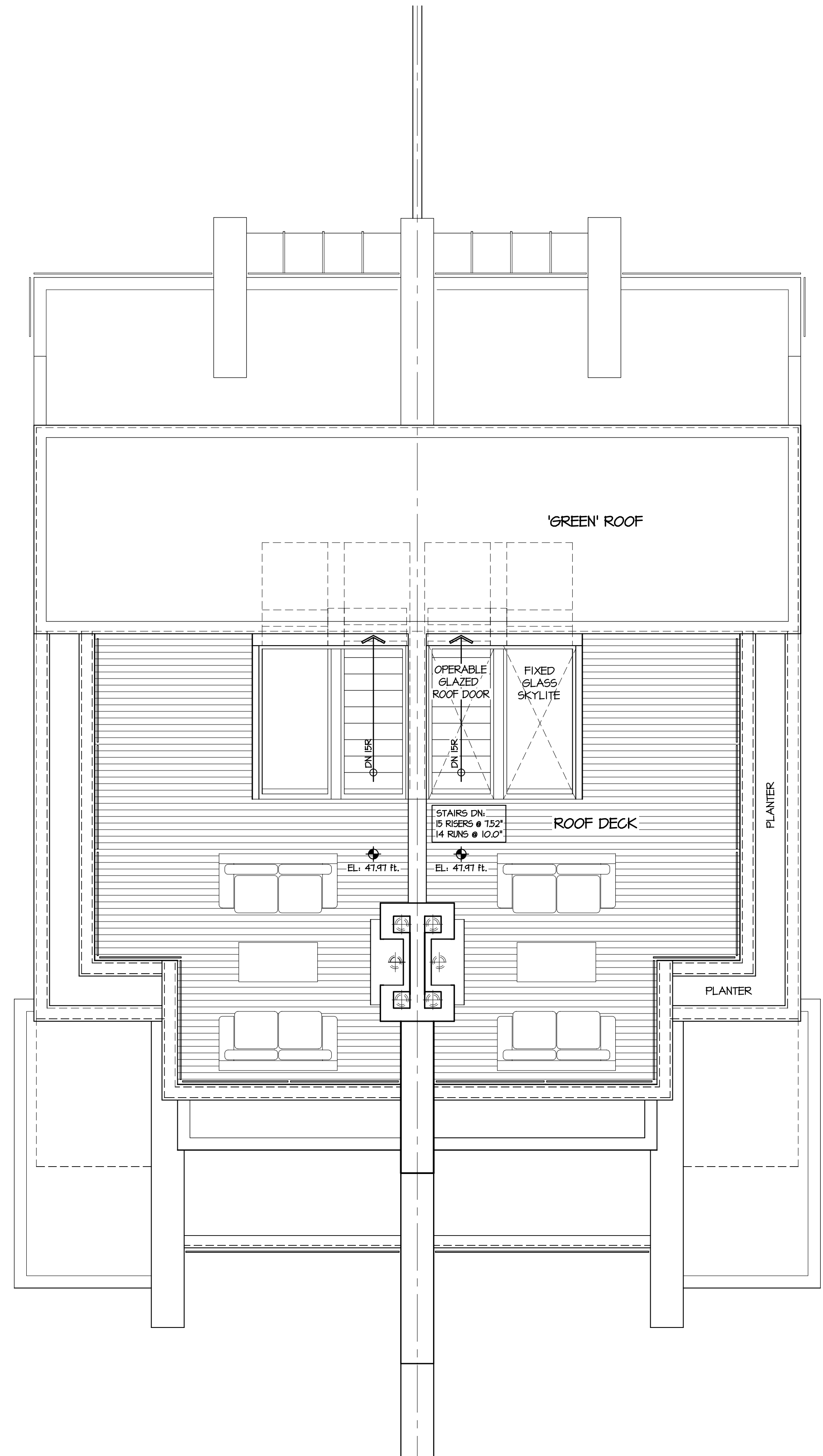
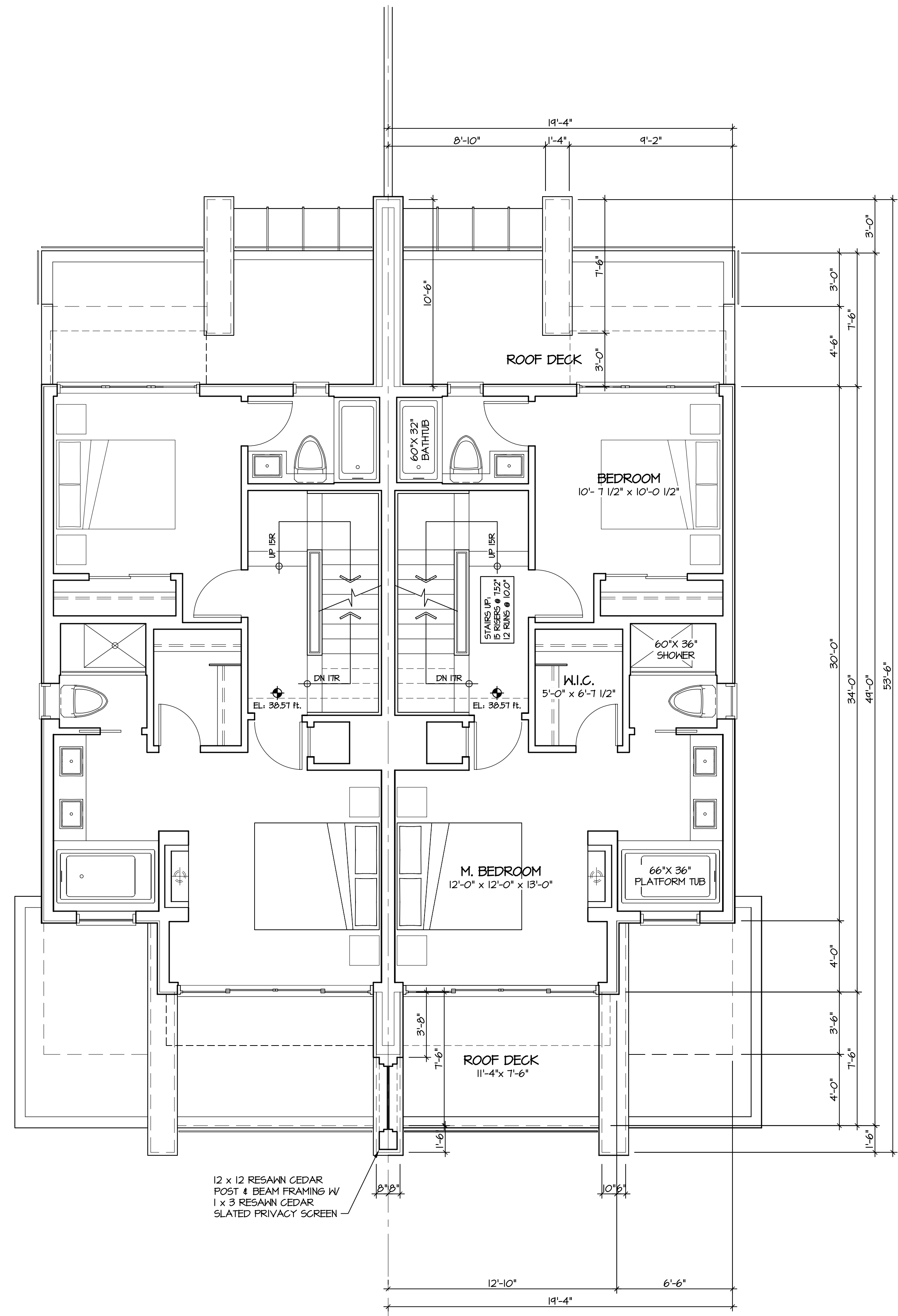


UNIT A- MAIN FLOOR PLAN
 FLOOR AREA: 842.83 sq. ft.

