



MEMORANDUM

Date: June 23, 2021 Our File: 1010-20-19-109
 To: Mayor and Council
 Cc: Jim Bailey, Director of Planning and Development Services and
 Michelle McGuire, Senior Manager of Current Planning and Urban Design
 From: Erika Syvokas, Community Planner
 Re: **Proposed Zoning Amendment to Allow Subdivision of 6779 Dufferin Avenue**

This memo brings forward an update to the zoning variances which are required in order to permit the creation of the new lots proposed through the subdivision of 6779 Dufferin Avenue and to accommodate the proposed development.

Specifically, the following updated variances to section 120.26 of the Zoning Bylaw – “Minimum building site conditions for new lots” are required:

Zoning Bylaw Section	Zoning Bylaw Requirement	Proposed Lot A (Marine Drive)	Proposed Lot B (Dufferin Avenue)	Required Variance
Section 120.26 Minimum building site conditions for new lots	<p>Each lot must be able to accommodate a rectangular floor plate for a building having:</p> <p>a) a min area of 186 m² or 20% of the lot area whichever is less, and</p> <p>b) a minimum dimension of 9.1 m on each side</p> <p>Lot A – 508.9 m² x 0.20 = 101.8 m²/ 1,095.8 sq. ft.</p> <p>Lot B – 530.6 m² x 0.20 = 106.1 m² / 1,142.1 sq. ft.</p>	<p>a) 68.4 m²/ 736.3 sq. ft.</p> <p>b) 4.04 m</p>	<p>a) 67.3 m²/ 724.4 sq. ft.</p> <p>b) 4.07 m</p>	<p>Lot A –</p> <p>a) 33.4 m²/ 359.5 sq. ft.</p> <p>b) 5.06 m</p> <p>Lot B –</p> <p>a) 38.8 m²/ 417.6 sq. ft.</p> <p>b) 5.03 m</p>

4265110v1

Date: June 23, 2021

Page: 2

To: Mayor and Council

From: Erika Syvokas, Community Planner

Re: Proposed Zoning Amendment to Allow Subdivision of 6779 Dufferin Avenue

The development variance permit has been updated accordingly with the proposed change highlighted.

Attachment

A. Revised DVP 19-109



District of West Vancouver
Proposed
Development Variance Permit No. 19-109

REGISTERED OWNER: Brodie David Gunn and Carmen Elizabeth Gunn

THIS DEVELOPMENT VARIANCE PERMIT APPLIES TO:

CIVIC ADDRESSES: 6779 Dufferin Avenue

LEGAL DESCRIPTION: Lot 2 BLOCK 23 DISTRICT LOT 430 PLAN 9925
 PID: 009-294-520
 (the 'Lands')

1. For the purposes of this Development Variance Permit, the Lands shall be developed in substantial accordance with the subdivision plan approved by Council, attached as **Schedule A**, and the drawings attached, approved by Council, attached as **Schedule B**, and specifically in compliance with the regulations and variances listed hereunder.
2. Notwithstanding the conditions of this, the Approving Officer may determine that the subdivision plan conforms to the Development Variance Permit if there is a minor difference between the Development Variance Permit and Subdivision Plan that does not materially affect the intent of the plans attached to this Development Variance Permit or is a technical requirement of the subdivision.
3. This Development Variance Permit is issued and varies and supplements the District's Zoning Bylaw No. 4662, 2010, as amended, to allow construction of the buildings and structures described in the attached **Schedule B** as follows:
 - (i) Section 204.04 (Minimum site width and depth) site width is varied from 22.9 m minimum to 21.94 m for Lot A (Marine Drive) and 22.79 m for Lot B (Dufferin Avenue).
 - (ii) Section 204.07 (Front Yard) is varied to allow the required rear yard to be varied from 9.1 m to 7.5 m for both lots.
 - (iii) Section 204.08 (Rear Yard) is varied to allow the required rear yard to be varied from 9.1 m to 7.5 m for both lots.
 - (iv) Section 120.26 (Minimum building site conditions for new lots) is varied to enable infill lots on the subject Land which can accommodate a rectangular floor plate on proposed Lot A (Marine Drive) and Lot B (Dufferin Avenue) that is less than the lesser of 186 square metres or 20% of the lot size and that has a minimum dimension of less than 9.1 metres on each side.
4. The proposed structures must generally be constructed and finished in

substantial compliance with attached **Schedule B**.

5. The minimum energy performance of the proposed new dwellings shall conform to a minimum Step 4 with Low-Carbon Energy System pathway or Step 5, as defined by the British Columbia Energy Step Code. Compliance with the required step shall be demonstrated through provision of sufficient documentation to the satisfaction of the Chief Building Official.
6. All trees proposed for retention on public boulevard adjacent to the property and trees on neighbouring properties which have their critical root zone located on or within the building site as indicated in **Schedule C** shall be protected during construction and site works.
7. Prior to commencing any works onsite, building demolition or issuance of a building permit, the Owners shall install measures to protect the trees identified under 3 above in accordance with the District's Tree Protection Specifications.
8. No construction activity may occur within the tree protection barrier extent to the extent that those activities are monitored by an ISA certified arborist for the duration of any required construction activities impeded by the tree protection barrier.
9. In addition to Section 130.15 - Site Landscaping of the Zoning Bylaw, prior to issuance of building occupancy, landscaping of the Lands shall be installed to the satisfaction of the Director of Planning and Development Services and include the following:
 - a) exclude invasive plants identified in the District's Invasive Plan Strategy; and
 - b) a minimum of 20 new trees having a minimum height of 3 m (coniferous) or 5 cm diameter (deciduous) at time of planting from the list of approved tree species identified in the Tree Bylaw.
10. Prior to final approval of the subdivision of the Lands, the Owners shall pay a security in the amount of \$10,000 for the trees proposed to be retained and replaced.
11. This Development Variance Permit lapses if construction of the additions and renovations has not commenced, under an issued Building Permit, within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON [Date] .

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

FOR THE PURPOSES OF SECTION 2, THIS PERMIT IS ISSUED ON [Date] .

Schedules:

A – Proposed Subdivision Plan, prepared by 360 Land Surveying Ltd., dated October 31, 2018

B – Architectural Plans, prepared by Brad Dore, Dore Design & Media Solutions Inc. dated May 26, 2021

C – Tree Retention and Removal plan

**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF
LOT 2 BLOCK 23 DISTRICT LOT 430
GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 9925**

1" = 80' ALL DISTANCES ARE IN FEET. THE INTENDED PLOT SIZE OF THIS PLAN IS 102mm IN WIDTH BY 66mm IN HEIGHT IF COPIED WHEN PLOTTED AT A SCALE OF 1" = 80'

BCGS: 920034
PID: 009-294-520
CIVIC ADDRESS: 6779 DUFFERIN AVENUE, WEST VANCOUVER, BC

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED.
OFFSETS TO PROPERTY LINES ARE RADIAL OR PERPENDICULAR TO BOUNDARIES UNLESS SHOWN OTHERWISE.

ELEVATIONS SHOWN ON ARE GEODETIC AND DERIVED FROM GNSS OBSERVATIONS TO METRO-VANCOUVER REAL TIME ACTIVE CONTROL NETWORK DERIVED GEODETIC CONTROL MONUMENT #67884 (BCVEL) (PANEL ELEV. = 36.220M)

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT (DISTRICT OF WEST VANCOUVER).

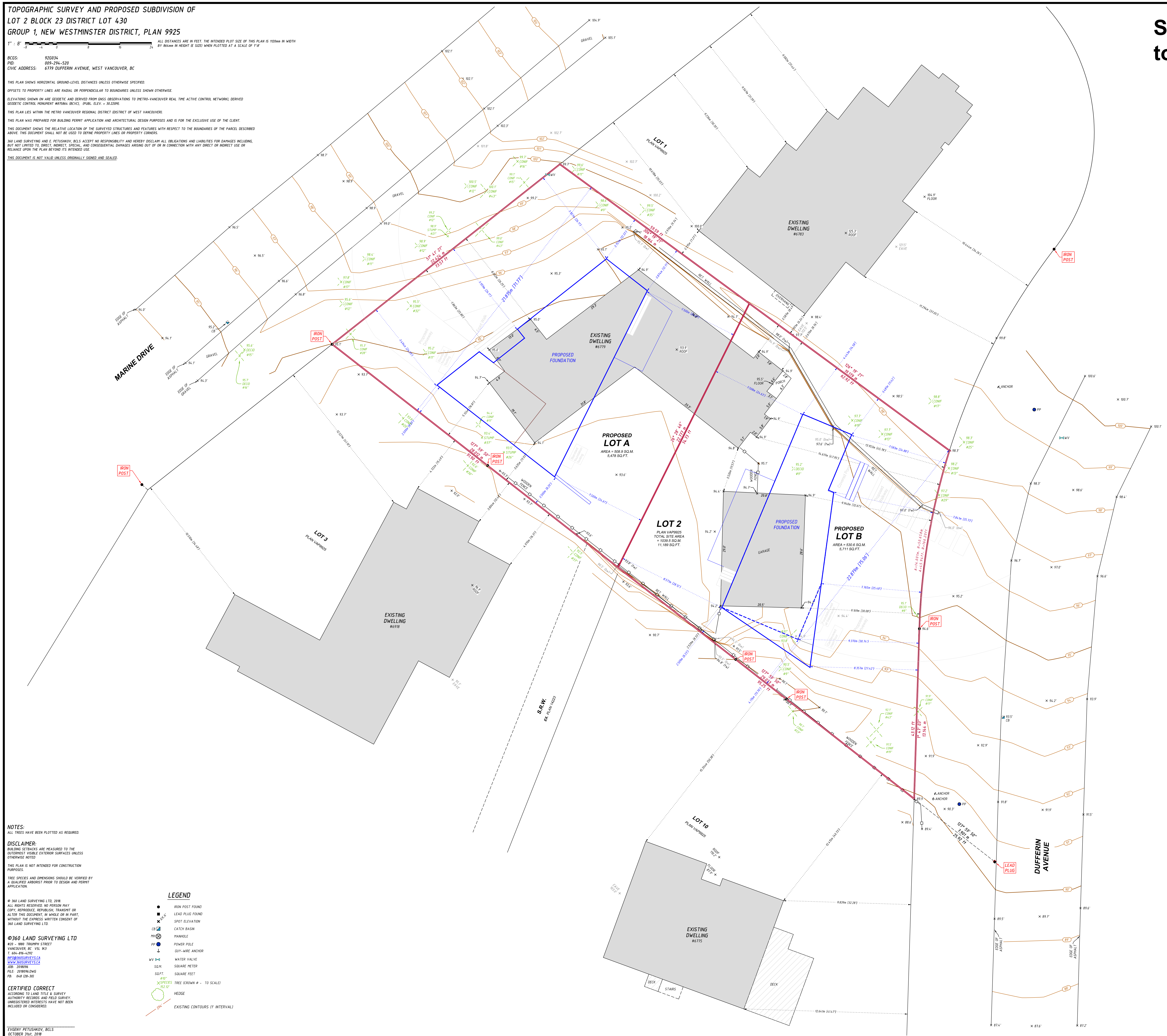
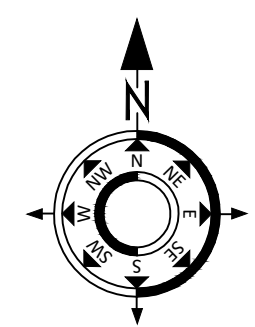
THIS PLAN WAS PREPARED FOR BUILDING PERMIT APPLICATION AND ARCHITECTURAL DESIGN PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE CLIENT.

THIS DOCUMENT SHOWS THE RELATIVE LOCATION OF THE SURVEYED STRUCTURES AND FEATURES WITH RESPECT TO THE BOUNDARIES OF THE PARCEL DESCRIBED ABOVE. THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS.

WE, LAND SURVEYING AND E. PETUSHKOV, B.C.S., ACCEPT NO RESPONSIBILITY AND HEREBY DISCLAIM ALL OBLIGATIONS AND LIABILITIES FOR DAMAGES INCLUDING, BUT NOT LIMITED TO, DIRECT, INDIRECT, SPECIAL, AND CONSEQUENTIAL DAMAGES ARISING OUT OF OR IN CONNECTION WITH ANY DIRECT OR INDIRECT USE OR RELIANCE UPON THE PLAN BEYOND ITS INTENDED USE.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

**SCHEDULE A
to DVP 19-109**



NOTES:
ALL TREES HAVE BEEN PLOTTED AS REQUIRED.

DISCLAIMER:
BUILDING SETBACKS ARE MEASURED TO THE OUTERMOST FINISH EXTERIOR SURFACES UNLESS OTHERWISE NOTED.

THIS PLAN IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

TREE CHECKS AND DIMENSIONS SHOULD BE VERIFIED BY A QUALIFIED ARBORIST PRIOR TO DESIGN AND PERMIT APPLICATION.

© 2016 LAND SURVEYING LTD. 2016
ALL RIGHTS RESERVED. NO PERSON MAY COPY, REPRODUCE, REPUBLISH, TRANSMIT OR ALTER THIS DOCUMENT IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF 360 LAND SURVEYING LTD.

360 LAND SURVEYING LTD
#20 - 1888 TRUMPH STREET
VANCOUVER, BC V5L 1K3
T: 604-886-4292
WWW.360SURVEYS.CA
INFO@360SURVEYS.CA
JOB: 201804
FILE: 20180401
FD: 048 (28-30)

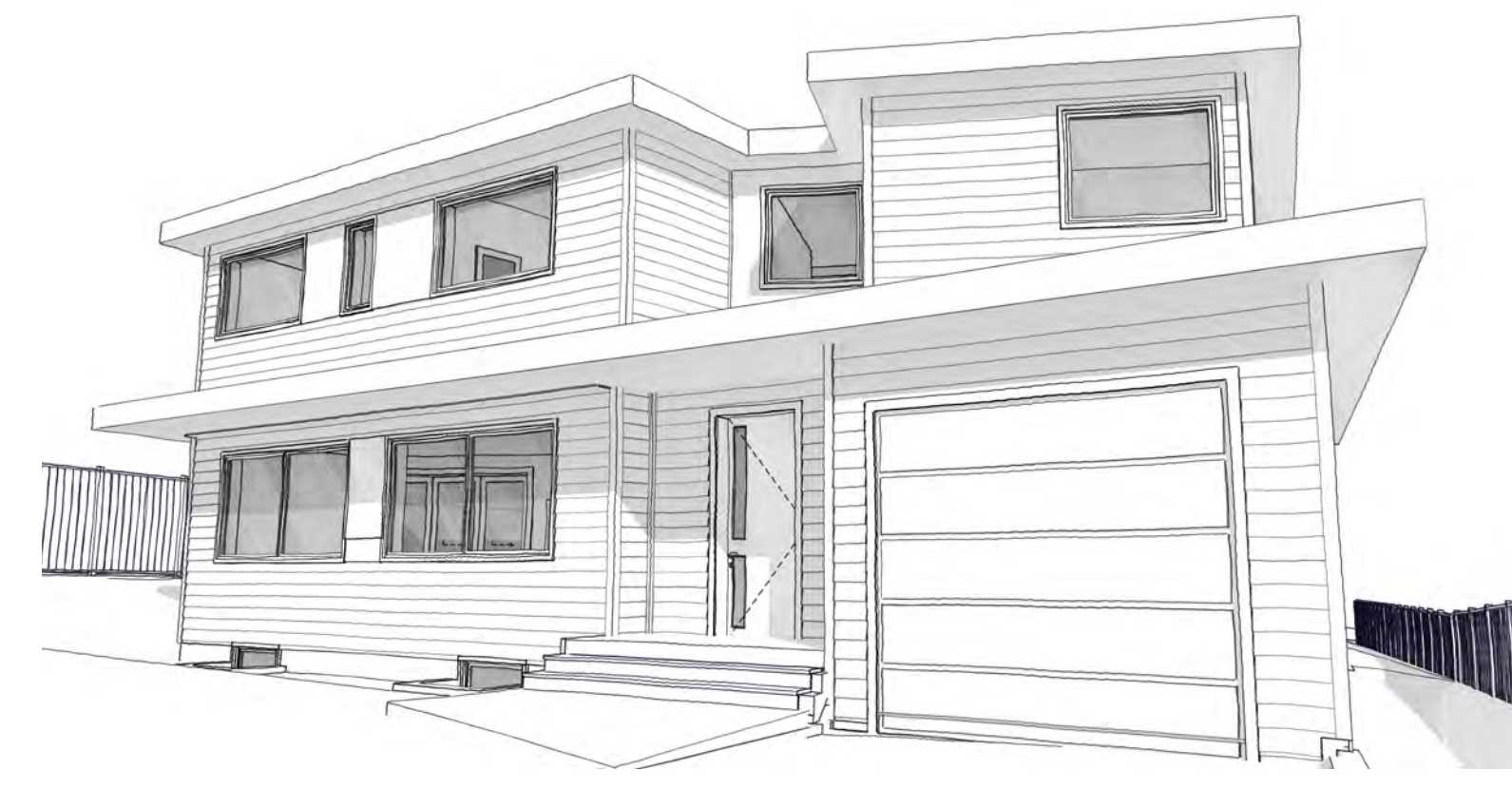
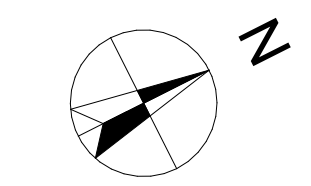
CERTIFIED CORRECT
ACCORDING TO LAND TITLE & SURVEY AUTHORITY RECORDS AND FIELD SURVEY. UNREGISTERED INTERESTS HAVE NOT BEEN INCLUDED OR CONSIDERED.

EUGENY PETUSHKOV, B.C.S.
OCTOBER 24th, 2018

LEGEND

●	IRON POST FOUND
■	LEAD PLUG FOUND
x	SPOT ELEVATION
CB	CATCH BASIN
PH	MANHOLE
PP	POWER POLE
↓	GUY-WIRE ANCHOR
WV	WATER VALVE
SQM	SQUARE METER
SQFT	SQUARE FEET
○	TREE (GROWN TO SCALE)
○	HEDGE
---	EXISTING CONTOURS (1' INTERVAL)

Subdivision 6779 Dufferin Avenue Proposed Marine Drive House



Average Finished Grade Calculation for Building and Structure Height						
Wall Section	Grade Start	Grade End	Average Grade	Wall Length	Y Value	
A-B	95.00	95.00	95.00	14.00	1330.00	
B-Bi	95.00	95.00	95.00	11.00	1045.00	
Bi-Ci	95.00	95.00	95.00	11.00	1045.00	
C-C	95.00	95.00	95.00	11.00	1045.00	
C-Cii	95.00	92.00	93.50	4.50	420.75	
Cii-Di	92.00	92.00	92.00	19.66	1806.72	
Di-D	92.00	95.00	93.50	4.50	420.75	
D-E	95.10	94.90	95.00	15.00	1425.00	
E-F	94.90	93.75	94.33	52.66	4967.15	
F-A	93.75	95.00	94.38	37.75	3562.66	
			94.27	181.07	17070.03	94.27
Main Floor Elevation - Average Grade				97.00	< 3 ft.	100%
					Basement Floor Area Excluded	100%
Above Grade Floor Area					1880	
Basement Floor Area					790	
Basement Area Excluded					100%	
Total Floor Area					1880	
120.29 High-Performance Step 4 @ 0.04					1805	

Project Summary

Proposal	Rezoning / Subdivision
Address	Marine Drive (6779 Dufferin)
Zoning	RS4

Lot Size		
Site width	Variance requested	71.96 ft. 21.93 m.
Site length		75.74 ft. 23.1 m.
Site Area	Variance requested	5,478 s.f. 509 m ²

ALLOWABLE

Site Coverage Sites < 664m ² @ 40%	2191 s.f.	204 m ²
Floor Area Ratio (sites 474m ² to 677m ²)	2551 s.f.	237 m ²

Building Heights

Maximum Building Height	25.0 ft.	7.62 m.
MaxStoreys(plusbsmt)	2	2
Highest Building Face	22.0 ft.	6.7 m.

Required Yards & Setbacks

Front Yard	25 ft.	7.5 m.
Rear Yard	25 ft.	7.5 m.
Side Yard Dwelling 2 full storeys 10%	7 ft.	2.19 m.
Combined Side Yards: 2 storeys 25% min. 4.50m (Step 4 -0.15m)	18 ft.	5.62 m.

PROPOSED

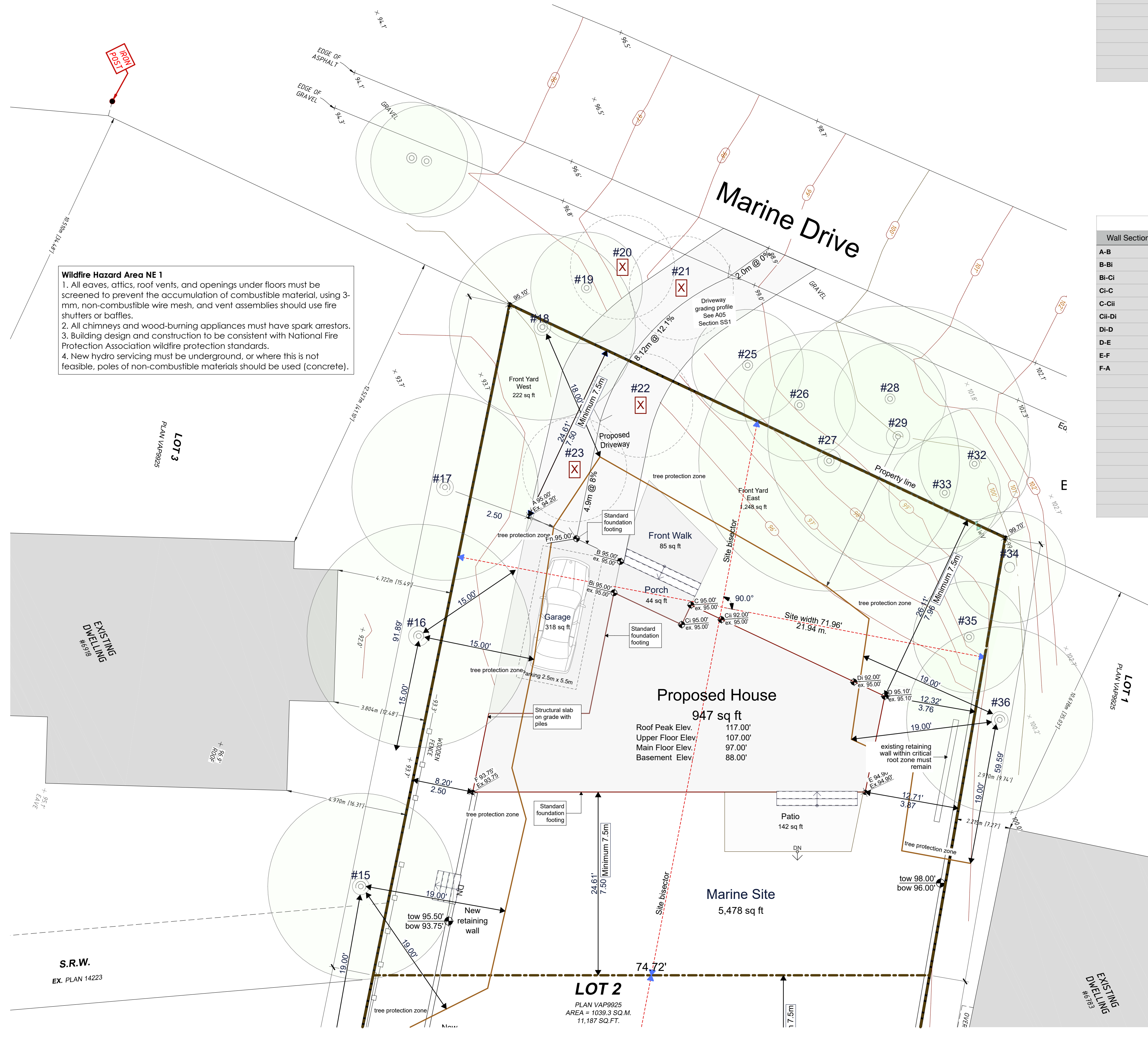
Site Coverage	1485 s.f.	138 m ²
Front Yard Permeable Surface Area	1660 s.f.	154 m ²
Floor Area	1880 s.f.	175 m ²
Floor Area FAR Step 4 High-Performance Buildings 4%	-75 s.f.	-7 m ²
	1805 s.f.	168 m ²

Building Heights

Building Height	22.1 ft.	6.7 m.
Storeys(plus bsmt)	2	2
Highest Building Face	21.8 ft.	6.6 m.

Required Yards & Setbacks

Front Yard	Variance requested	25 ft.	7.50 m.
Rear Yard	Variance requested	25 ft.	7.50 m.
Side Yard		8 ft.	2.50 m.
Combined Side Yards		21 ft.	6.26 m.



Wildfire Hazard Area NE 1
 1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
 2. All chimneys and wood-burning appliances must have spark arrestors.
 3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
 4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible materials should be used (concrete).

Marine Existing Grades

Average Existing Grade Calculation for Building and Structure Height						
Wall Section	Grade Start	Grade End	Average Grade	Wall Length	Y Value	
A-B	94.20	95.00	94.60	14.00	1324.40	
B-Bi	95.00	95.00	95.00	11.00	1045.00	
Bi-Ci	95.00	95.00	95.00	11.00	1045.00	
C-C	95.00	95.00	95.00	11.00	1045.00	
C-Cii	95.00	95.00	95.00	4.50	427.50	
Cii-Di	95.00	95.00	95.00	19.66	1867.70	
Di-D	95.00	95.10	95.05	4.50	427.73	
D-E	95.10	94.90	95.00	15.00	1425.00	
E-F	94.90	93.75	94.33	52.66	4967.15	
F-A	93.75	94.20	93.98	37.75	3547.56	
			94.80	181.07	17122.04	94.56
Main Floor Elevation 97.00 - Average Grade				97.00	< 3 ft.	100%
					Basement Floor Area Excluded	100%
Above Grade Floor Area					1880	
Basement Floor Area					790	
Basement Area Excluded					100%	
Total Floor Area					1880	
120.29 High-Performance Step 4 @ 0.04					1805	

Brad Doré
 Residential Design
 604.782.8240
 brad.dore@icloud.com
 www.braddore.com
 Doré Design & Media Solutions Inc.

Curate Marine
 6779 Marrine Drive
 West Vancouver, BC

Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré.
The design and specifications of all drawings conform to BCBC 2018

Site Plan
 1/8" = 1'-0"

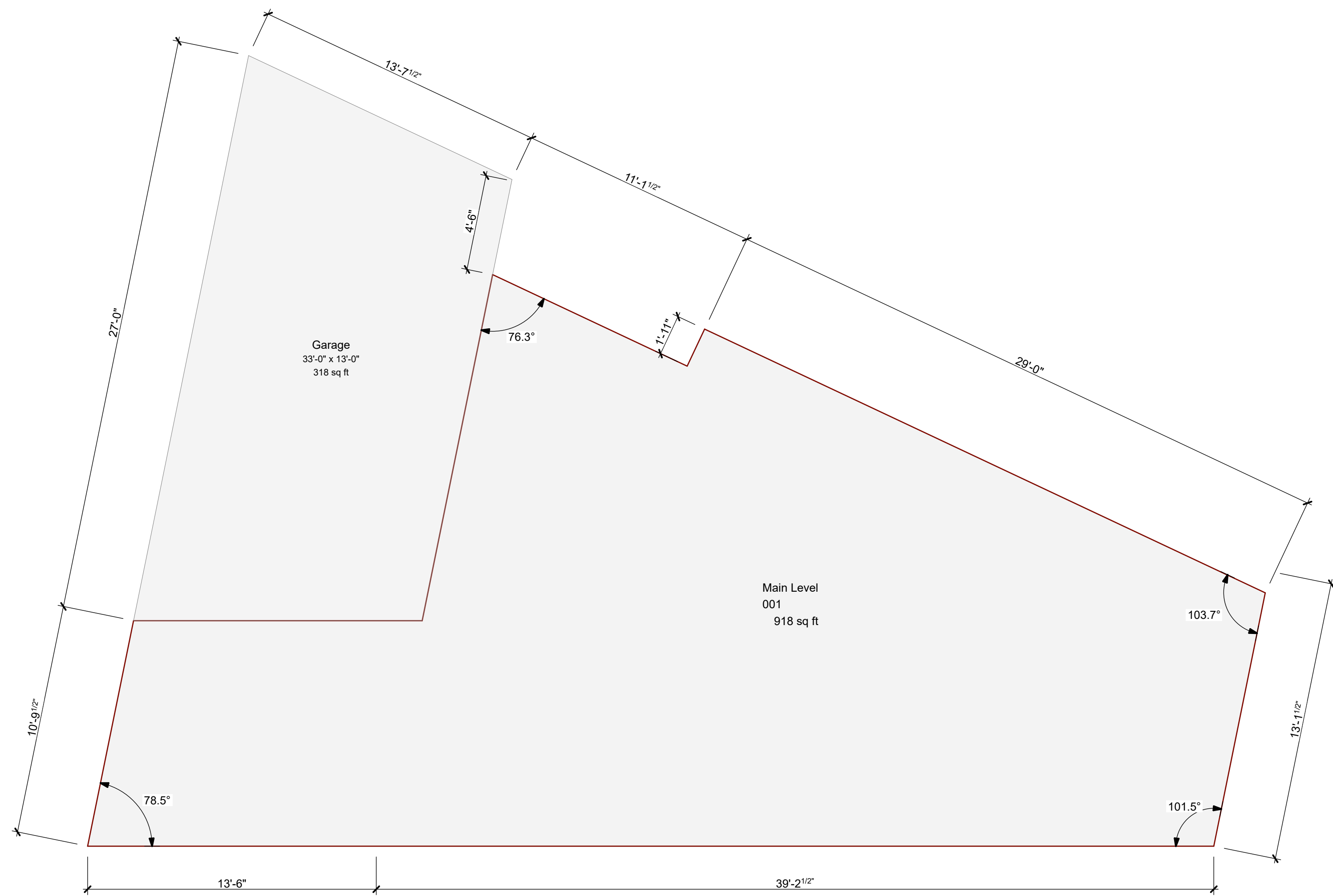
LOT 2 BLOCK 23 DISTRICT
 LOT 430 PLAN 9925

Sheet Index Permit

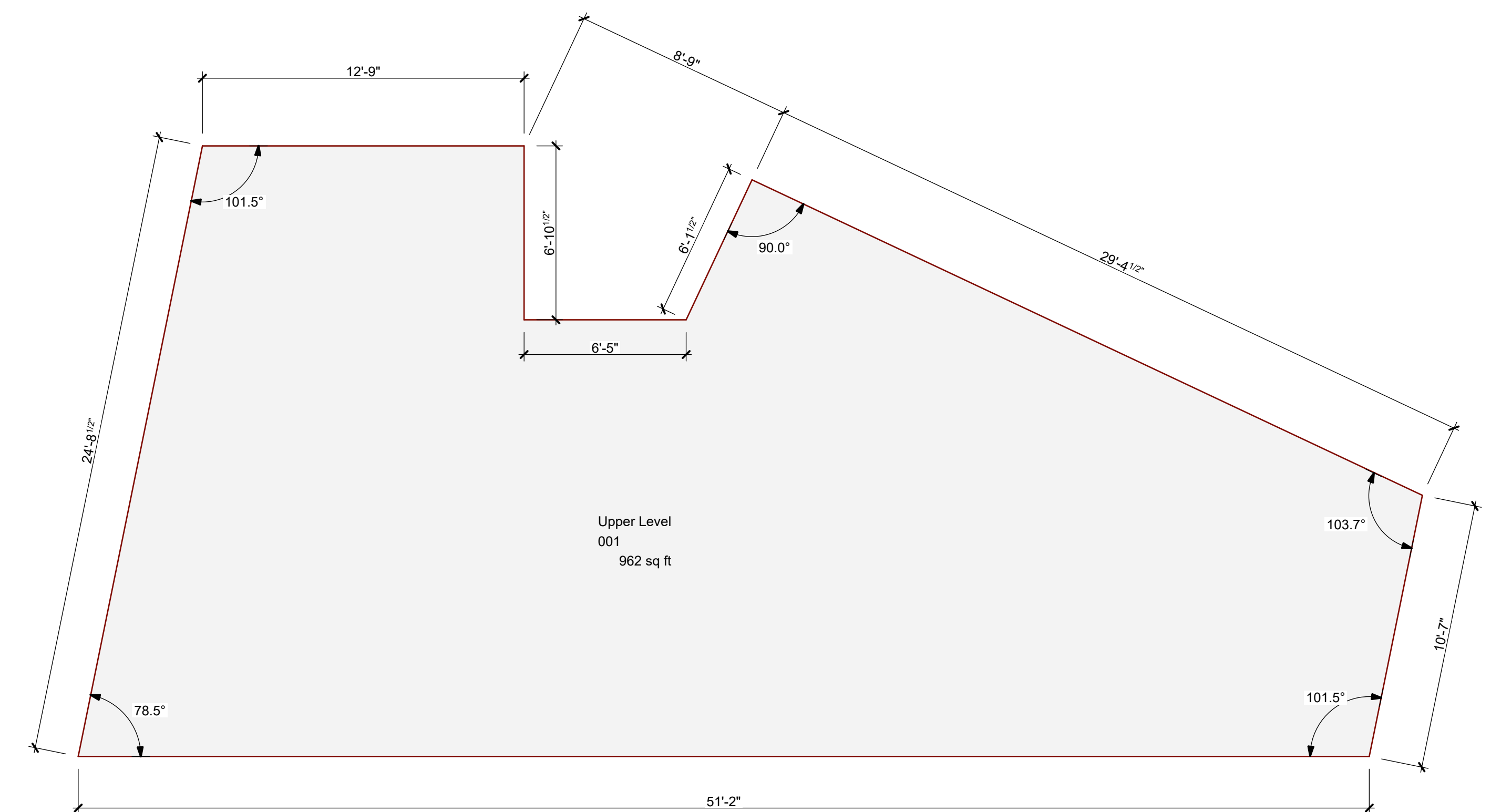
Layout ID	Layout Name
A01	Cover Sheet
A02	Area Overlays
A03	Marine Drive Floor Plans
A04	Marine Drive Elevations
A05	Sections

Cover Sheet	
Status	Date
Development Permit	2021-05-26
Revisions	

A01

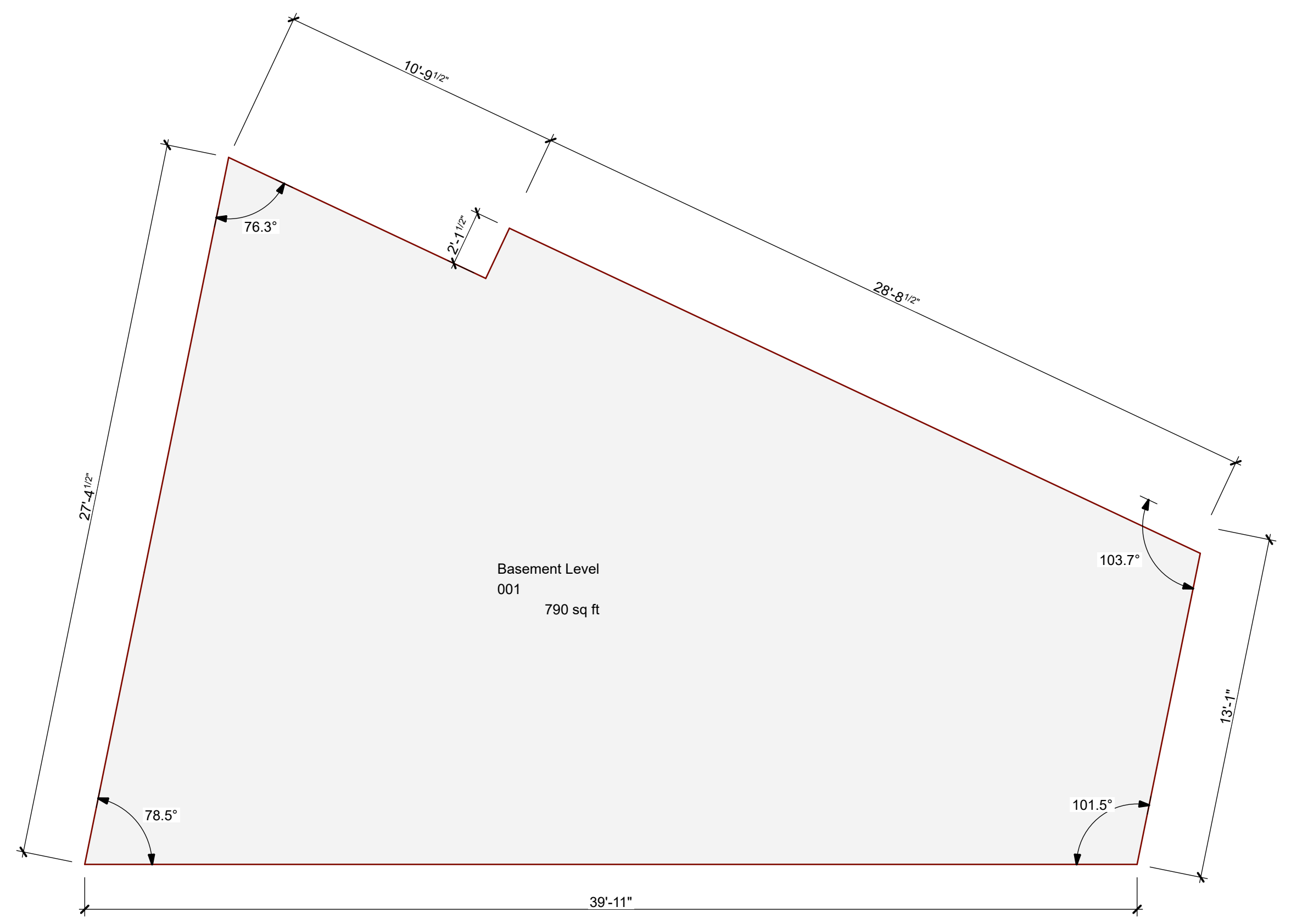


0. Main Level
1/4" = 1'-0"



1. Upper Level
1/4" = 1'-0"

Upper Level	962
Main Level	918
	1,880 sq ft



-1. Basement
1/4" = 1'-0"