UNIT B- MAIN FLOOR PLAN
 FLOOR AREA: 842.83 sq. ft.



WIEDEMANN ARCHITECTURAL DESIGN



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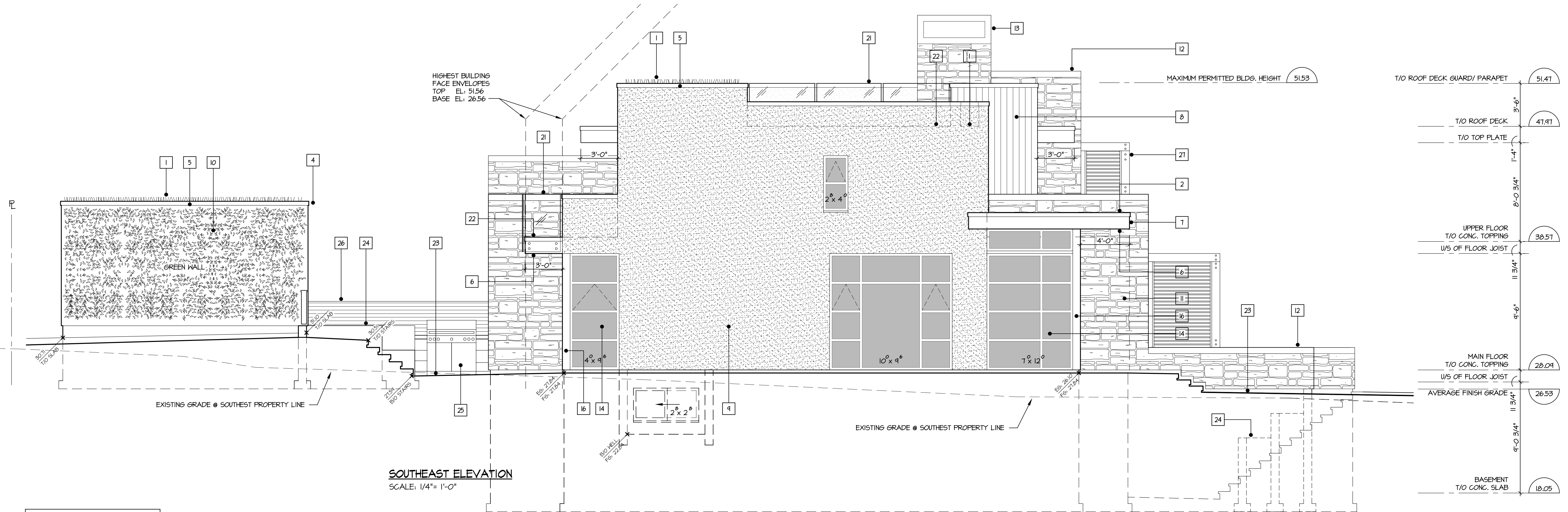
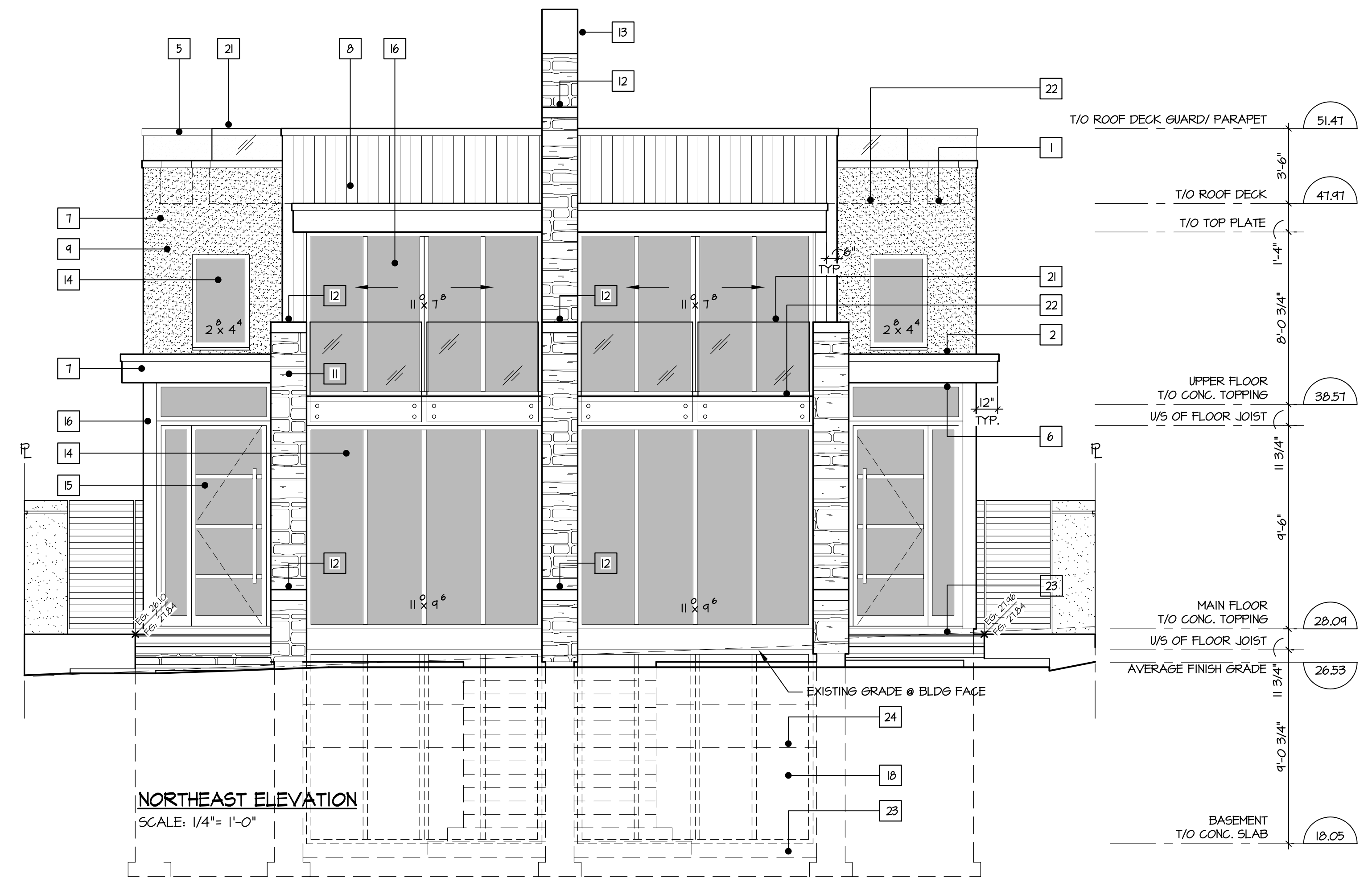
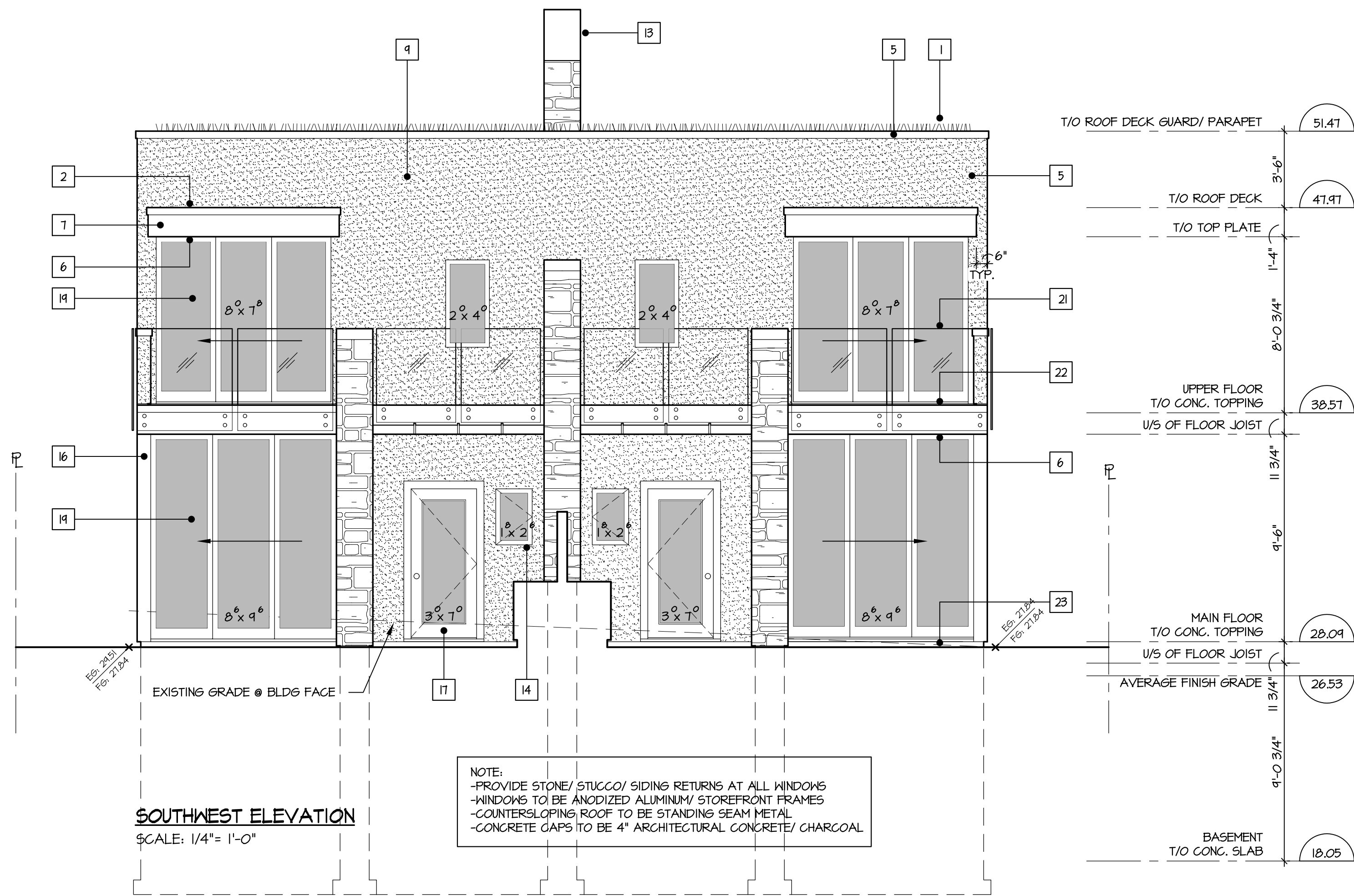
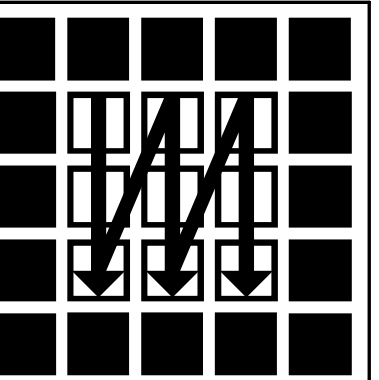
PROJECT:

ADDRESS:
6478 BAY ST.
WEST VANCOUVER,
BRITISH COLUMBIA

DRAWING:
PROPOSED
UPPER & ROOF DECK
FLOOR PLANS

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

DATE: 02 DEC 2016
SCALE: 1/4" = 1'-0"
DRAWN BY: GRT
CHKD BY:
JOB NO.
DRAWING NO.



MATERIAL LEGEND

1 'GREEN' ROOF (TYP)	5 4" FOLDED SEAM METAL PARAPET CAP FLASHING (TYP)	9 STUCCO (TYP)	13 DECORATIVE CHIMNEY CAP (TYP)	17 GLASS ENTRY DOOR (ALUMINUM/ STOREFRONT FRAME) TYP.	21 FRAMELESS 42 HT. TEMP. GLASS GUARD (FACE MOUNTED) TYP.	25 BUILT-IN BARBEQUE W/ CEMENTIOUS COUNTER (TYP)
2 BUILT-UP ROOF MEMBRANE (TYP)	6 CEDAR SOFFIT (TYP)	10 'GREEN' WALL (TYP)	14 ALUMINUM WINDOW (STOREFRONT FRAME) TYP.	18 ALUMINUM SLIDING GLASS PATIO DOOR (TYP)	22 PRECAST CONCRETE DECK PAVERS ON RUBBER LEVELING MOUNTS	26 WOOD PRIVACY FENCE (TYP)
3 STANDING SEAM METAL ROOFING (TYP)	7 FOLDED SEAM METAL FLASHINGS & FASCIAS (TYP)	11 THIN-CUT 'K2 STONE' (BASALT) VANNER (TYP)	15 PIVOT GLASS ENTRY DOOR (ALUMINUM/ STOREFRONT FRAME) TYP.	19 ALUMINUM NANA-WALL FOLDING GLASS PATIO DOOR (TYP)	23 CONCRETE PATIO, WALKS & STEPS	27 12 x 12 RESAWN CEDAR POST & BEAM FRAMING 1 x 3 RESAWN CEDAR SLATED PRIVACY SCREEN
4 ROOF SCUPPERS W/ CHAIN DOWNSPOUTS (TYP)	8 METAL WALL CLADDING (TYP)	12 4" CONCRETE CAPS (CHARCOAL) TYP.	16 ALUMINUM CLAD CORNER TRIM (MATCH STOREFRONT FRAME)	20 GLASS PANEL OVERHEAD GARAGE DOOR (TYP)	24 ARCHITECTURAL CONCRETE PLANTER/ RETAINING WALL	