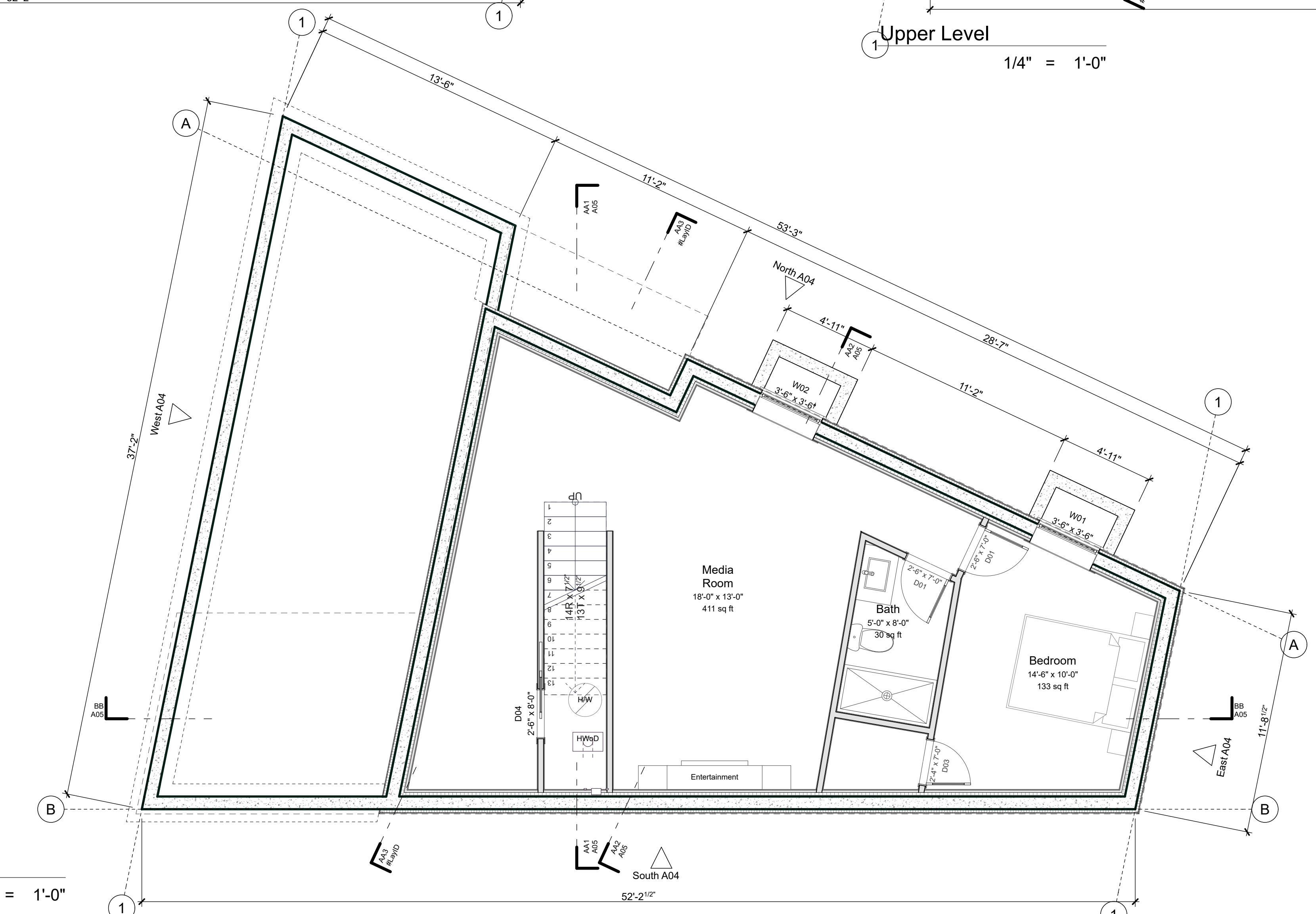
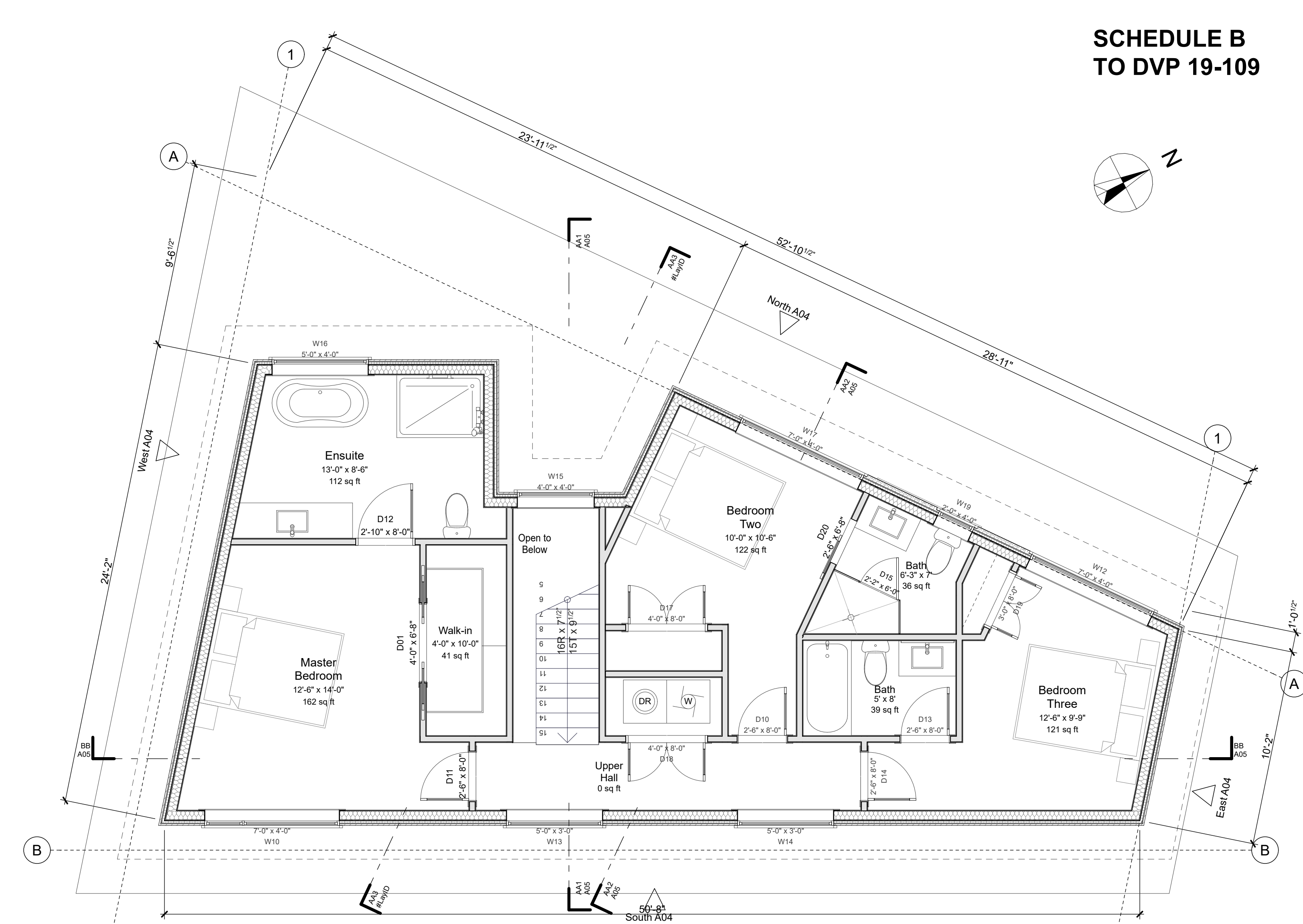
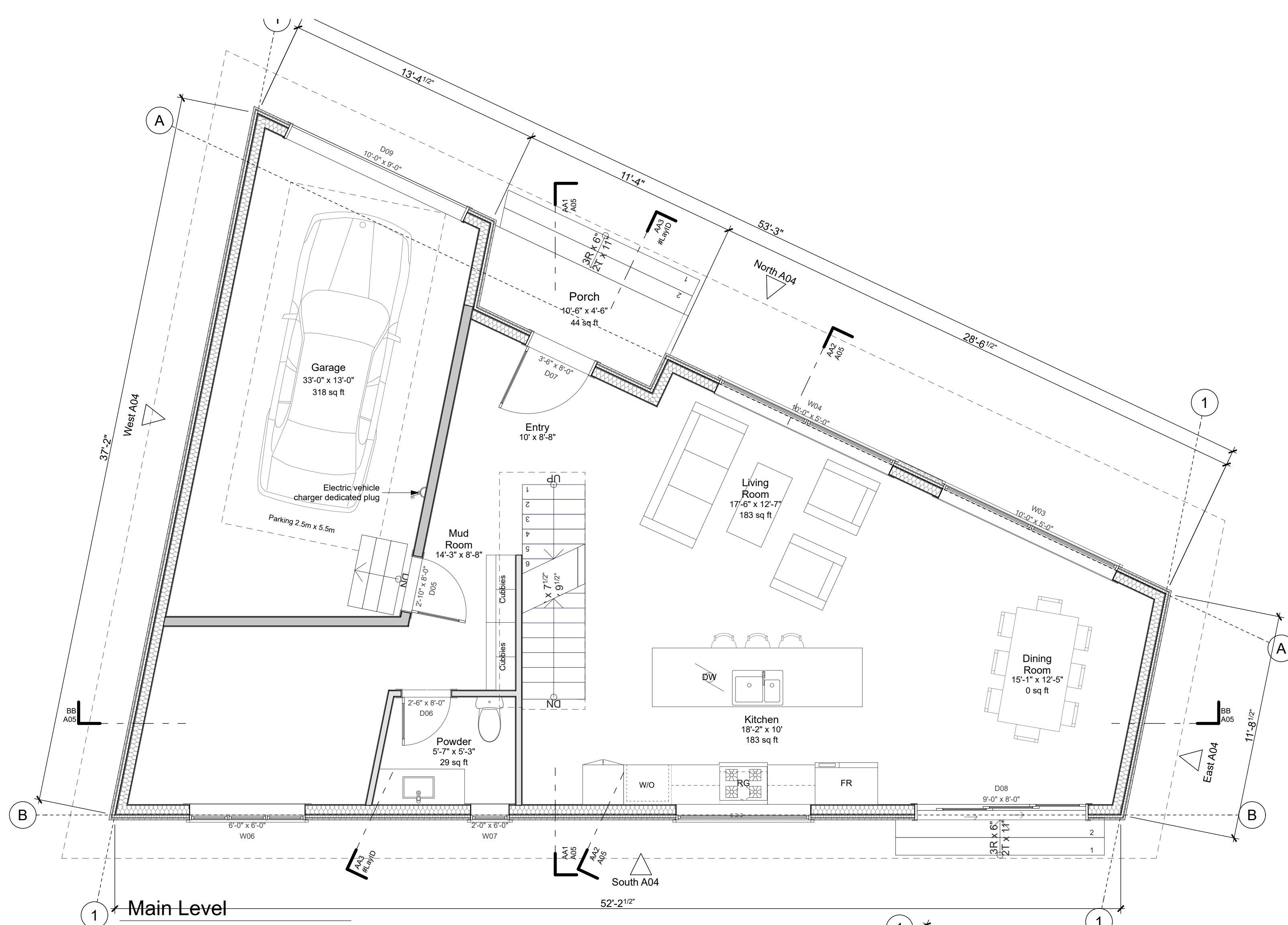
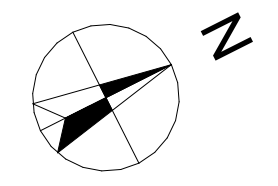
Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.braddore.com
Doré Design & Media Solutions Inc.

Curate Marine
6779 Marrine Drive
West Vancouver, BC

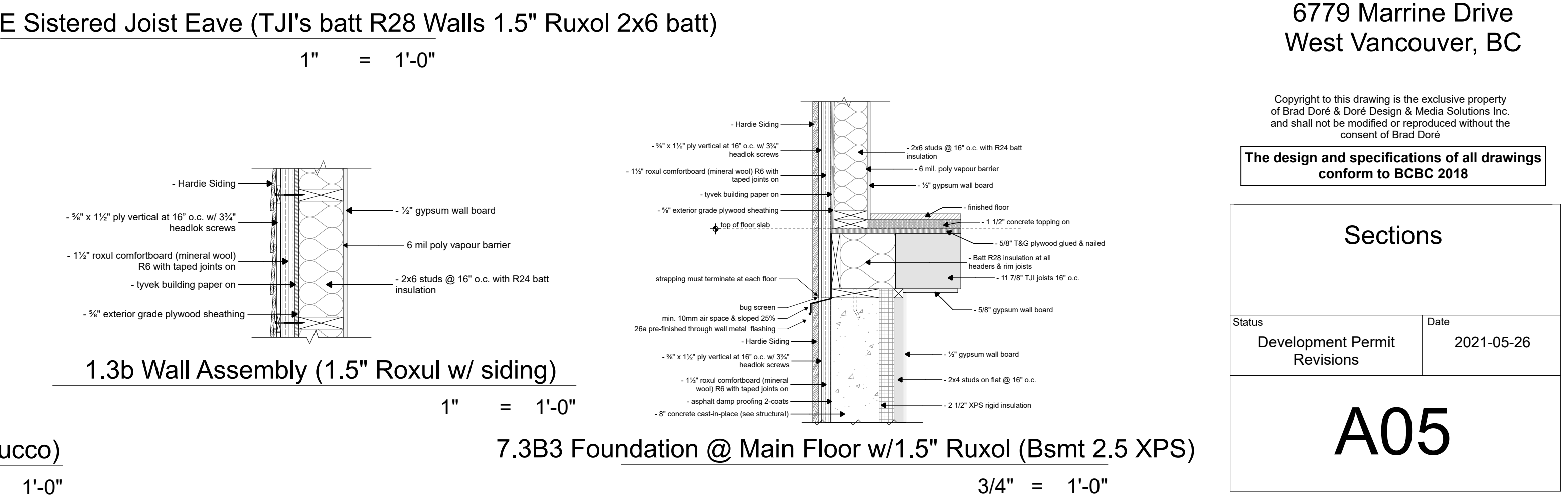
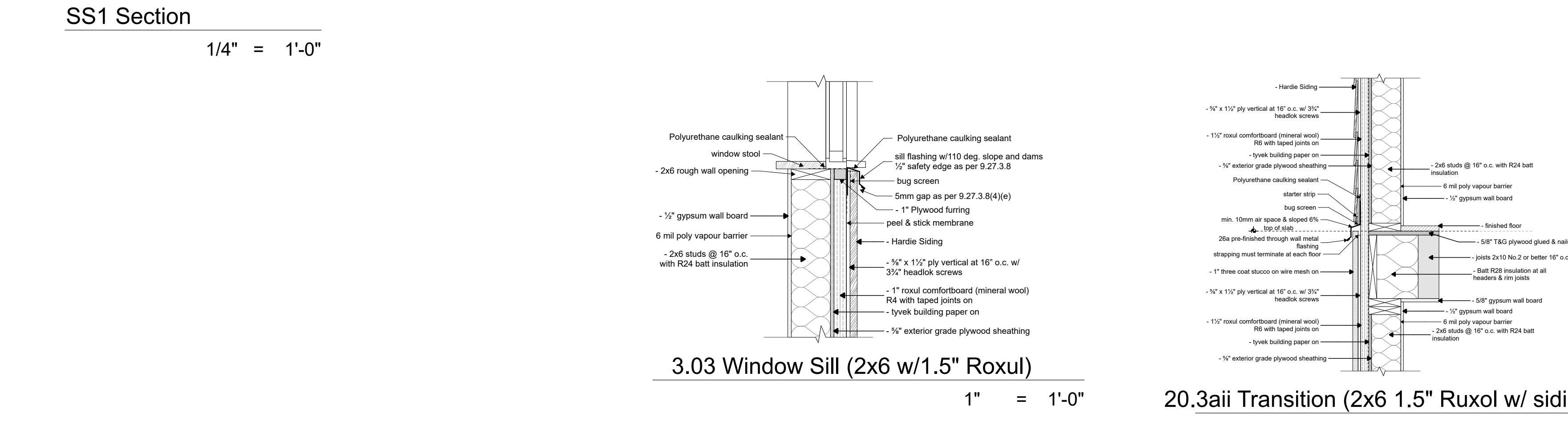
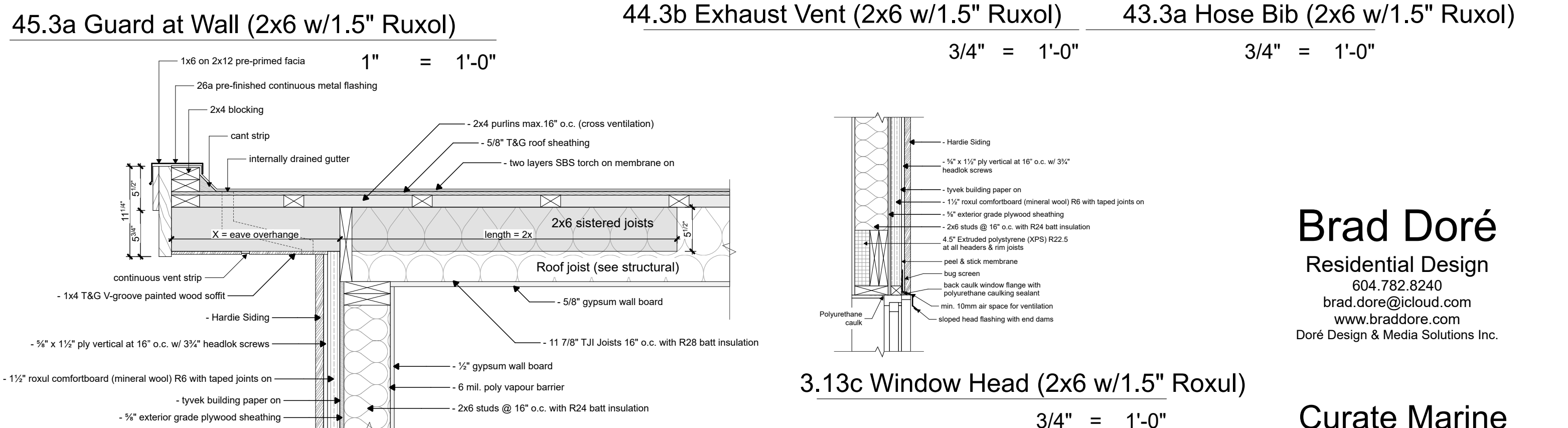
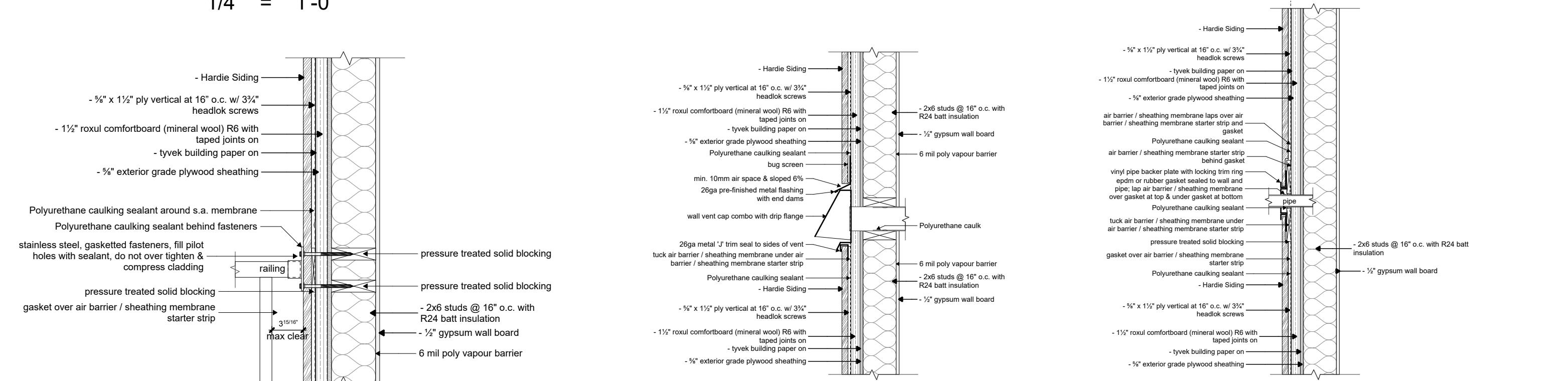
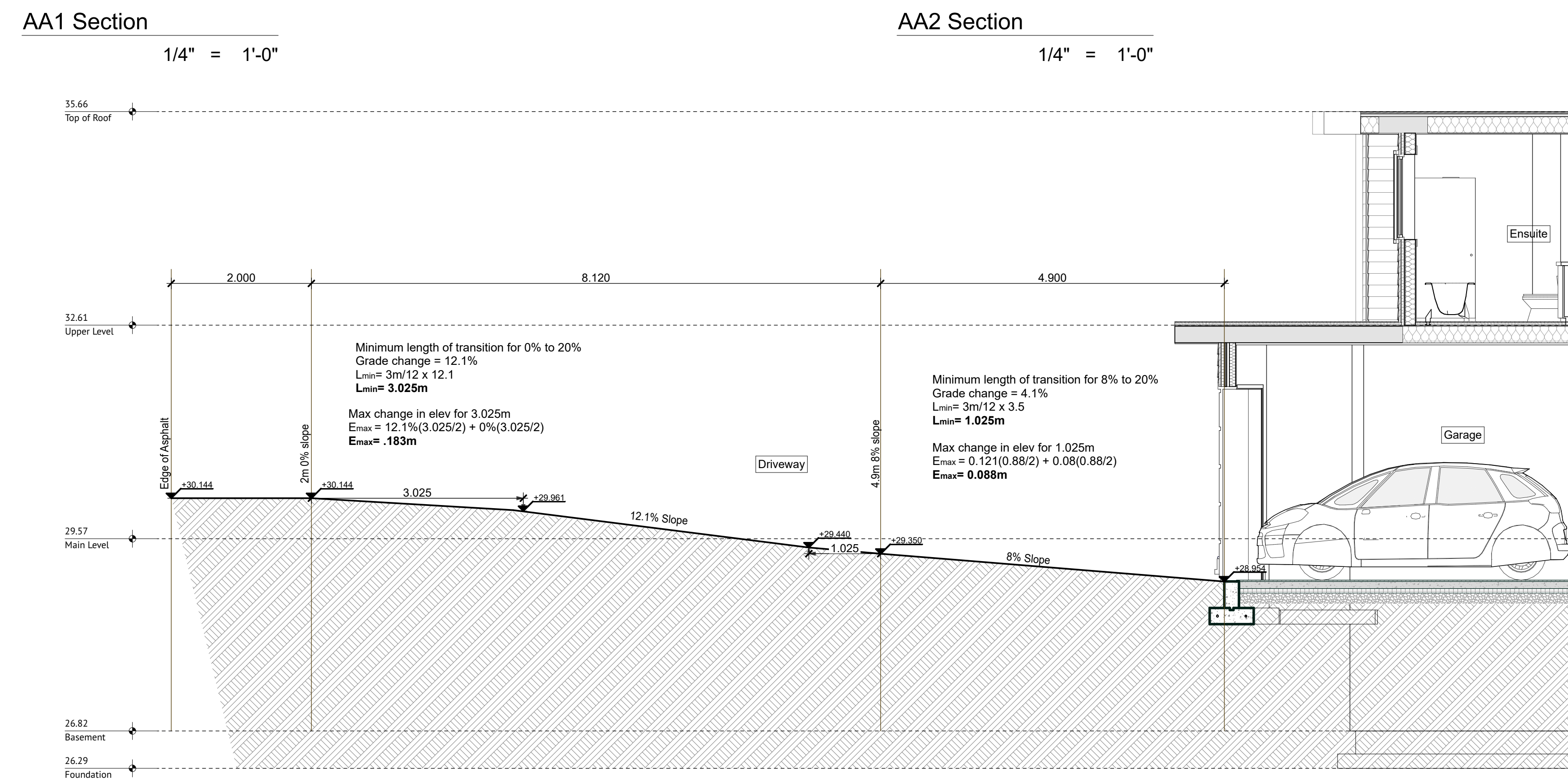
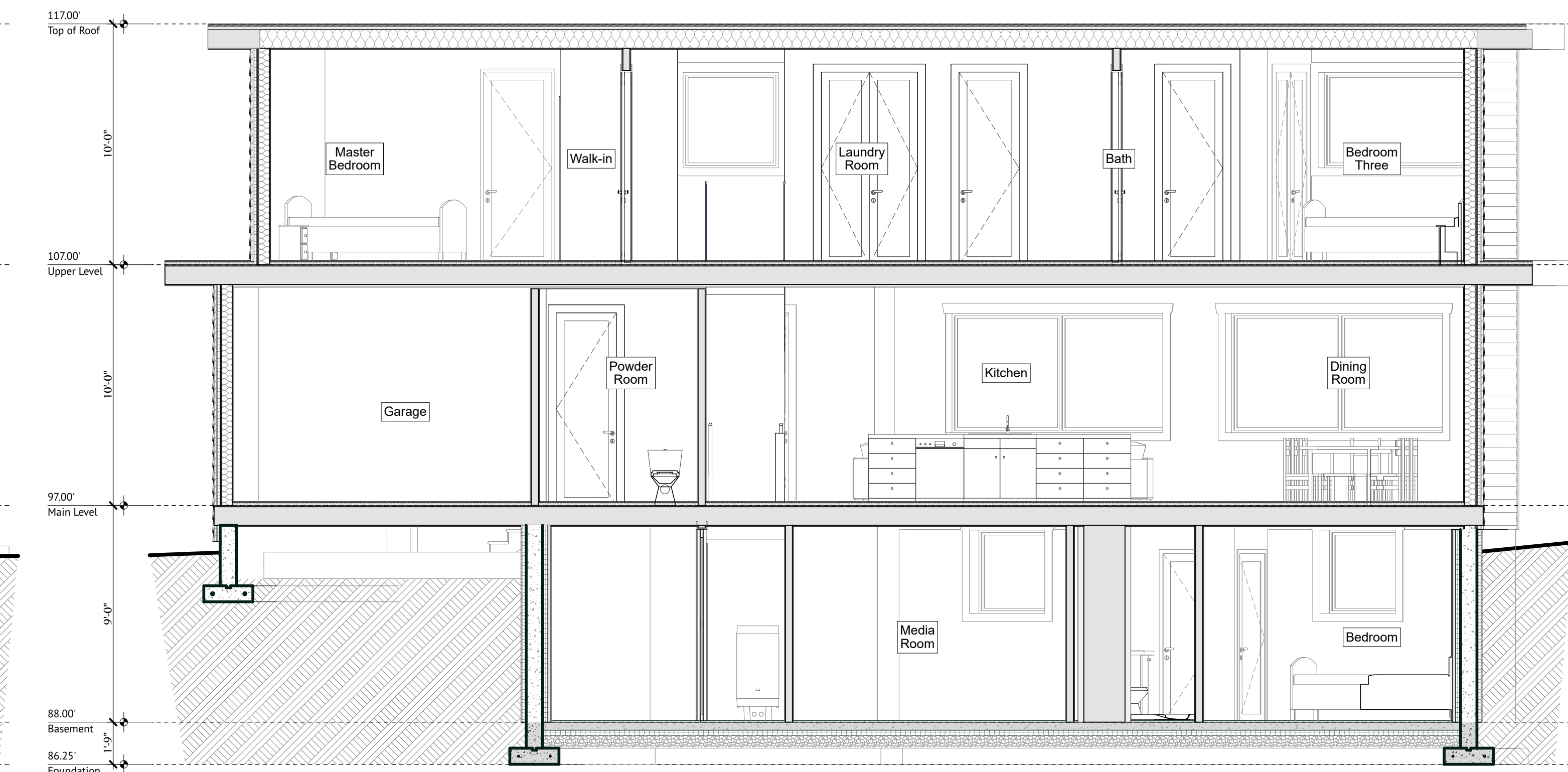
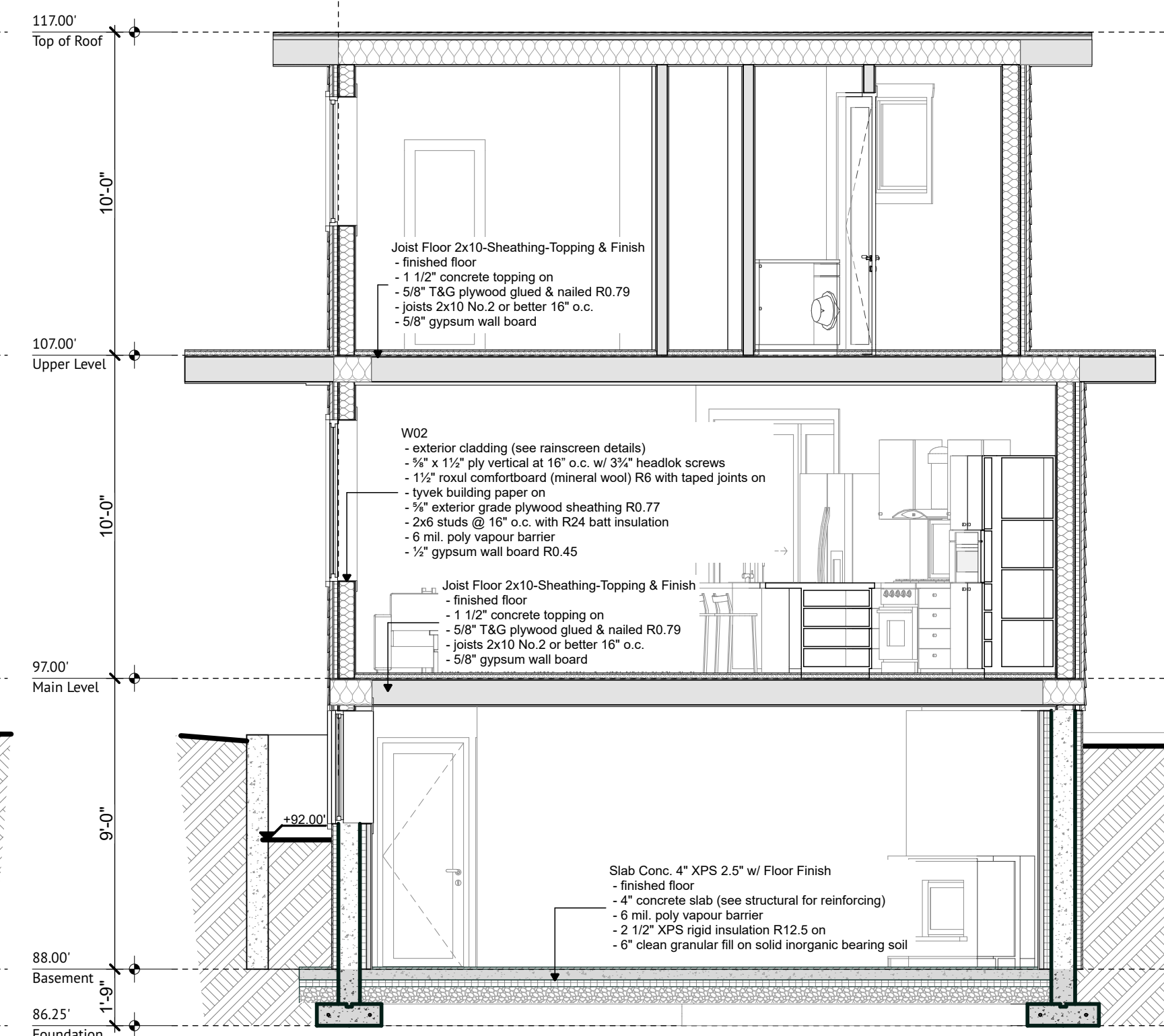
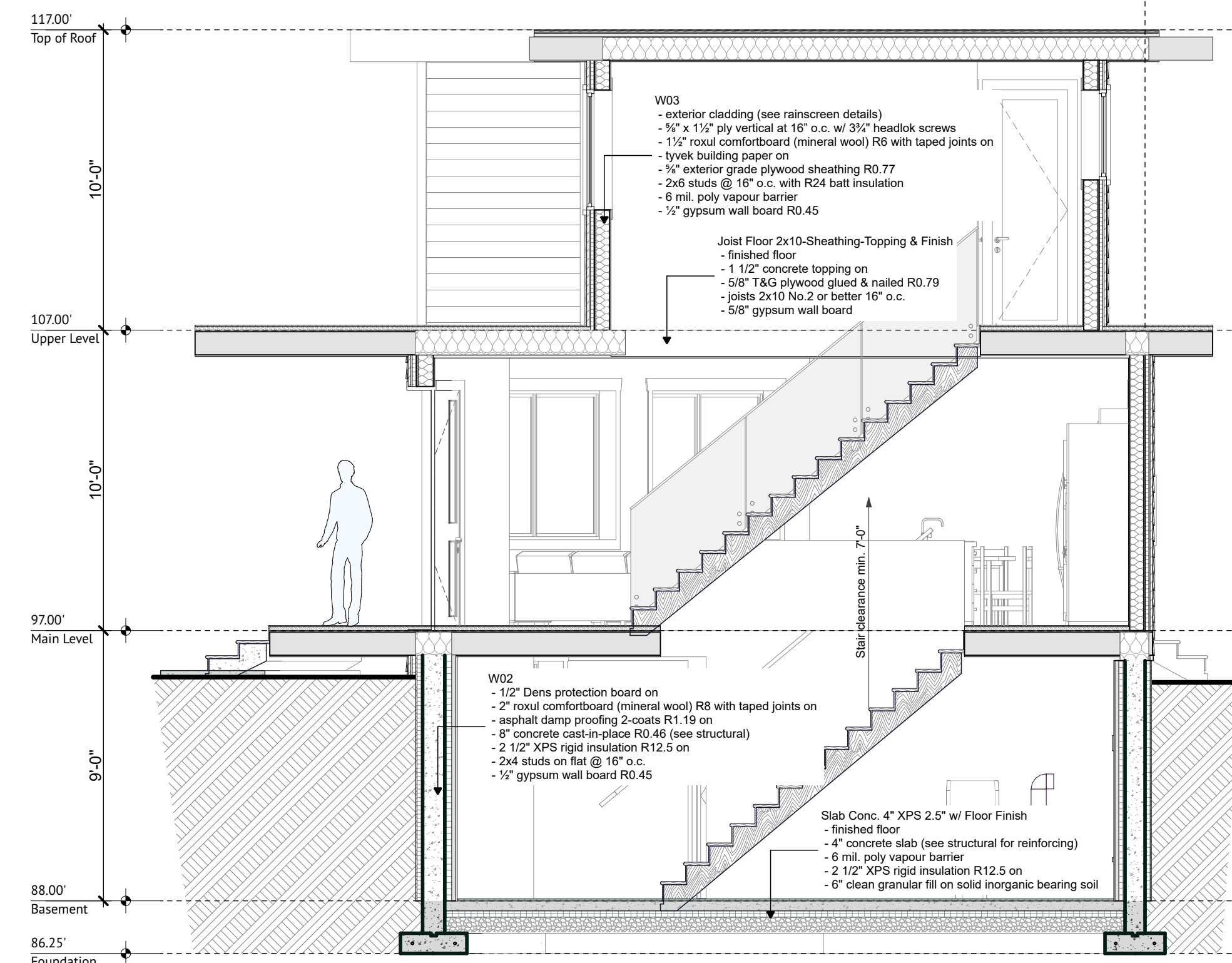
Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré.

The design and specifications of all drawings conform to BCBC 2018

Area Overlays	
Status	Date
Development Permit Revisions	2021-05-26
A02	



Marine Drive Floor Plans	
Status Development Permit Revisions	Date 2021-05-26
A03	



Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.bradore.com
Doré Design & Media Solutions Inc.

Curate Marine
6779 Marrine Drive
West Vancouver, BC

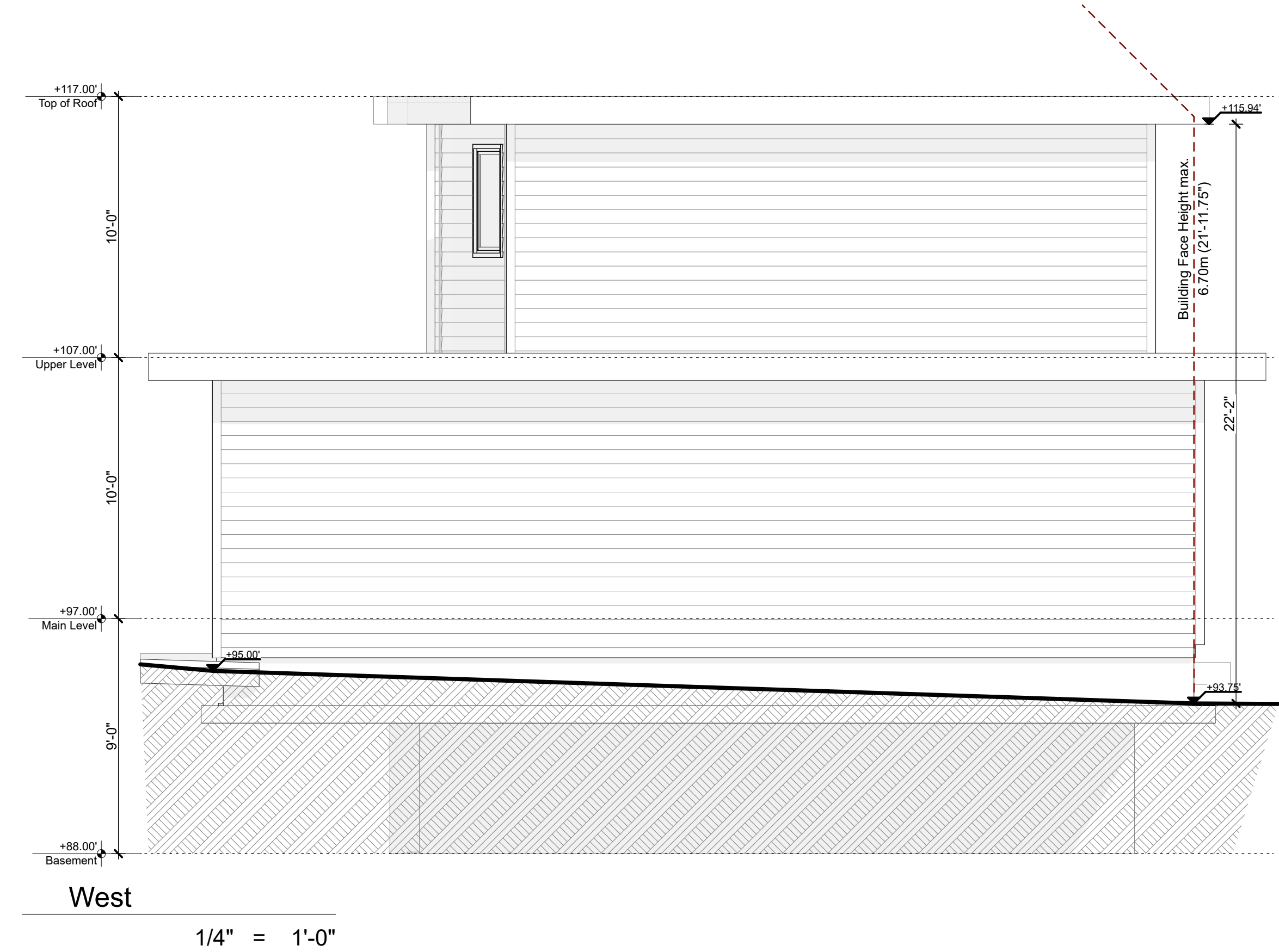
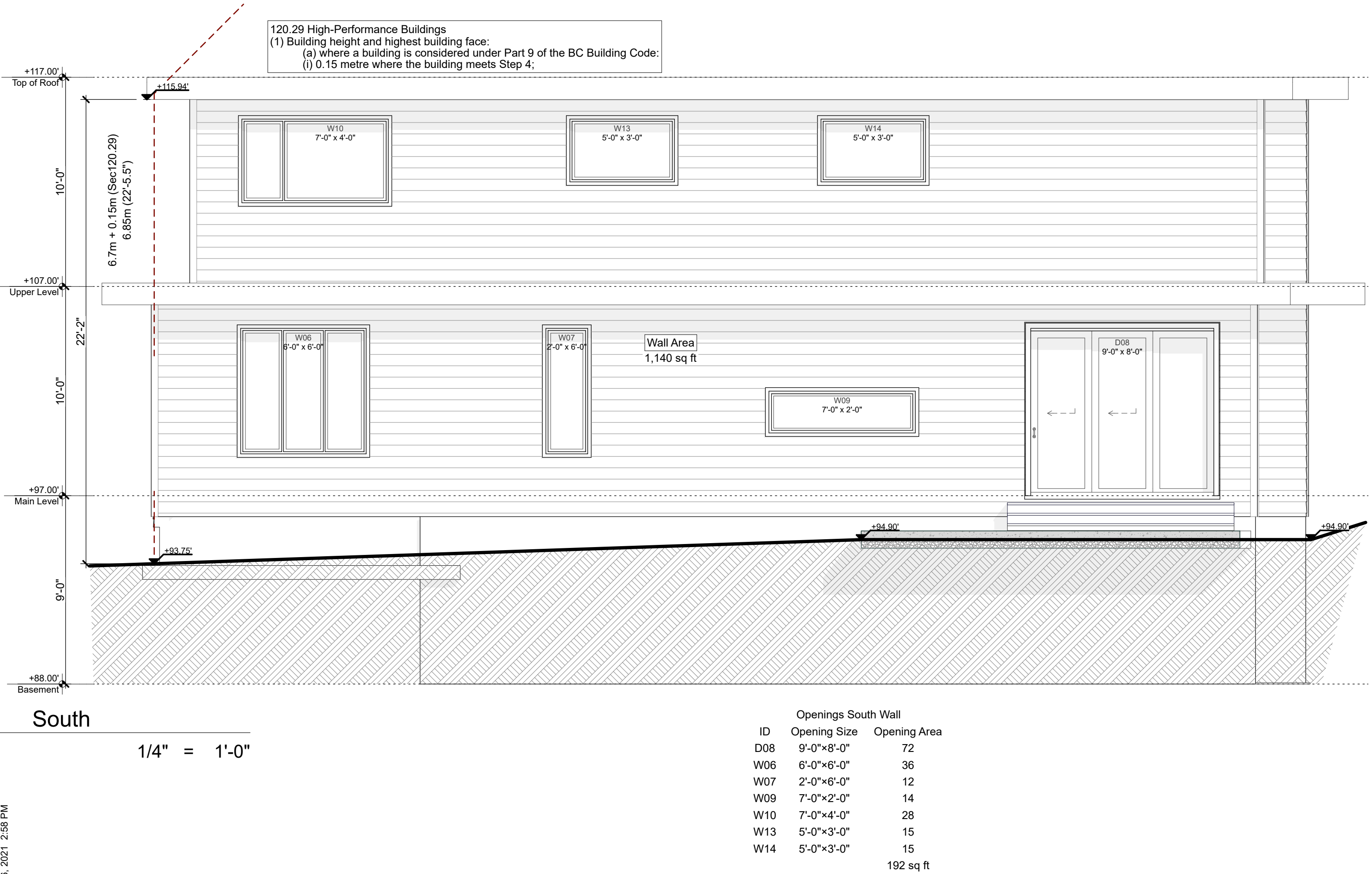
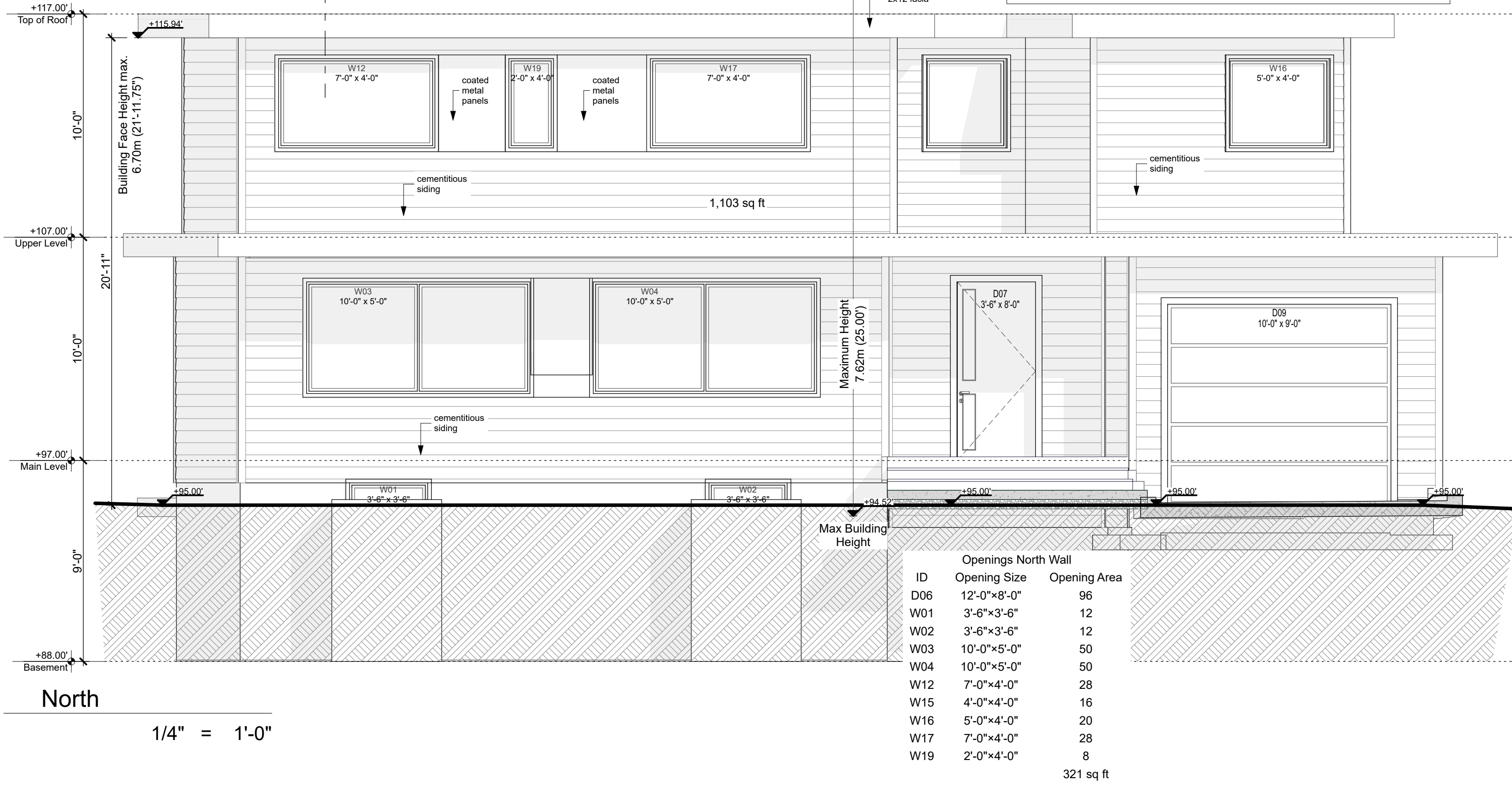
Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré

The design and specifications of all drawings conform to BCBC 2018

Sections	
Status	Date
Development Permit	2021-05-26
Revisions	
A05	

120.29 High-Performance Buildings
(1) Building height and highest building face:
(a) where a building is considered under Part 9 of the BC Building Code:
(i) 0.15 metre where the building meets Step 4;

Wildfire Hazard Area NE 1
1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.



Marine Drive Materials Board



Horizontal Lap Siding
• James Hardie Husky Grey Lap Siding



Exposed Concrete Foundation
• Architectural Concrete
Dark Grey, Energy Efficient Windows

Curate Marine
6779 Marine Drive
West Vancouver, BC

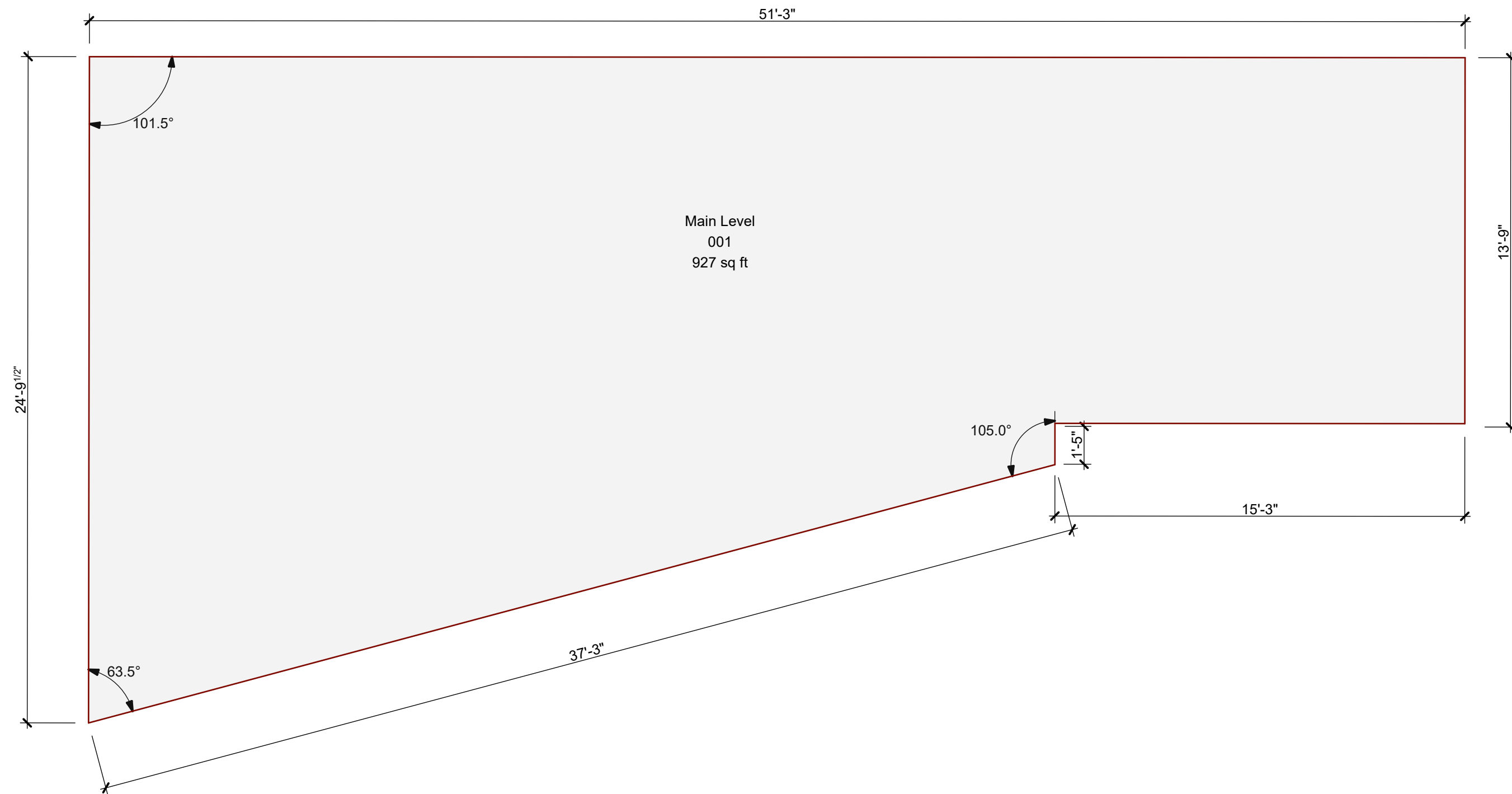
Marine Drive Elevations

Status	Date
Development Permit Revisions	2021-05-26

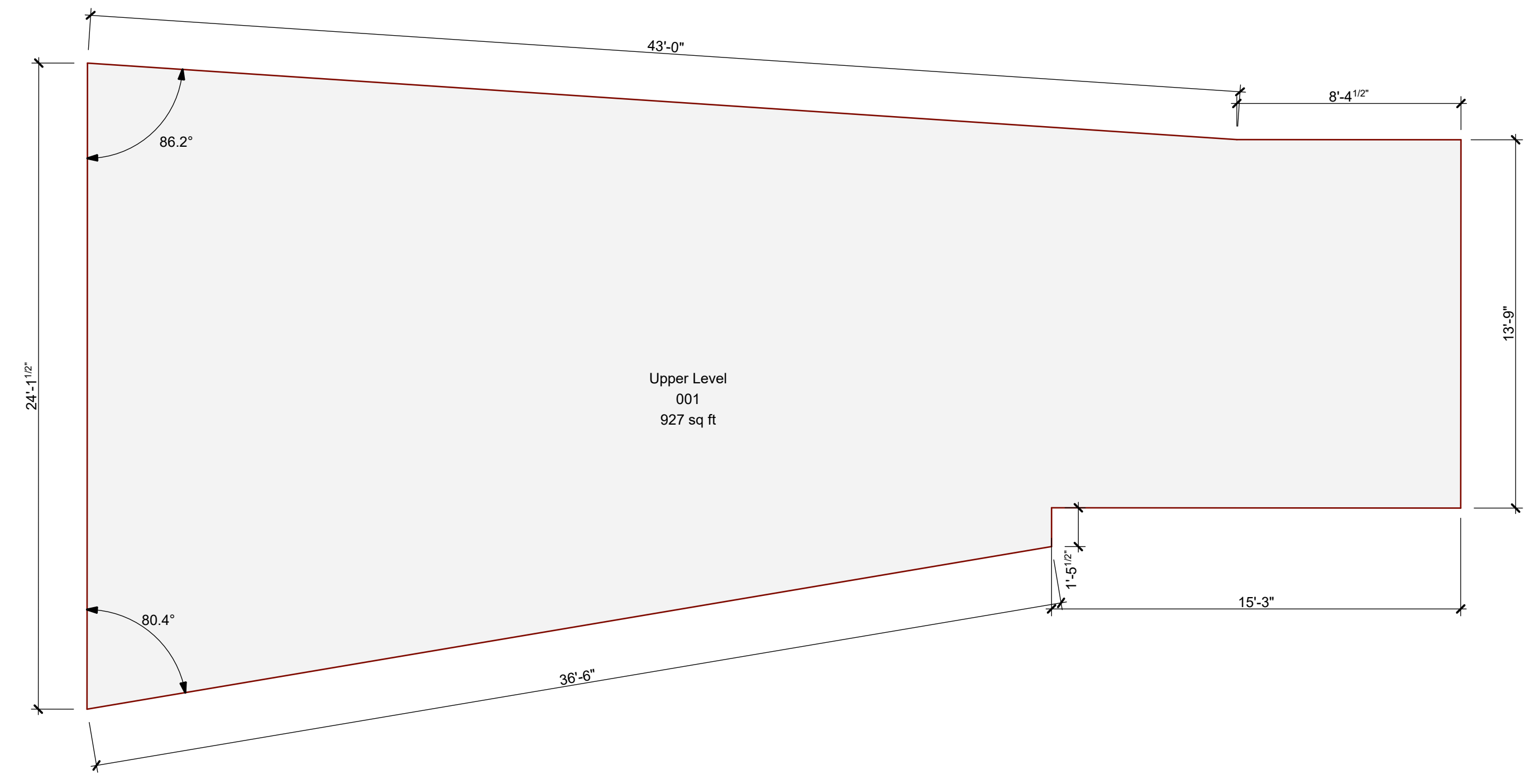
The design and specifications of all drawings conform to BCBC 2018

Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré

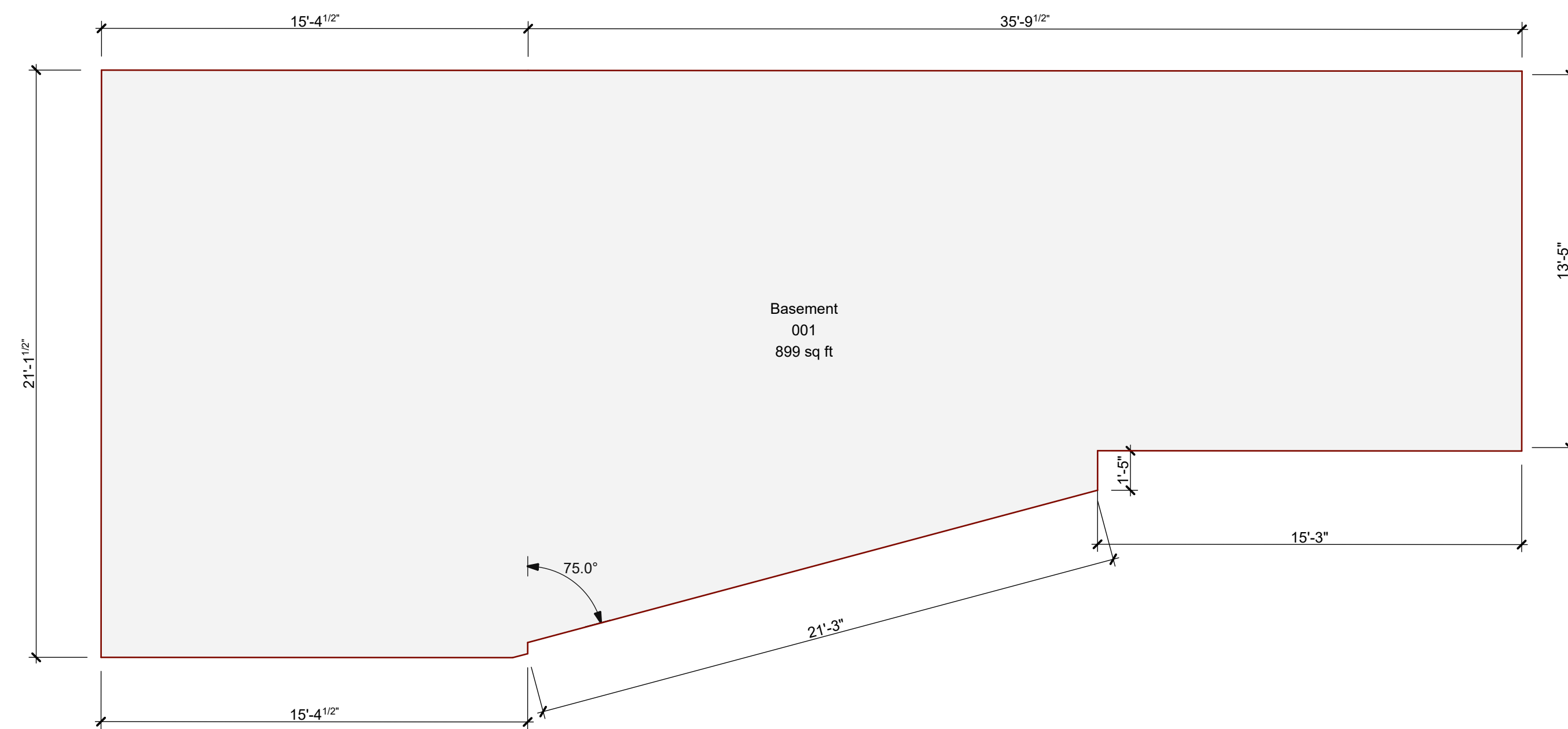
A04



Main Level
1/4" = 1'-0"



Upper Level
1/4" = 1'-0"



Basement
1/4" = 1'-0"

Upper Level 927
Main Level 927
1,854 sq ft

Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.braddore.com
Doré Design & Media Solutions Inc.