FEB. 21, 2018	GRT
NOV. 13, 2017	Revisions By
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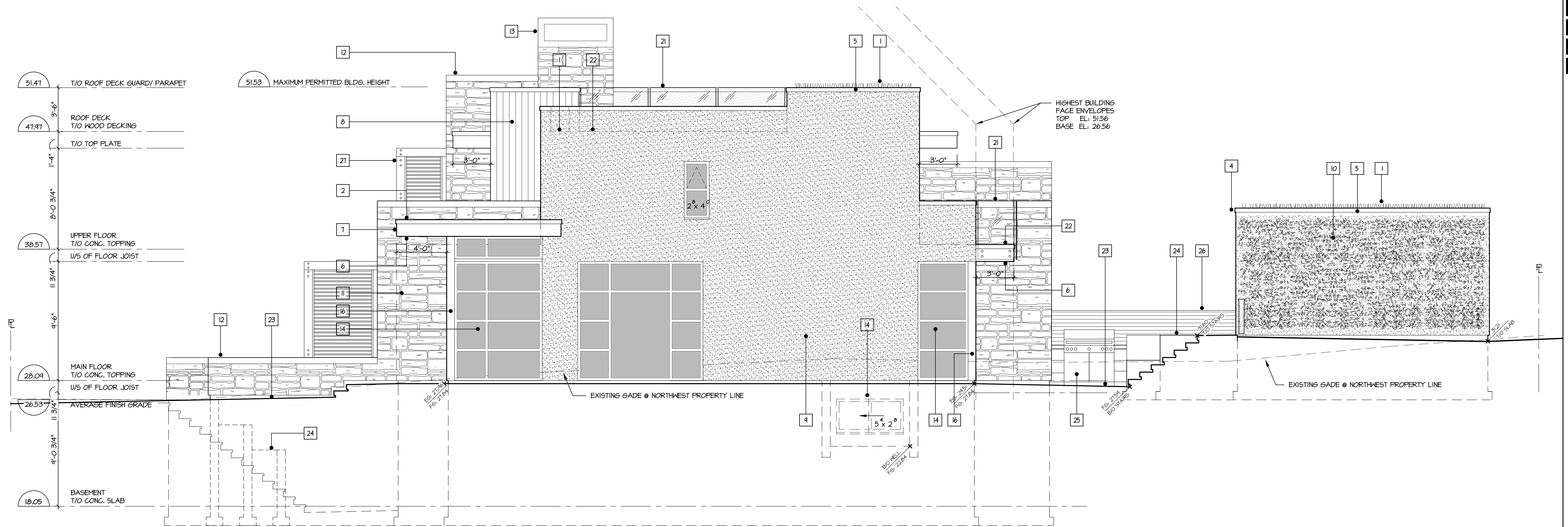
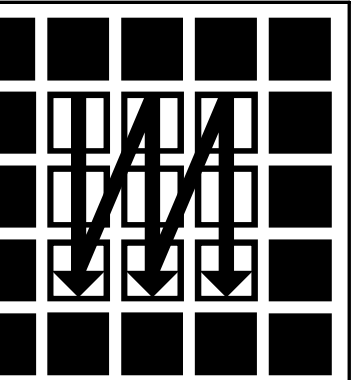
PROJECT:
1595 West 3rd Avenue
-2nd Floor
Vancouver, B.C. V6J 1J8
Cell: (604) 313-4241
Office: (604) 739-0799
Fax: (604) 739-0733

ADDRESS:
6478 BAY ST.
WEST VANCOUVER,
BRITISH COLUMBIA

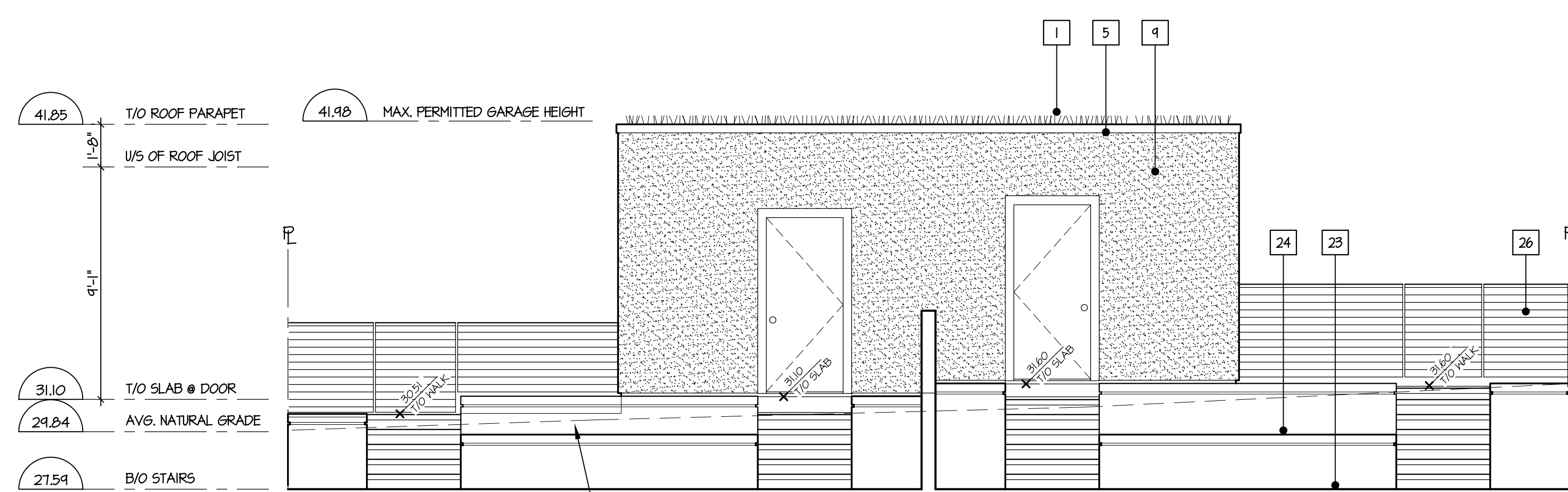
DRAWING:
SOUTHWEST,
NORTHEAST &
SOUTHEAST
ELEVATIONS

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

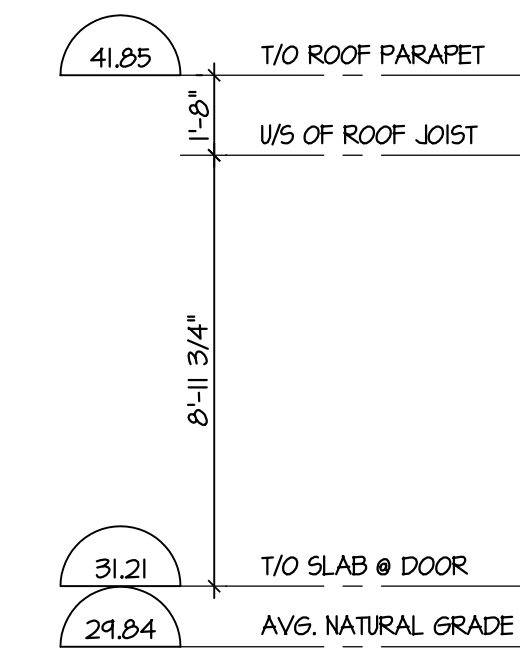
DATE: 02 DEC 2016
SCALE: 1/4" = 1'-0"
DRAWN BY: GRT
CHKD BY:
JOB NO.
DRAWING NO.



NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

1 'GREEN' ROOF (TYP.)	5 4" FOLDED SEAM METAL PARAPET CAP FLASHING (TYP.)	9 STUCCO (TYP.)	13 DECORATIVE CHIMNEY CAP (TYP.)	17 GLASS ENTRY DOOR (ALUMINUM/ STOREFRONT FRAME) TYP.	21 FRAMELESS 42 HT. TEMP. GLASS GUARD (FACE MOUNTED) TYP.	25 BUILT-IN BARBEGUE W/ CEMENTIOUS COUNTER (TYP.)
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3 STANDING SEAM METAL ROOFING (TYP.)	7 FOLDED SEAM METAL FLASHINGS & FASCIAS (TYP.)	11 THIN-CUT 'K2' STONE (BASALT) VANNER (TYP.)	15 PIVOT GLASS ENTRY DOOR (ALUMINUM/ STOREFRONT FRAME) TYP.	19 ALUMINUM NANA-WALL FOLDING GLASS PATIO DOOR (TYP.)	23 CONCRETE PATIO, WALKS & STEPS	27 12 x 12 RESAWN CEDAR POST & BEAM FRAMING 1 x 3 RESAWN CEDAR SLATED PRIVACY SCREEN
4 ROOF SCUPPERS W/ CHAIN DOWNSPOUTS (TYP.)	8 METAL WALL CLADDING (TYP.)	12 4" CONCRETE CAPS (CHARCOAL) TYP.	16 ALUMINUM CLAD CORNER TRIM (MATCH STOREFRONT FRAME)	20 GLASS PANEL OVERHEAD GARAGE DOOR (TYP.)	24 ARCHITECTURAL CONCRETE PLANTER/ RETAINING WALL	