**Dufferin Marine
Subdivision**
6779 Dufferin Avenue
West Vancouver, BC

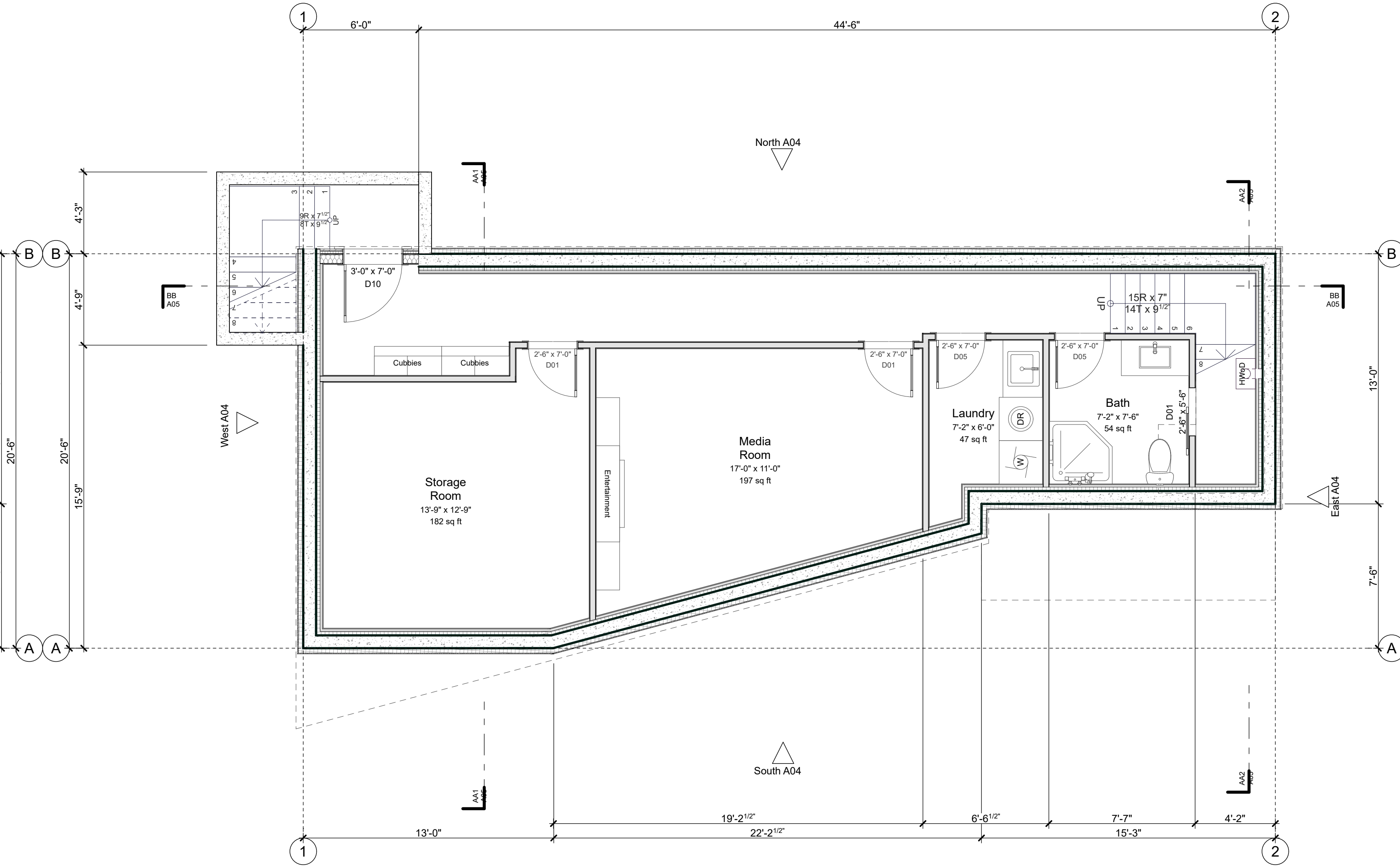
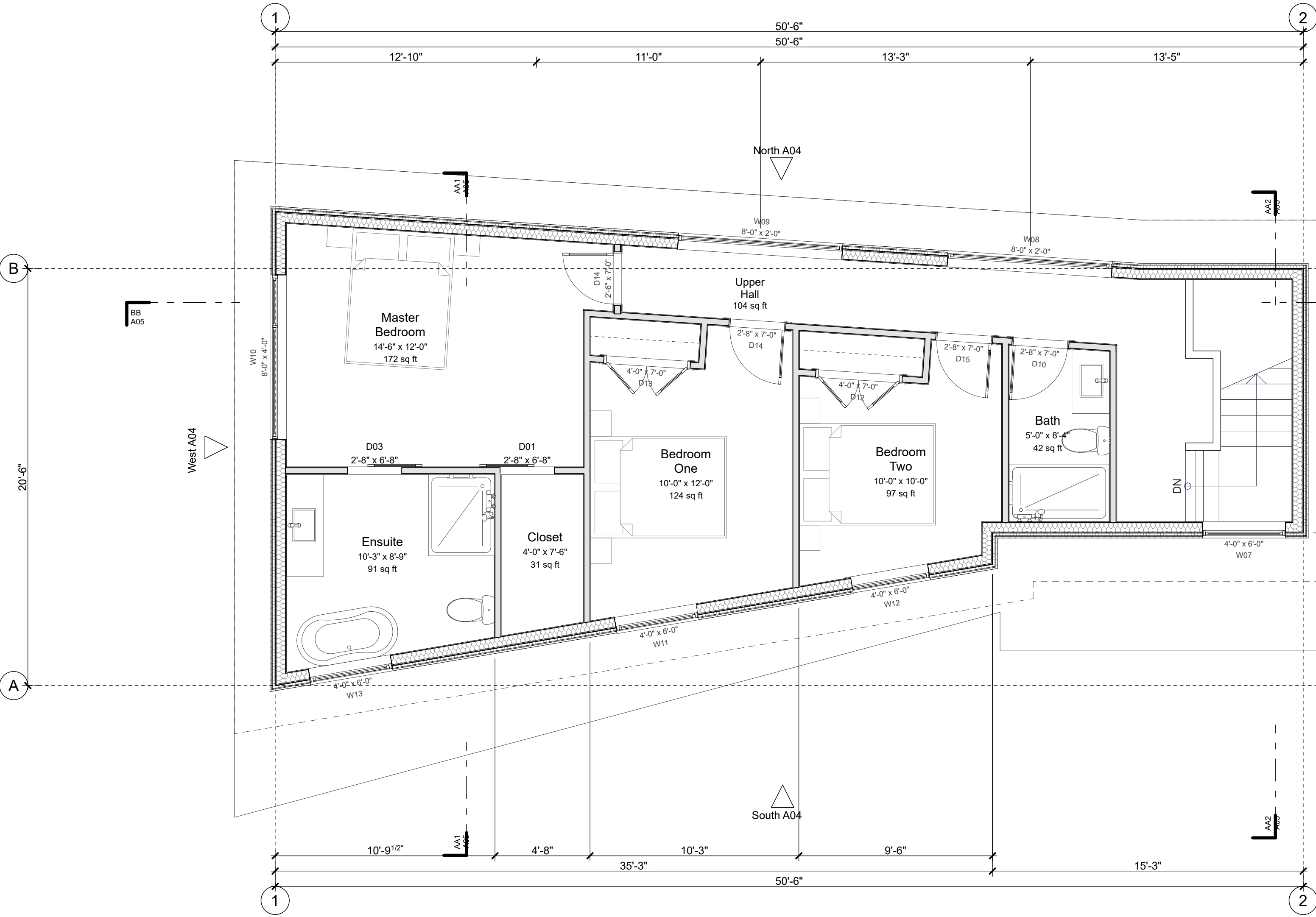
Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré.

The design and specifications of all drawings conform to BCBC 2018

Area Overlays

Status	Date
Development Permit Revisions	2021-06-01

A02

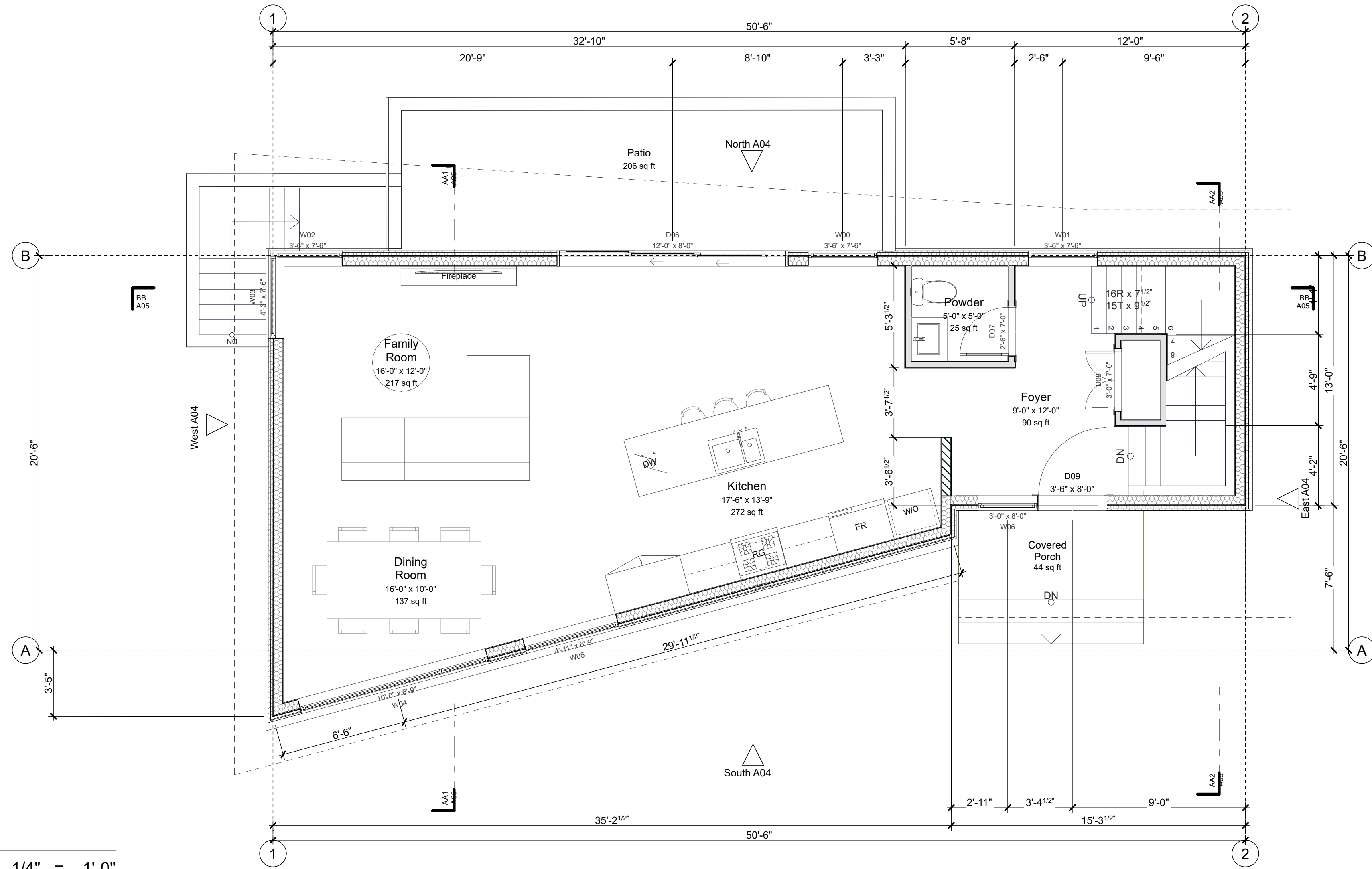


Upper Level

1/4" = 1'-0"

Basement

1/4" = 1'-0"



Main Level

1/4" = 1'-0"

Upper Level	927
Main Level	927
Total	1,854 sq ft

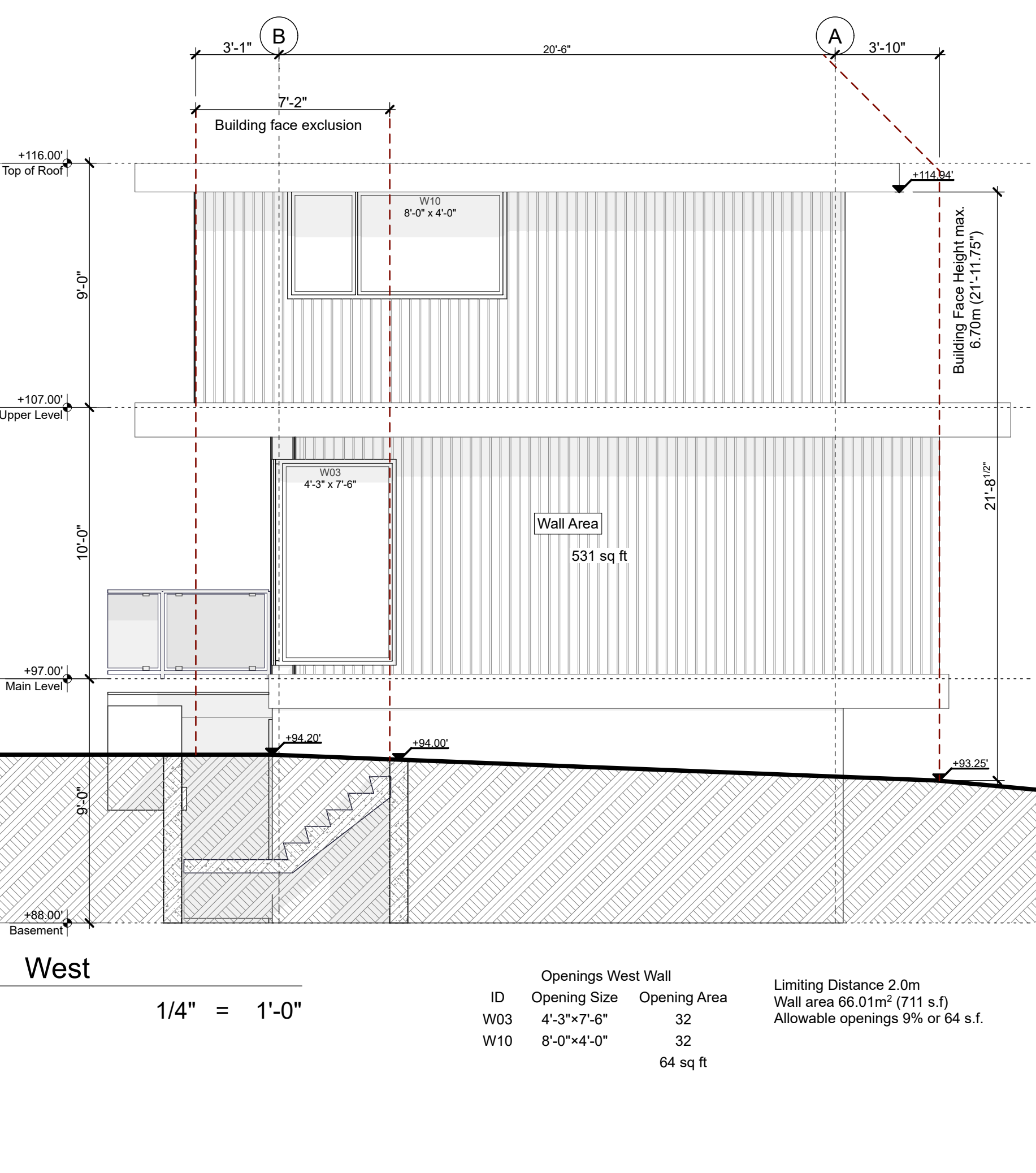
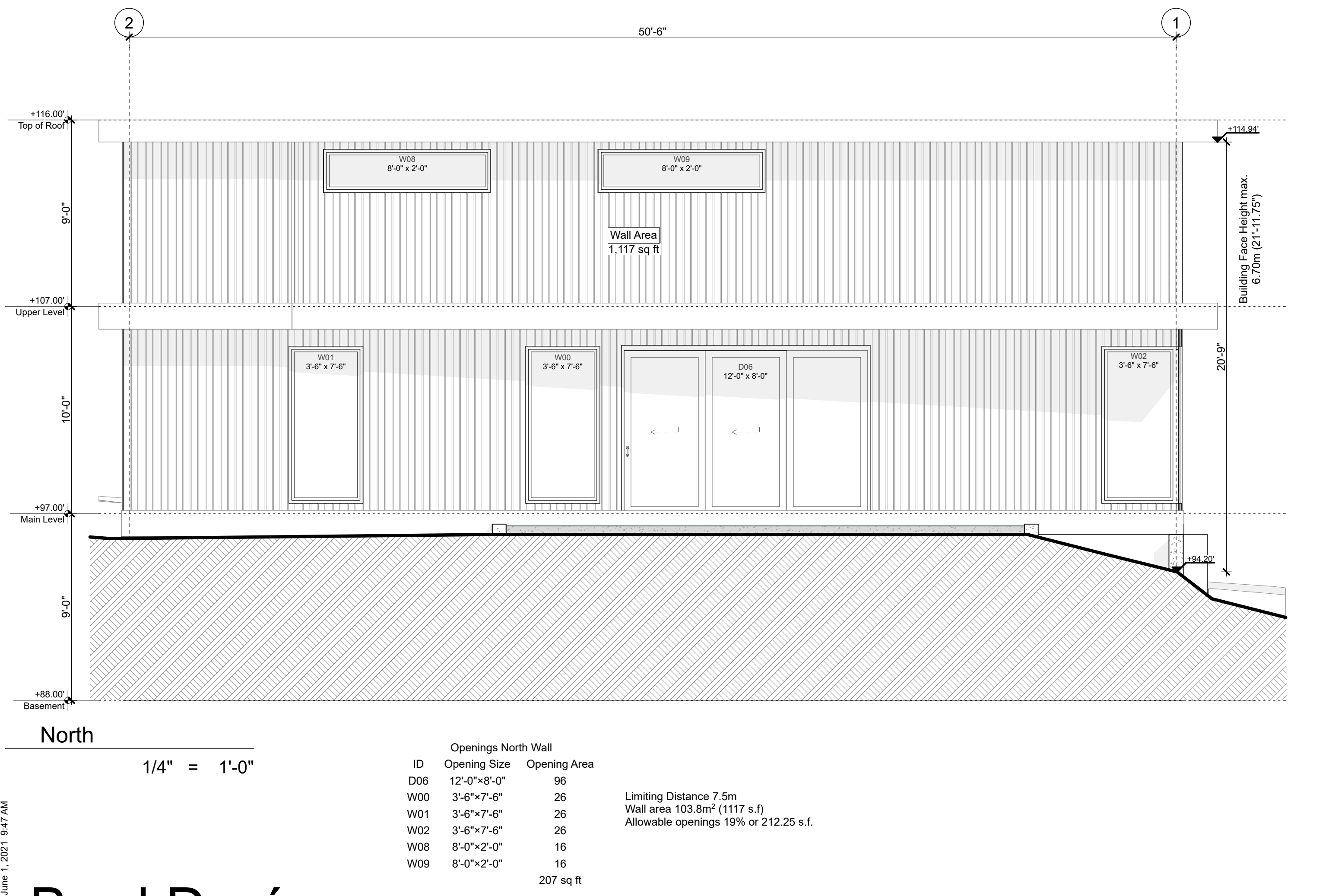
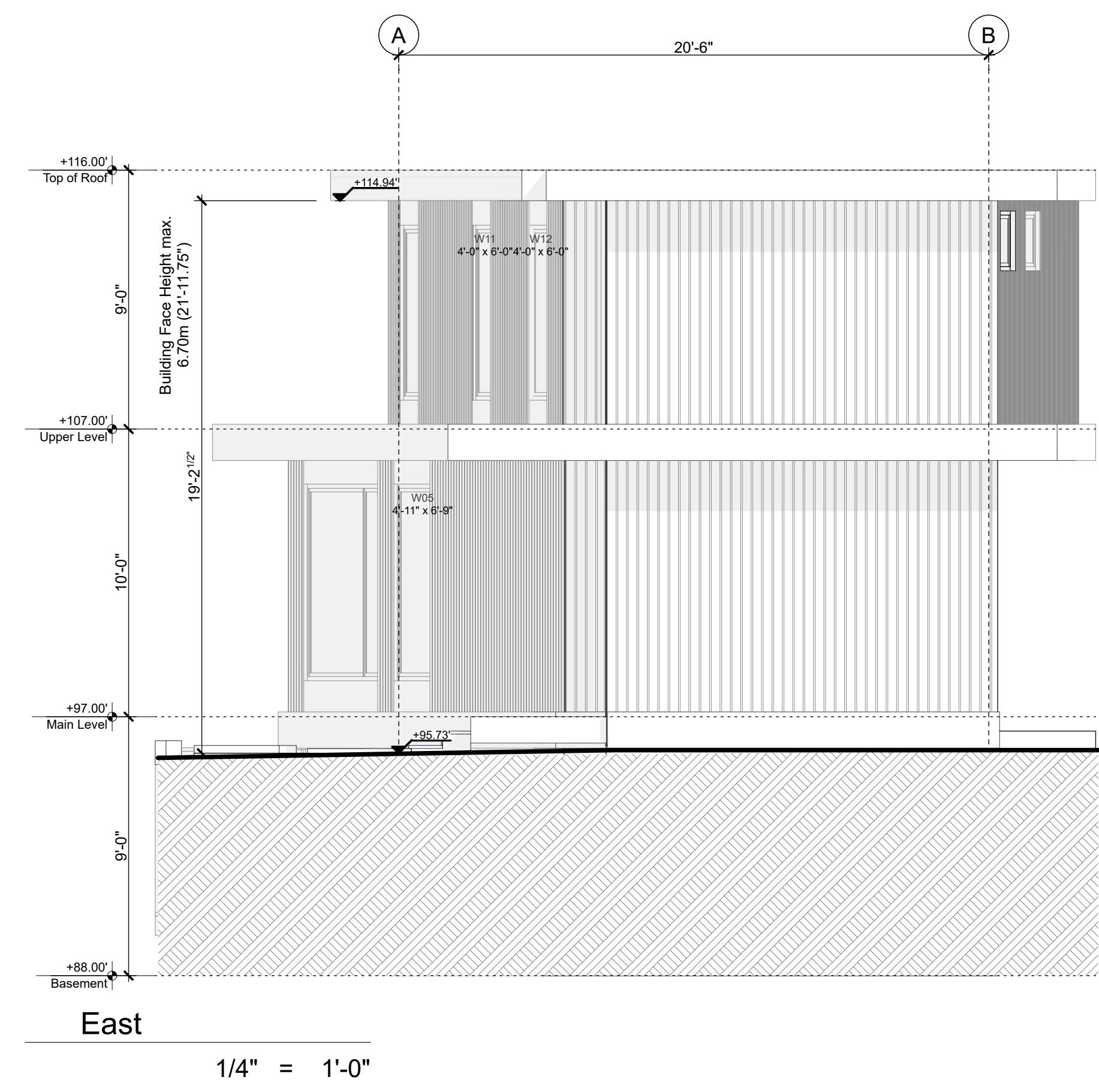
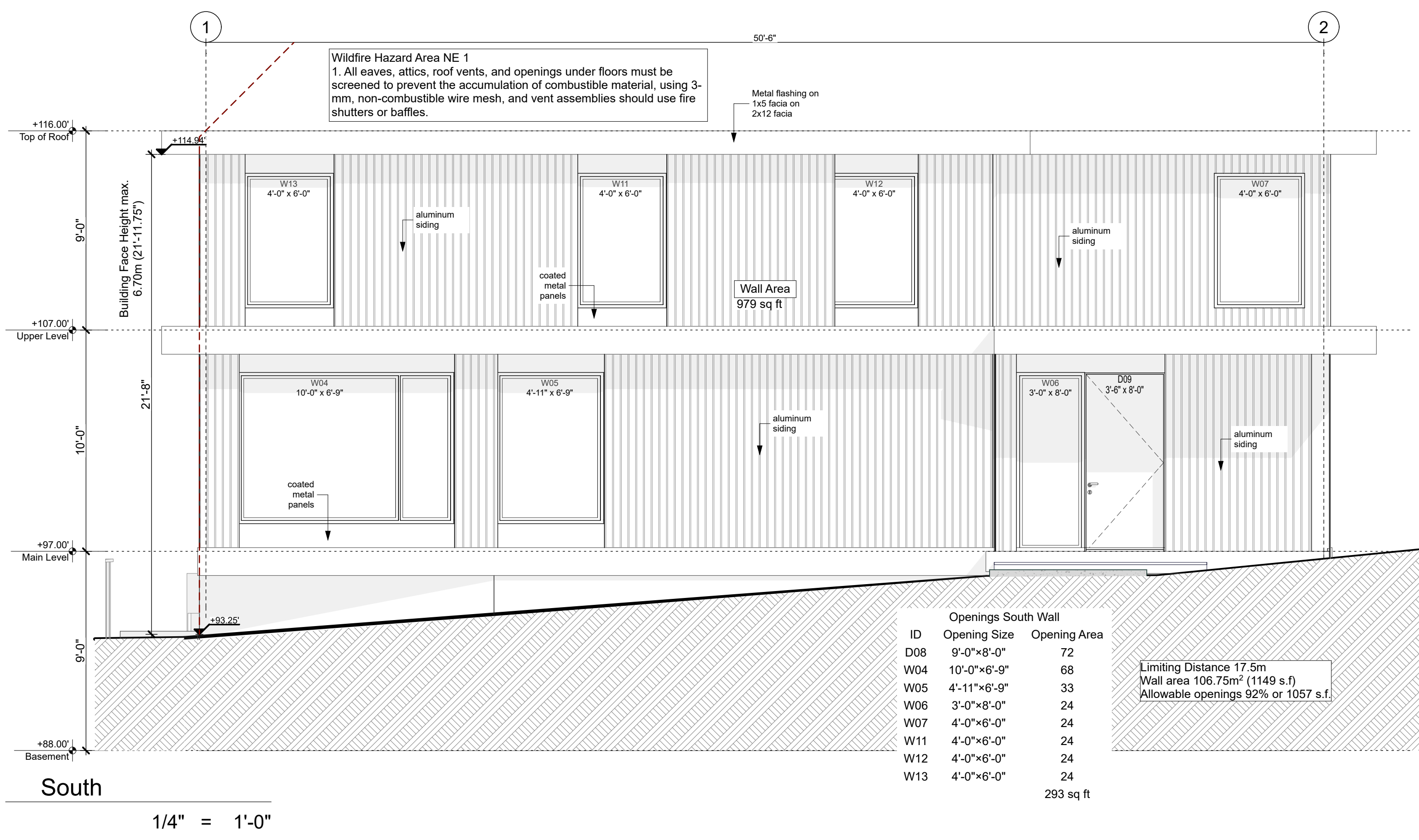
Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.braddore.com
Doré Design & Media Solutions Inc.