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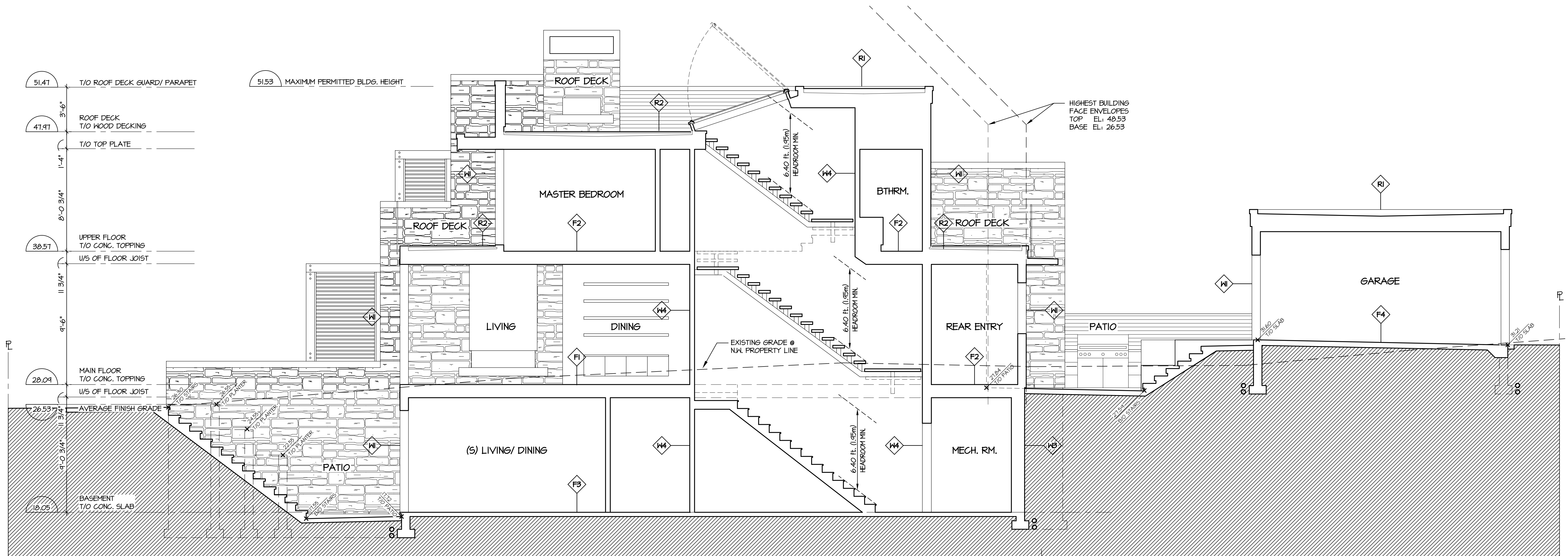
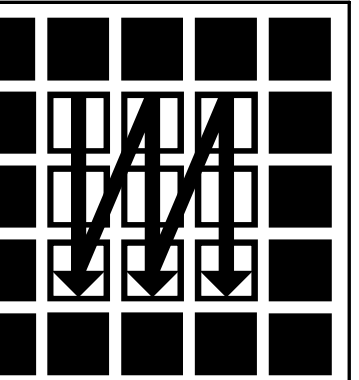
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DRAWING:

NORTHWEST,
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JOB NO.
DRAWING NO.



LONGITUDINAL SECTION A-A

SCALE: 1/4" = 1'-0"

R1 TYP. 'GREEN' ROOF ASSEMBLY

ORGANIC MATERIAL
FILTER/ DRAINAGE MAT
PROTECTION BOARD
WATERPROOF MEMBRANE (CARRY UP WALL & OVER CURB & DOOR SILL)
3/4" MARINE GRADE PLYWOOD T&G DECKING GLUED & SCREWNED TO
2 x CROSS PURLING (SLOPE MIN. 2% TO DRAIN)
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
MIN. R20 2 LB. ICYENNE SPRAY INSULATION
6 MIL POLY VAPOUR BARRIER
5/8" GYPSUM BOARD CEILING (PAINTED)

R2 TYP. ROOF DECK ASSEMBLY

16" x 16" x 1 1/2" CONC. PAVERS ON LEVELING PEDESTALS
PROTECTION BOARD
WATERPROOF MEMBRANE (CARRY UP WALL & OVER CURB & DOOR SILL)
3/4" MARINE GRADE PLYWOOD T&G DECKING GLUED & SCREWNED TO
2 x CROSS PURLING (SLOPE MIN. 2% TO DRAIN)
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
MIN. R20 2 LB. ICYENNE SPRAY INSULATION
6 MIL POLY VAPOUR BARRIER
5/8" GYPSUM WALLBOARD CEILING (PAINTED)

W1 TYP. EXTERIOR WALL ASSEMBLY

MEDIUM-DASH STUCCO
PAPER BACK LATH
3/4" (19 mm) AIR SPACE/
3/4" x 1 1/2" (19 mm x 38 mm) P.T. WOOD FURRING (VERTICAL)
2 LAYERS (MIN) 30 MINUTE BLDG. PAPER, FULLY LAPPED
1/2" PLYWOOD SHEATHING
2 x 6 OR 2 x 4 WALL STUDS @ 16" O.C. (SEE PLAN FOR LOCATIONS)
R20 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM BOARD (PAINTED)

W2 RATED INTERIOR WALL ASSEMBLY

NOTE:
PROVIDE MOISTURE RESISTANT BACKING FOR ALL WALLS
ADJACENT TO BATHTUBS & SHOWERS AS PER VBB 4.24.10.4.

FIRE RESISTANCE RATING - 15 HR.
SOUND TRANSMISSION RATINGS - 66
AS PER VBBL TABLE A-4.10.3.1.A WALL ASSEMBLY NUMBER W15a

W3 RATED INTERIOR WALL ASSEMBLY

FIRE RESISTANCE RATING - 1 HR.
SOUND TRANSMISSION RATING - 62
AS PER VBBL TABLE A-4.10.3.1.A WALL ASSEMBLY NUMBER W10a

2 ROWS 2 x 4 WALL STUDS EA. SPACED 16" O.C.
ON SEPARATE 2 x 4 PLATES SET APART 25mm
3 1/2" ABSORPTIVE MATERIAL ON EACH SIDE
2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE

W4 TYP. INTERIOR WALL ASSEMBLY

2 x 4 (OR 2 x 6) WALL STUDS @ 16" O.C.
1/2" GYPSUM WALLBOARD BOTH SIDES (PAINTED)

NOTES:
1) PROVIDE MOISTURE RESISTANT BACKING FOR ALL WALLS
ADJACENT TO BATHTUBS & SHOWERS AS PER VBB 4.24.10.4.
2) PROVIDE SOUND ABSORPTIVE BATTS TO WALLS ENCLOSING
BATHROOMS

W5 INSULATED BASEMENT WALL ASSEMBLY

PLASTIC DRAINAGE COMPOSITE
FULLY DAMP-PROOFED AS PER VBB 4.13.4.3 AND 4.13.3.3.
CONCRETE FOUNDATION WALL (SEE STRUCTURAL)
1/2" AIR SPACE
2 x 4 TREATED FRAMING @ 16" O.C.
R12 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALLBOARD (PAINTED)

F1 RATED FLOOR ASSEMBLY

FIRE RESISTANCE RATING - 1 HR.
SOUND TRANSMISSION RATINGS - 54
AS PER VBBL TABLE A-4.10.3.1.B FLOOR ASSEMBLY NUMBER F5c

FINISH FLOORING ON
1 1/2" LIGHT WEIGHT CONCRETE TOPPING (w/ RADIANT HEATING)
ON 6 MIL POLY BASE SEPARATION SHEET
3/4" PLYWOOD T&G DECKING GLUED & SCREWNED TO JOISTS
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
SOUND INSULATION BATTS @ BATHROOMS LOCATIONS
2 LAYERS 5/8" GYPSUM WALLBOARD CEILING