Dufferin Marine Subdivision
6779 Dufferin Avenue
West Vancouver, BC

Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré.

The design and specifications of all drawings conform to BCBC 2018

Dufferin Floor Plans	
Status	Date
Development Permit	2021-06-01
Revisions	
A03	



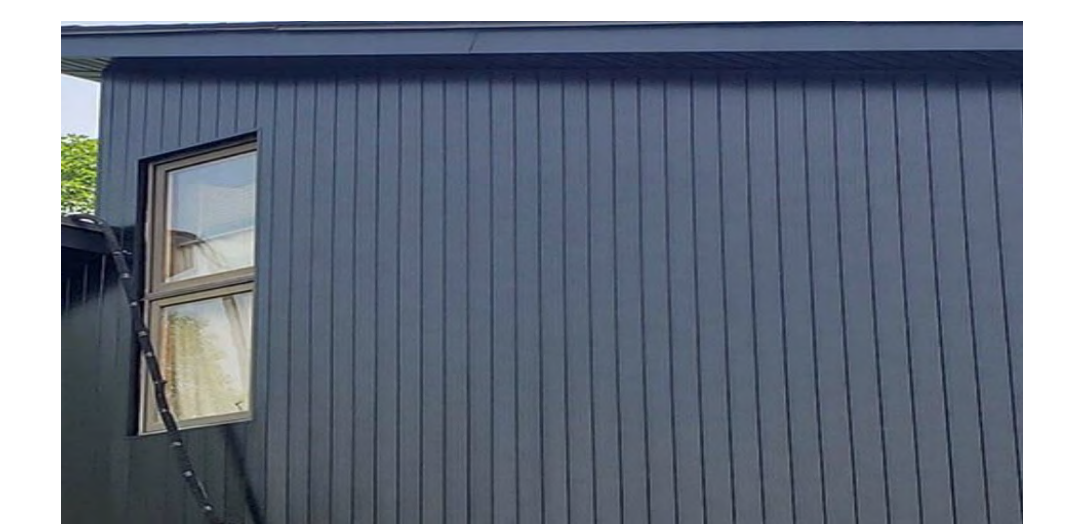
Dufferin Finished Grades

Average Finished Grade Calculation for Building and Structure Height					
Wall Section	Grade Start	Grade End	Average Grade	Y Value	
A-A1	88.00	88.00	88.00	9.80	
A1-B	88.00	93.25	90.63	14.00	
B-C	93.25	95.50	94.38	37.33	
C-D	95.50	95.73	95.62	2.00	
D-E	95.73	95.73	95.73	15.25	
E-F	95.73	95.50	95.62	13.50	
F-G	95.50	94.20	94.85	58.77	
G-A	94.20	88.00	91.10	1.00	
				151.65	
				14261.52	
				94.04	
Average Grade - Basement Floor Elevation				93.82 - 88.00	6.04
main floor elevation - basement floor elevation				98.00 - 88.00	10.00
				Basement Floor Area Factor	60.42%
Above Grade Floor Area				1835.00	
Basement Floor Area				899.00	
Basement Area Excluded				60.42%	
Total Floor Area				2190.80	
120.29	High-Performance Step 4 Excl. @ 0.04		2103.16		

Dufferin Existing Grades

Average Existing Grade Calculation for Building and Structure Height					
Wall Section	Grade Start	Grade End	Average Grade	Y Value	
A-A1	94.20	93.50	93.85	9.80	
A1-B	93.50	93.25	93.38	14.00	
B-C	93.25	94.80	94.03	37.33	
C-D	94.80	94.80	94.80	2.00	
D-E	94.80	97.20	96.00	15.25	
E-F	97.20	95.00	96.35	13.50	
F-G	95.00	94.20	94.60	58.77	
G-A	94.20	93.00	93.60	1.00	
				151.65	
				14344.50	
				94.59	
Average Grade - Basement Floor Elevation				94.59 - 88.00	6.59
main floor elevation - basement floor elevation				98.00 - 88.00	10.00
				Basement Floor Area Factor	65.90%
Above Grade Floor Area				1835.00	
Basement Floor Area				899.00	
Basement Area Excluded				65.90%	
Total Floor Area				2141.60	
120.29	High-Performance Step 4 @ 0.04		2055.94		

Dufferin Avenue Materials Board



- Exterior Siding and Soffits
- Vertical Aluminum Siding (dark brown or black in colour)
 - Solid coloured fire rated soffits

Windows

- Black Vinyl Energy Efficient Windows



- Exposed Concrete Foundation
- Architectural Concrete

6779 Dufferin Avenue pin Tuesday, June 1, 2021 9:47 AM

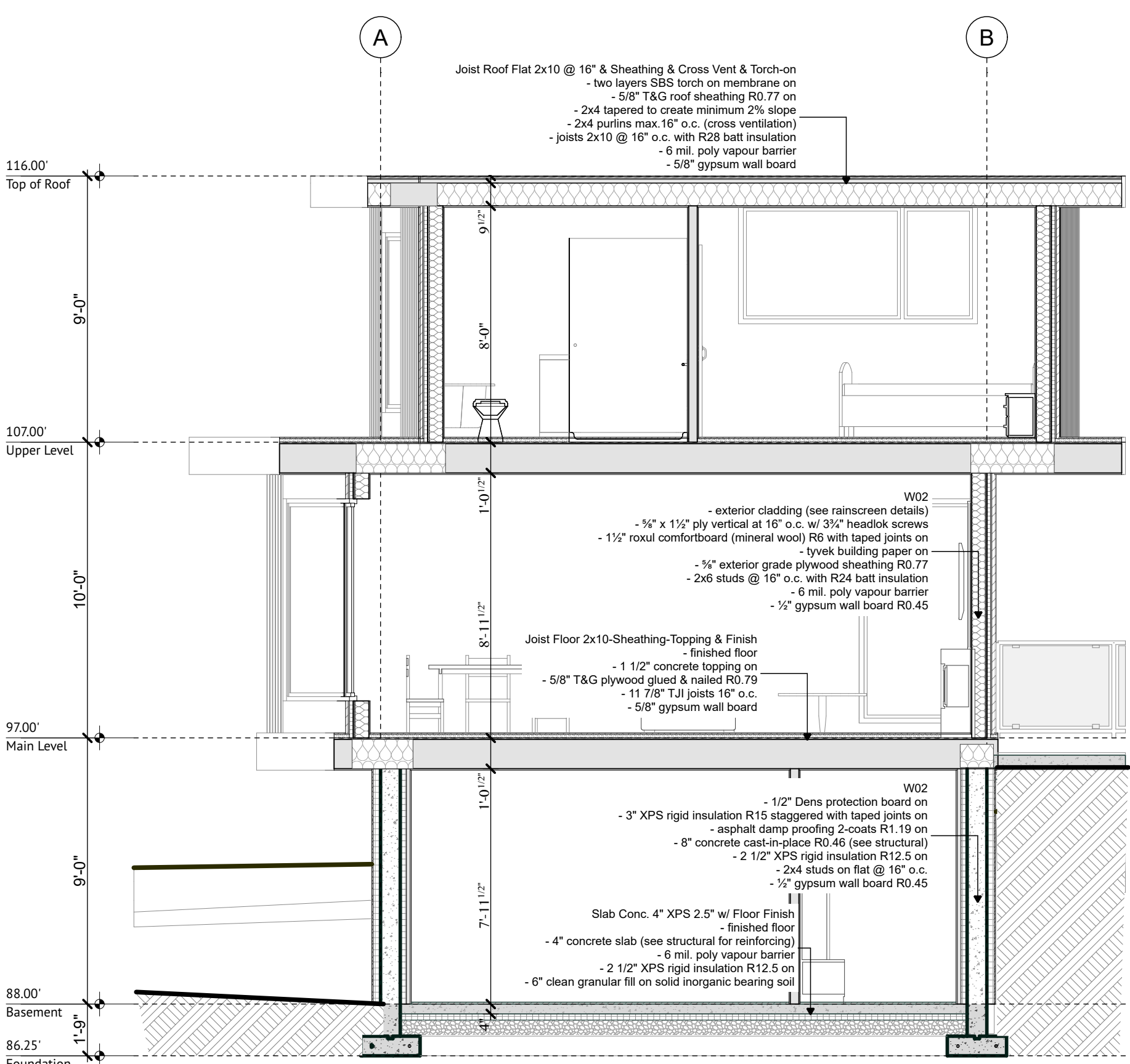
Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.bradadore.com
Doré Design & Media Solutions Inc.

Dufferin Marine Subdivision
6779 Dufferin Avenue
West Vancouver, BC

Dufferin Elevations	
Status Development Permit Revisions	Date 2021-06-01
A04	

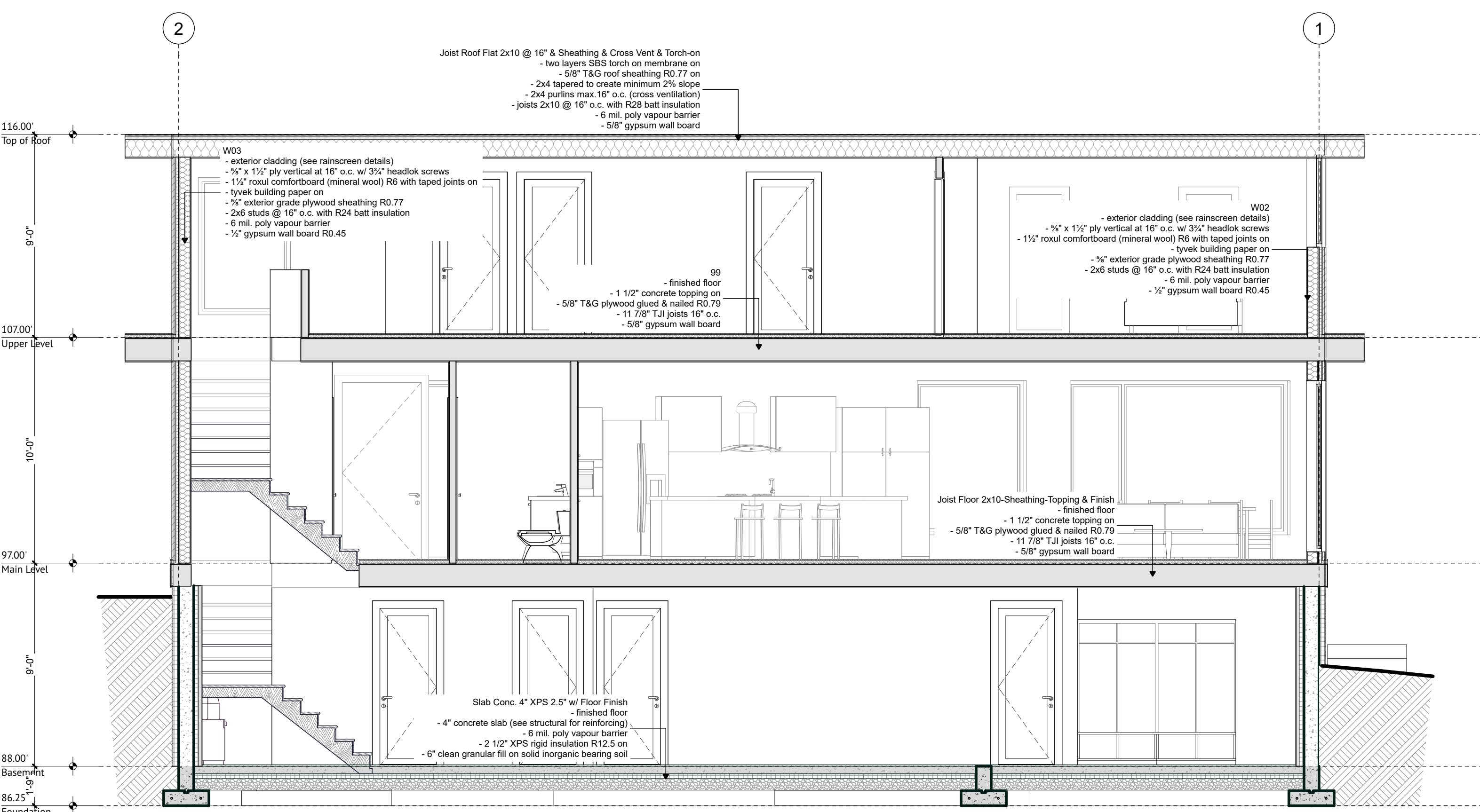
The design and specifications of all drawings conform to BCBC 2018

Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré



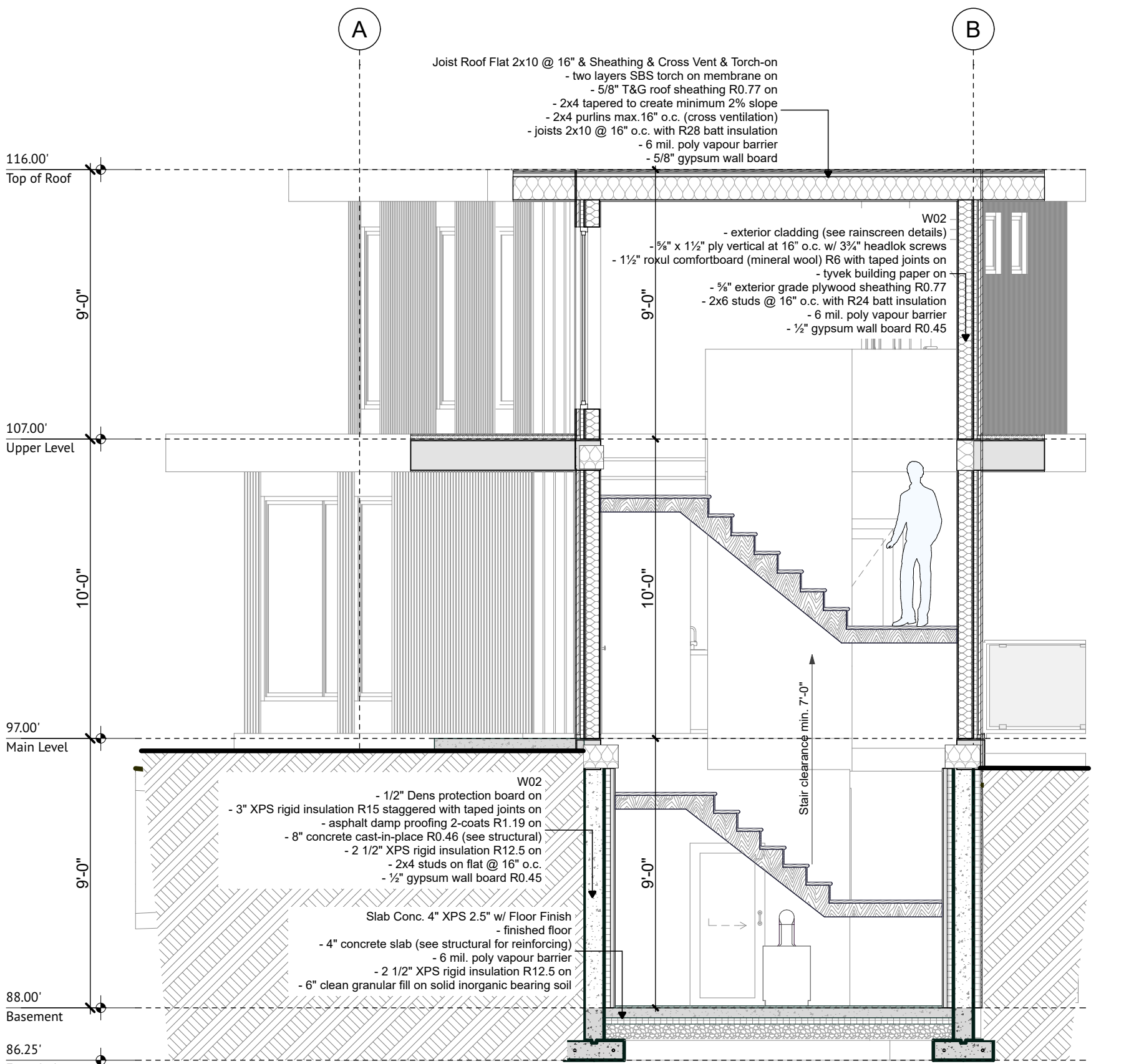
AA1 Section

1/4" = 1'-0"