F2 TYP. FLOOR ASSEMBLY

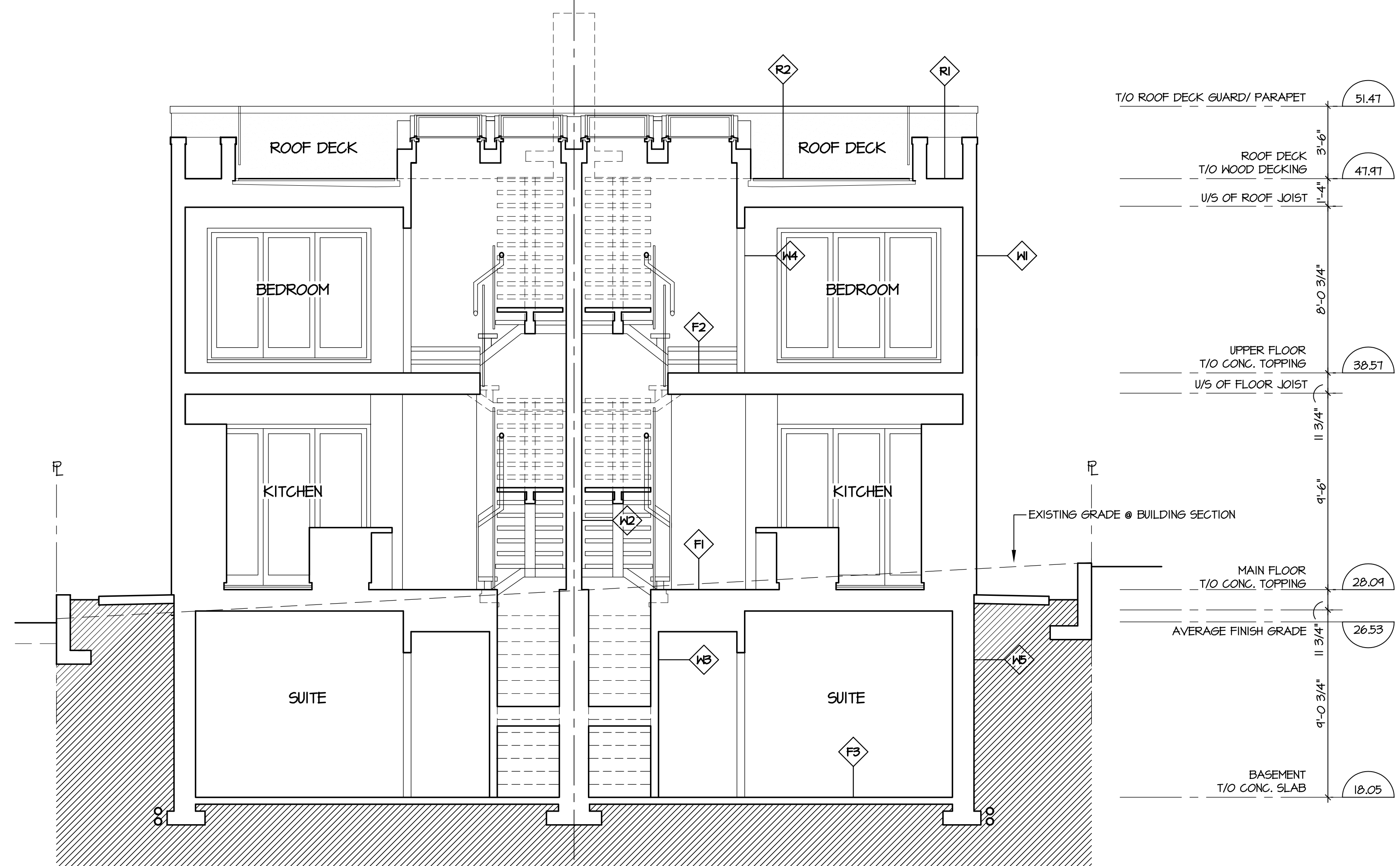
FINISH FLOORING ON
1 1/2" LIGHT WEIGHT CONCRETE TOPPING (w/ HYDRONIC HEATING)
ON 6 MIL POLY BASE SEPARATION SHEET
3/4" PLYWOOD T&G DECKING GLUED & SCREWNED TO JOISTS
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
SOUND INSULATION BATTS @ BATHROOMS LOCATIONS
2 LAYERS 5/8" GYPSUM WALLBOARD CEILING (PAINTED)

F3 BASEMENT FLOOR ASSEMBLY

FINISH FLOORING ON
4" CONCRETE SLAB ON GRADE (w/ RADIANT HEATING)
6 MIL POLY VAPOUR BARRIER
R12 RIGID INSULATION UNDER ENTIRE SLAB
5" COMPACTED SAND ON UNDISTURBED BEARING SOIL

F4 GARAGE FLOOR ASSEMBLY

4" CONCRETE SLAB ON GRADE (SEE STRUCTURAL)
6 MIL POLY VAPOUR BARRIER
R12 RIGID INSULATION BY MIN. 24" WIDE AT EXTERIOR PERIMETER
5" COMPACTED SAND ON UNDISTURBED BEARING SOIL



CROSS SECTION B-B

SCALE: 1/4" = 1'-0"

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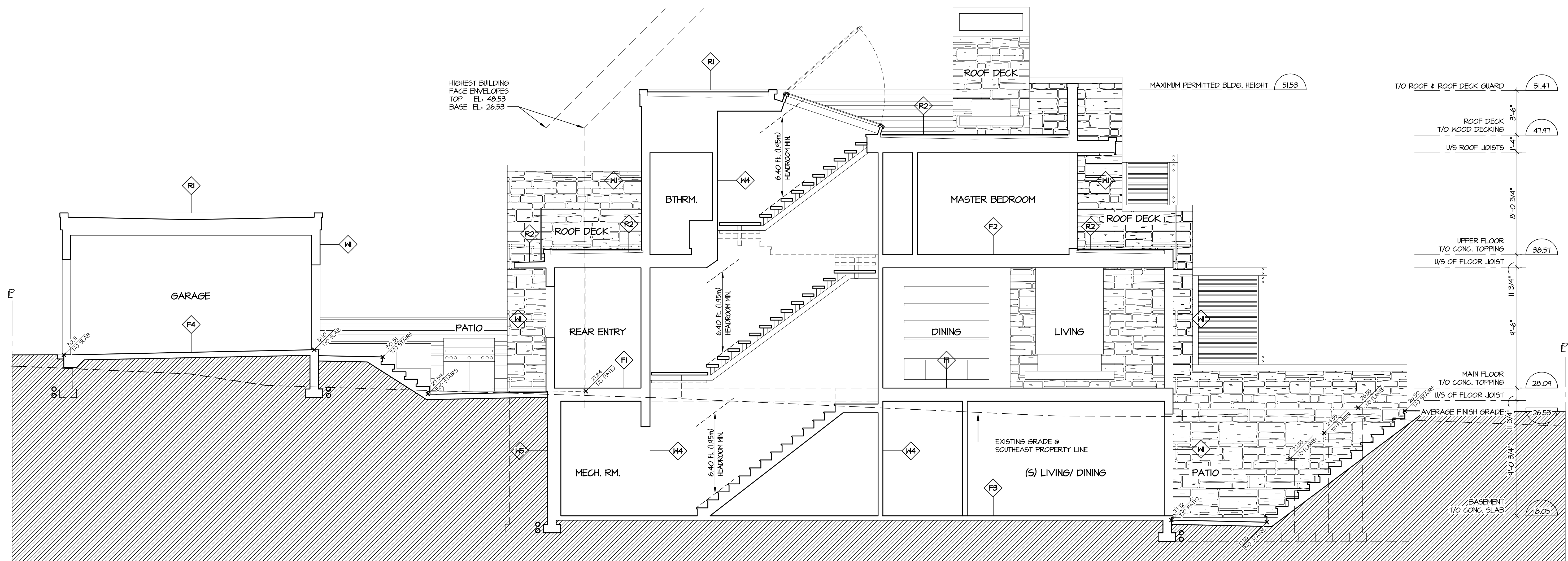
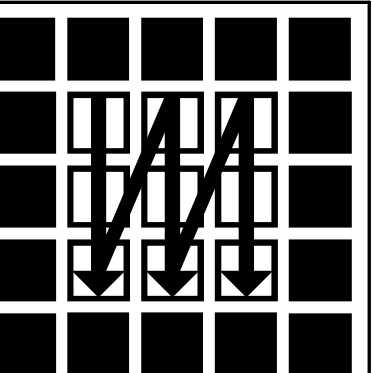
PROJECT:

ADDRESS:
6478 BAY ST.
WEST VANCOUVER,
BRITISH COLUMBIA

DRAWING:
PROPOSED
LONGITUDINAL
SECTION A-A &
CROSS SECTION B-B

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JOB NO.
DRAWING NO.



LONGITUDINAL SECTION C-C
SCALE: 1/4" = 1'-0"

- R1 TYP. 'GREEN' ROOF ASSEMBLY**
ORGANIC MATERIAL
FILTER/ DRAINAGE MAT
PROTECTION BOARD
WATERPROOF MEMBRANE (CARRY UP WALL & OVER CURB & DOOR SILL)
3/4" MARINE GRADE PLYWOOD T&G DECKING GLUED & SCREWED TO
2 x CROSS PURLING (SLOPE MIN. 2% TO DRAIN)
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
MIN. R28 2 LB. ICYENNE SPRAY INSULATION
6 MIL POLY VAPOUR BARRIER
5/8" GYPSUM BOARD CEILING (PAINTED)
- R2 TYP. ROOF DECK ASSEMBLY**
16" x 16" x 1 1/2" CONC. PAVERS ON LEVELING PEDESTALS
PROTECTION BOARD
WATERPROOF MEMBRANE (CARRY UP WALL & OVER CURB & DOOR SILL)
3/4" MARINE GRADE PLYWOOD T&G DECKING GLUED & SCREWED TO
2 x CROSS PURLING (SLOPE MIN. 2% TO DRAIN)
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
MIN. R28 2 LB. ICYENNE SPRAY INSULATION
6 MIL POLY VAPOUR BARRIER
5/8" GYPSUM WALLBOARD CEILING (PAINTED)
- W1 TYP. EXTERIOR WALL ASSEMBLY**
MEDIUM-DASH STUCCO
PAPER BACK LATH
3/4" (19 mm) AIR SPACE/
3/4" x 1 1/2" (19 mm x 38 mm) P.T. WOOD FURRING (VERTICAL)
2 LAYERS (MIN) 30 MINUTE BLDG. PAPER, FULLY LAPPED
1/2" PLYWOOD SHEATHING
2 x 6 OR 2 x 4 WALL STUDS @ 16" O.C. (SEE PLAN FOR LOCATIONS)
R20 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM BOARD (PAINTED)

NOTE:
PROVIDE MOISTURE RESISTANT BACKING FOR ALL WALLS
ADJACENT TO BATHTUBS & SHOWERS AS PER VBB 9.2410.4.
- W2 RATED INTERIOR WALL ASSEMBLY**
FIRE RESISTANCE RATING - 1.5 HR.
SOUND TRANSMISSION RATING - 66
AS PER VBBL TABLE A-4.10.3.1.A WALL ASSEMBLY NUMBER W150

2 ROWS 2 x 4 WALL STUDS EA. SPACED 16" O.C.
ON SEPARATE 2 x 4 PLATES SET APART 25mm
3 1/2" ABSORPTIVE MATERIAL ON EACH SIDE
2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE
- W3 RATED INTERIOR WALL ASSEMBLY**
FIRE RESISTANCE RATING - 1 HR.
SOUND TRANSMISSION RATING - 62
AS PER VBBL TABLE A-4.10.3.1.A WALL ASSEMBLY NUMBER W100

2 ROWS 2 x 4 WALL STUDS EA. SPACED 16" O.C.
STAGGERED ON COMMON 2 x 6 PLATE
3 1/2" ABSORPTIVE MATERIAL ON ONE SIDE
RESILIENT METAL CHANNELS ON ONE SIDE SPACED 16" O.C.
2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD EA. SIDE

- W4 TYP. INTERIOR WALL ASSEMBLY**
2 x 4 (OR 2 x 6) WALL STUDS @ 16" O.C.
1/2" GYPSUM WALLBOARD BOTH SIDES (PAINTED)

NOTES:
1) PROVIDE MOISTURE RESISTANT BACKING FOR ALL WALLS
ADJACENT TO BATHTUBS & SHOWERS AS PER VBB 9.2410.4.
2) PROVIDE SOUND ABSORPTIVE BATTS TO WALLS ENCLOSING
BATHROOMS
- W5 INSULATED BASEMENT WALL ASSEMBLY**
PLASTIC DRAINAGE COMPOSITE
FULLY DAMPROOFED AS PER VBB 9.13.4.3 AND 9.13.3.3.
CONCRETE FOUNDATION WALL (SEE STRUCTURAL)
1/2" AIR SPACE
2 x 4 TREATED FRAMING @ 16" O.C.
R12 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALLBOARD (PAINTED)
- F1 RATED FLOOR ASSEMBLY**
FIRE RESISTANCE RATING - 1 HR.
SOUND TRANSMISSION RATING - 54
AS PER VBBL TABLE A-4.10.3.1.B FLOOR ASSEMBLY NUMBER F50

FINISH FLOORING ON
1 1/2" LIGHT WEIGHT CONCRETE TOPPING (W/ RADIANT HEATING)
ON 6 MIL POLY BASE SEPARATION SHEET
3/4" PLYWOOD T&G DECKING GLUED & SCREWED TO JOISTS
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
SOUND INSULATION BATTS
2 LAYERS 5/8" GYPSUM WALLBOARD CEILING
- F2 TYP. FLOOR ASSEMBLY**
FINISH FLOORING ON
1 1/2" LIGHT WEIGHT CONCRETE TOPPING (W/ HYDRONIC HEATING)
ON 6 MIL POLY BASE SEPARATION SHEET
3/4" PLYWOOD T&G DECKING GLUED & SCREWED TO JOISTS
TJI FLOOR JOISTS (SEE STRUCT. DWGS.)
SOUND INSULATION BATTS @ BATHROOMS LOCATIONS
5/8" GYPSUM WALLBOARD CEILING (PAINTED)
- F3 BASEMENT FLOOR ASSEMBLY**
FINISH FLOORING ON
4" CONCRETE SLAB ON GRADE (W/ RADIANT HEATING)
6 MIL POLY VAPOUR BARRIER
R12 RIGID INSULATION UNDER ENTIRE SLAB
5" COMPACTED SAND ON UNDISTURBED BEARING SOIL
- F4 GARAGE FLOOR ASSEMBLY**
4" CONCRETE SLAB ON GRADE (SEE STRUCTURAL)
6 MIL POLY VAPOUR BARRIER
R12 RIGID INSULATION BY MIN. 24" WIDE AT EXTERIOR PERIMETER
5" COMPACTED SAND ON UNDISTURBED BEARING SOIL

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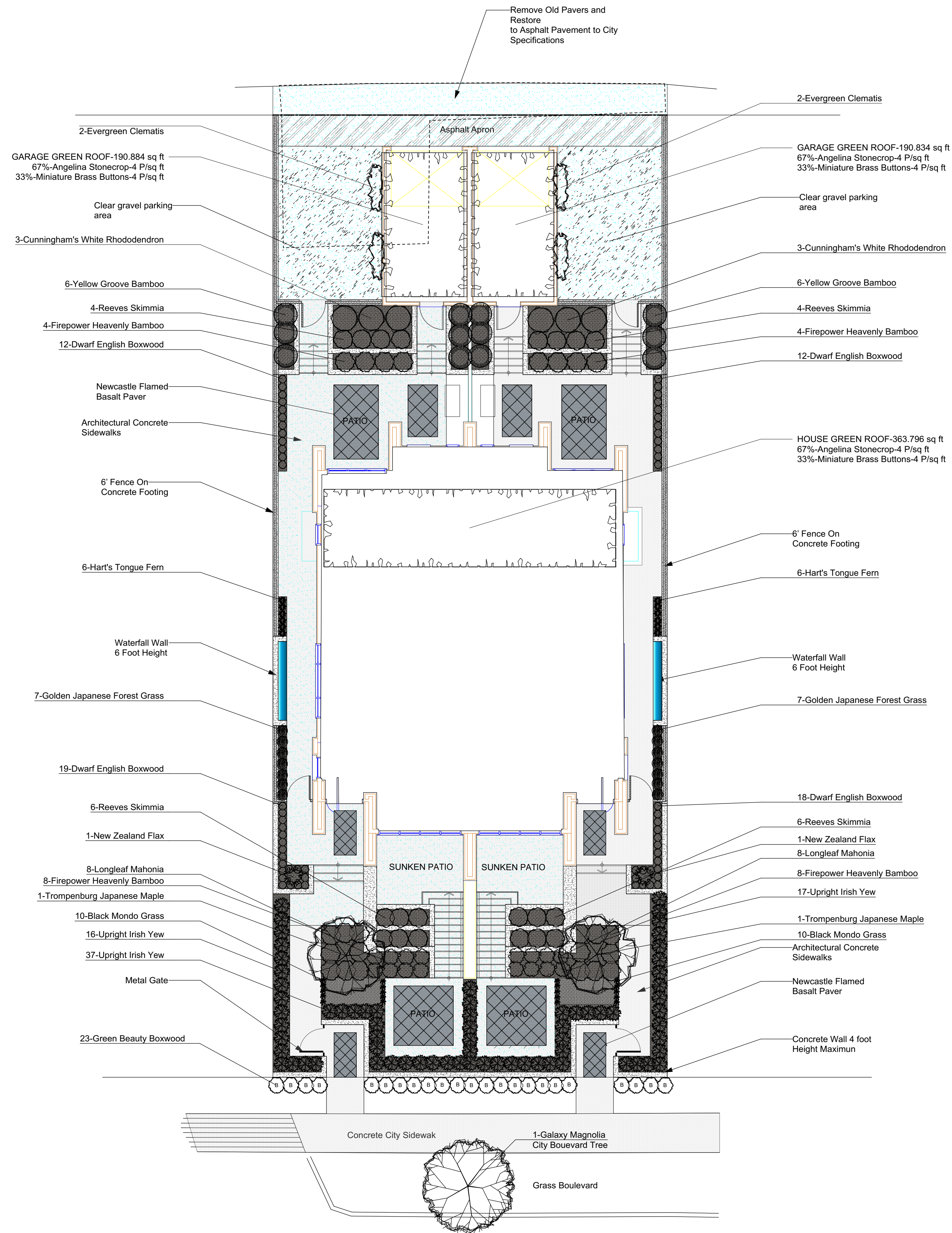
6478 BAY ST.
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DRAWING:

PROPOSED
LONGITUDINAL
SECTION C-C

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DATE:	02 DEC 2016
SCALE:	1/4" = 1'-0"
DRAWN BY:	GRT
CHKD BY:	
JOB NO.	
DRAWING NO.	A20



Bay Street
Site Plan
Scale: 1/8" = 1'-0"

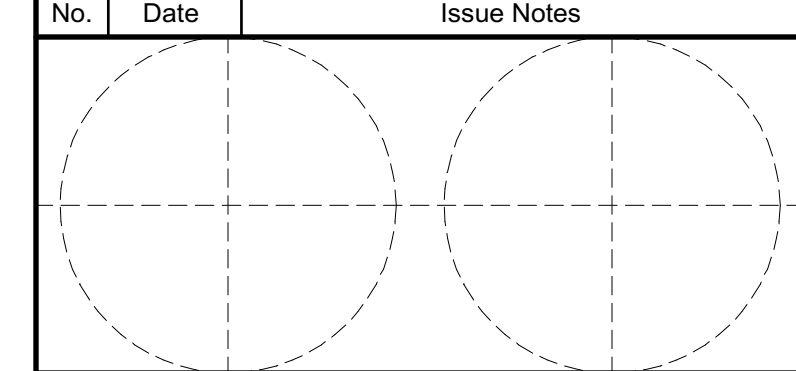
Plant List - 6478 BAY STREET

	Qty	Common Name	Botanical Name	Scheduled Size	Comments
Conifers					
	70	Upright Irish Yew	Taxus baccata 'Fastigiata'	1.8m B&B	Upright Narrow Form; 1.5' O/C
Groundcover					
	20	Black Mondo Grass	Ophiopogon planiscapus 'Nigrescens'	100cm POT	
	982	Miniature Brass Buttons	Leptinella gruveri	100cm POT	
Ornamental Grass-Bamboos					
	14	Golden Japanese Forest Grass	Hakonechloa macra 'Aureola'	#1	
	12	Yellow Groove Bamboo	Phyllostachys aureosulcata	3m.	
Perennials					
	1996	Angelina Stonecrop	Sedum reflexum 'Angelina' (S. rupestre) P.P.A.F.	100cm. POT	
	12	Hart's Tongue Fern	Asplenium scolopendrium	#2	
Shrubs					
	6	Cunningham's White Rhododendron	Rhododendron x 'Cunningham's White' (H-2)	#5	
	61	Dwarf English Boxwood	Buxus sempervirens 'Suffruticosa'	#2	
	4	Evergreen Clematis	Clematis armandii	#2 STAKED	
	24	Firepower Heavenly Bamboo	Nandina domestica 'Firepower'	#5	
	23	Green Beauty Boxwood	Buxus microphylla japonica 'Green Beauty'	#7	full rounded form
	16	Longleaf Mahonia	Mahonia nervosa	#2	
	2	New Zealand Flax	Phormium tenax	#3	
	20	Reeves Skimmia	Skimmia reevesiana	#5	
Trees					
	1	Galaxy Magnolia	Magnolia x 'Galaxy'	3.5m.	City Boulevard Tree
	2	Trompenburg Japanese Maple	Acer palmatum 'Trompenburg'	3.0m.	SPECIMEN GRADE



No.	Date	Appr	Revision Notes
1	17-3-23		REVISIONS FROM CITY REVIEW
2	17-11-16		FRONT HEDGE CHANGE & PARKING SURFACE CHANGE

A 16-7-8 ARCHITECT/CLIENT REVIEW



Design Firm
Larry Fiddler, Landscape Designer
591-8288 207A St.
Langley, B.C. V2Y 0L2
604.816-7712 larryfiddler@telus.net

Company
WIEDEMANN ARCHITECTURAL DESIGN
4382 West 10th Avenue
Vancouver, B.C. V6R 2H7

Project Title
**PROPOSED DUPLEX
6478 BAY STREET
WEST VANCOUVER, B.C.**

Sheet Title
LANDSCAPE PLAN

Project Manager	Project ID	45/16
Drawn By	Scale	1/8" = 1' - 0"
Reviewed By	Sheet No.	L1
Date		of
CAD File Name		1