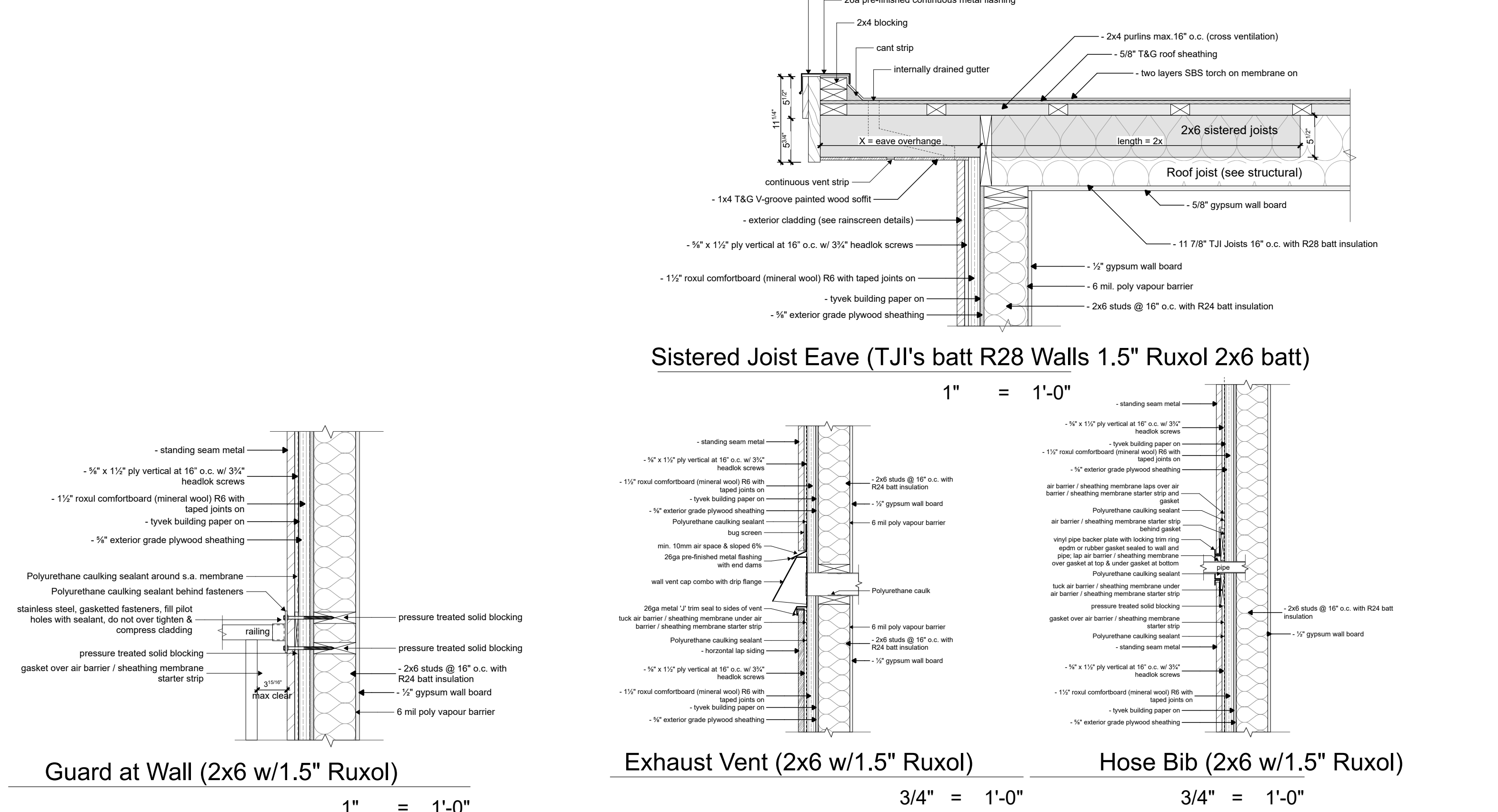
BB Section

1/4" = 1'-0"



AA2 Section

1/4" = 1'-0"



Sistered Joist Eave (TJI's batt R28 Walls 1.5" Roxul 2x6 batt)

1" = 1'-0"

Guard at Wall (2x6 w/1.5" Roxul)

1" = 1'-0"

Exhaust Vent (2x6 w/1.5" Roxul)

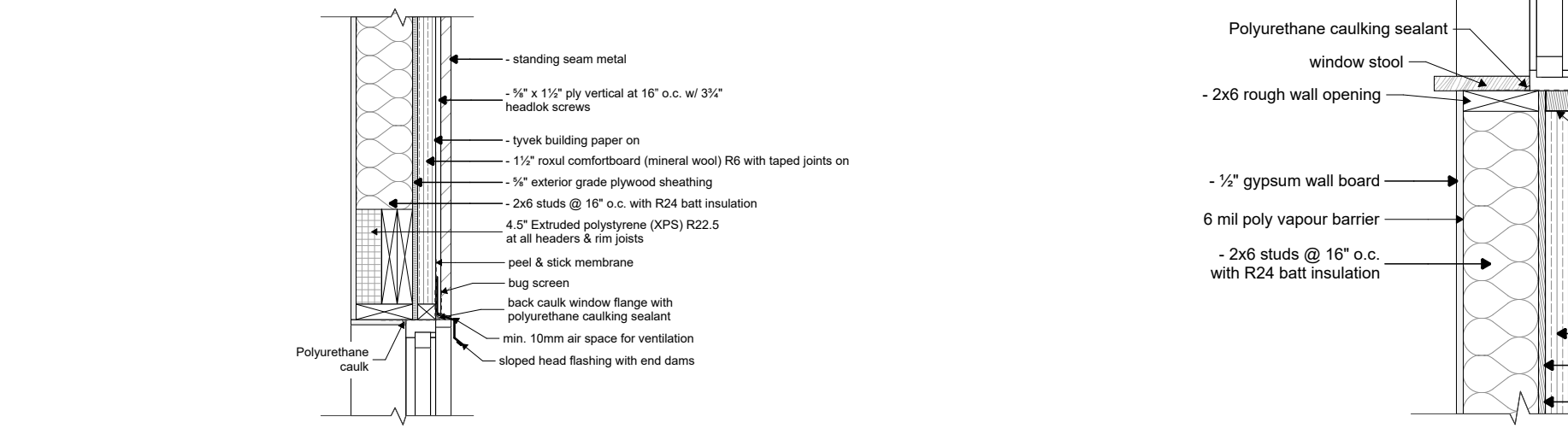
3/4" = 1'-0"

Hose Bib (2x6 w/1.5" Roxul)

3/4" = 1'-0"

Wall Assembly (1.5" Roxul w/ stucco)

1" = 1'-0"



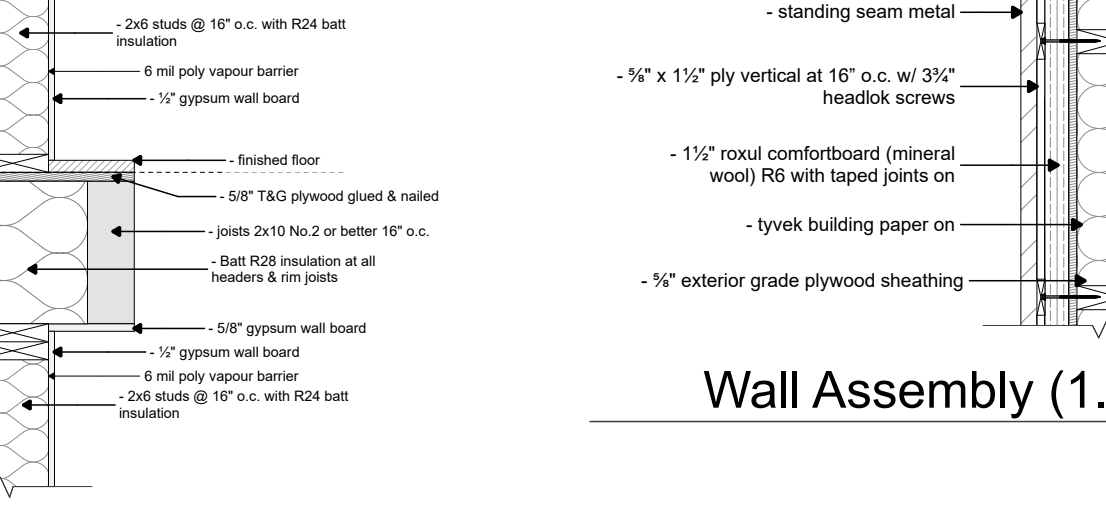
Window Head (2x6 w/1.5" Roxul)

3/4" = 1'-0"



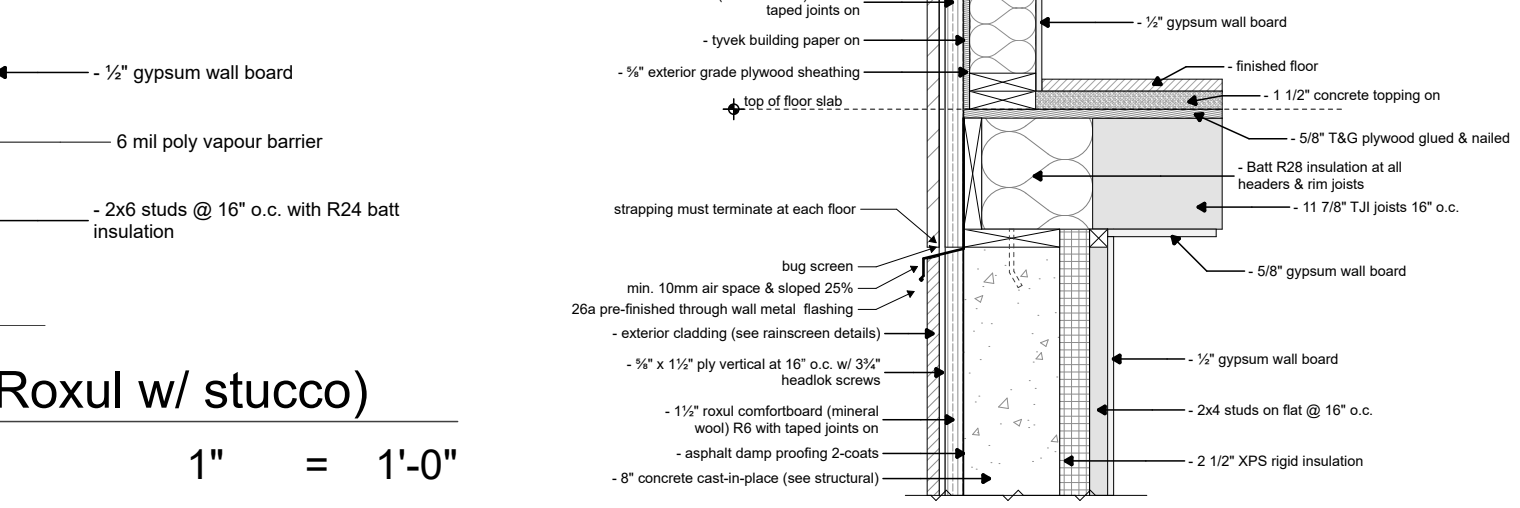
Window Sill (2x6 w/1.5" Roxul)

1" = 1'-0"



Transition (2x6 1.5" Roxul w/ vertical siding to stucco)

3/4" = 1'-0"



Foundation @ Main Floor w/1.5" Roxul (Bsmt 2.5 XPS)

3/4" = 1'-0"

Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.braddore.com
Doré Design & Media Solutions Inc.

Dufferin Marine Subdivision
6779 Dufferin Avenue
West Vancouver, BC

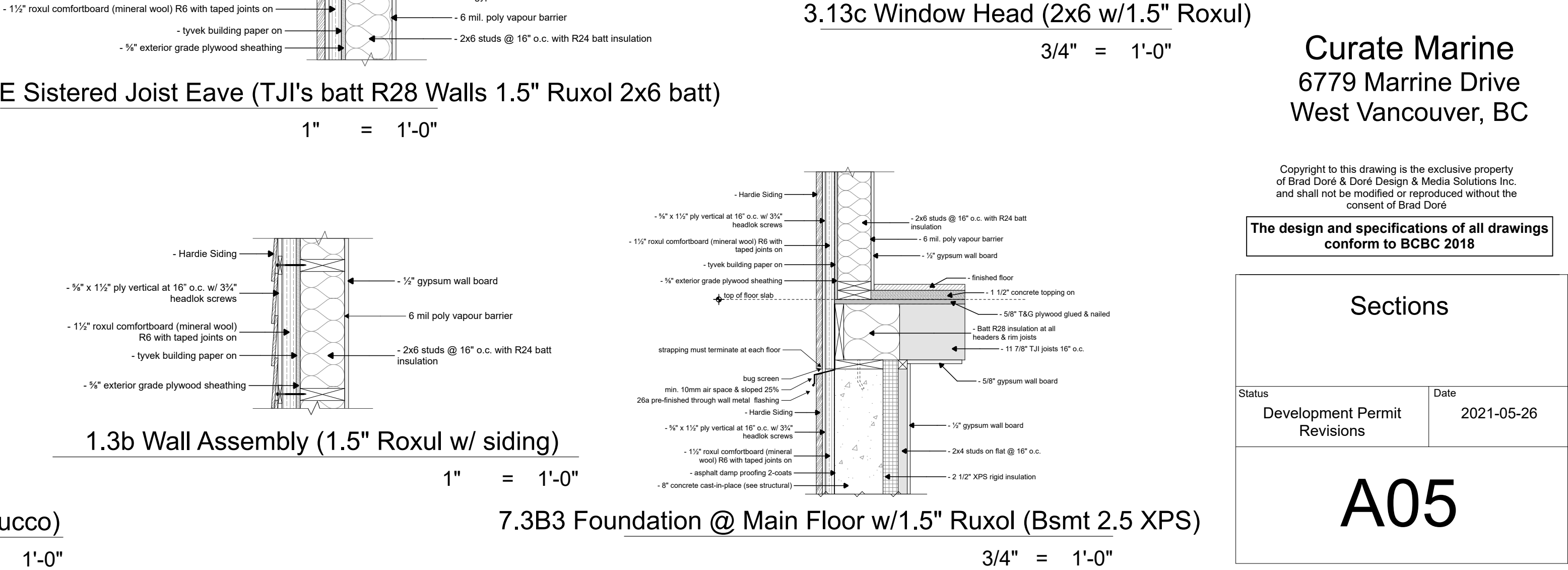
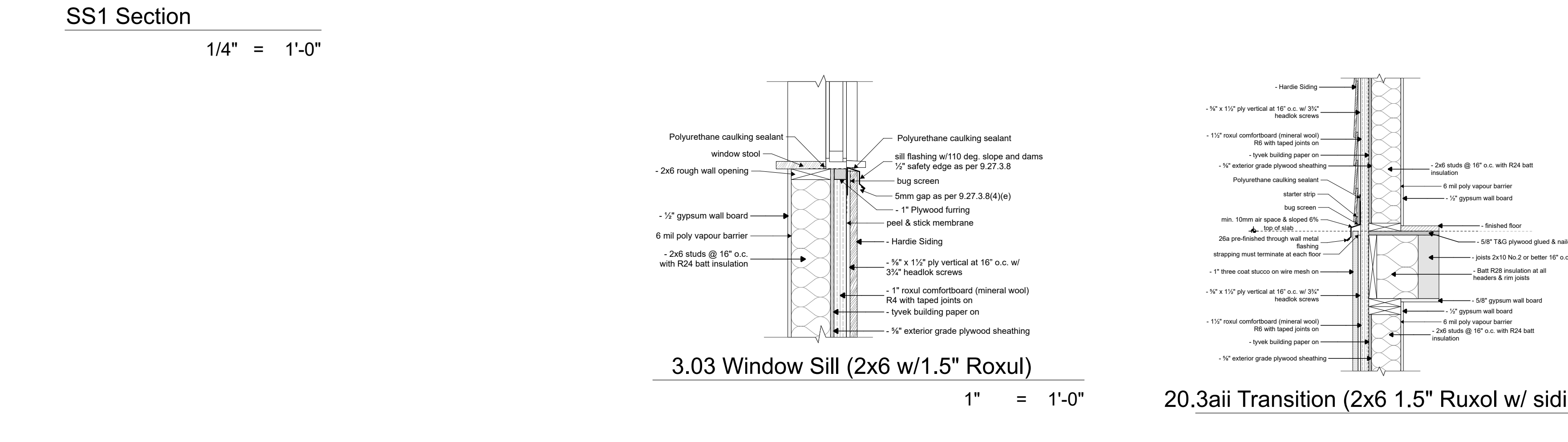
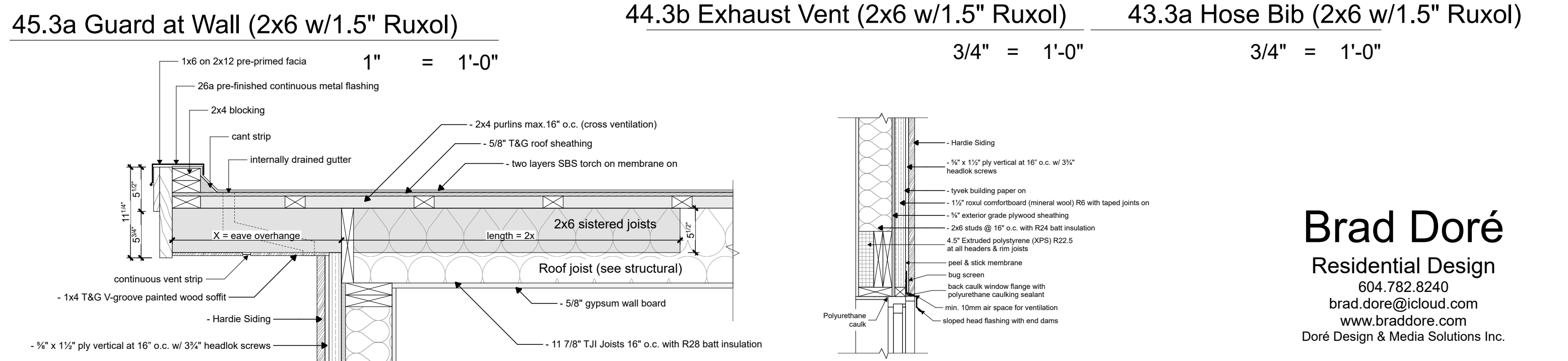
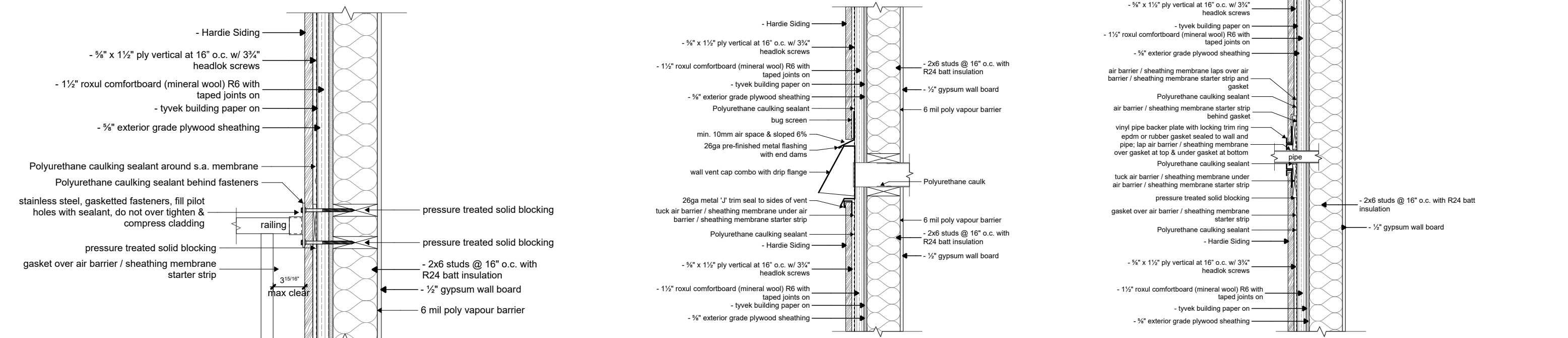
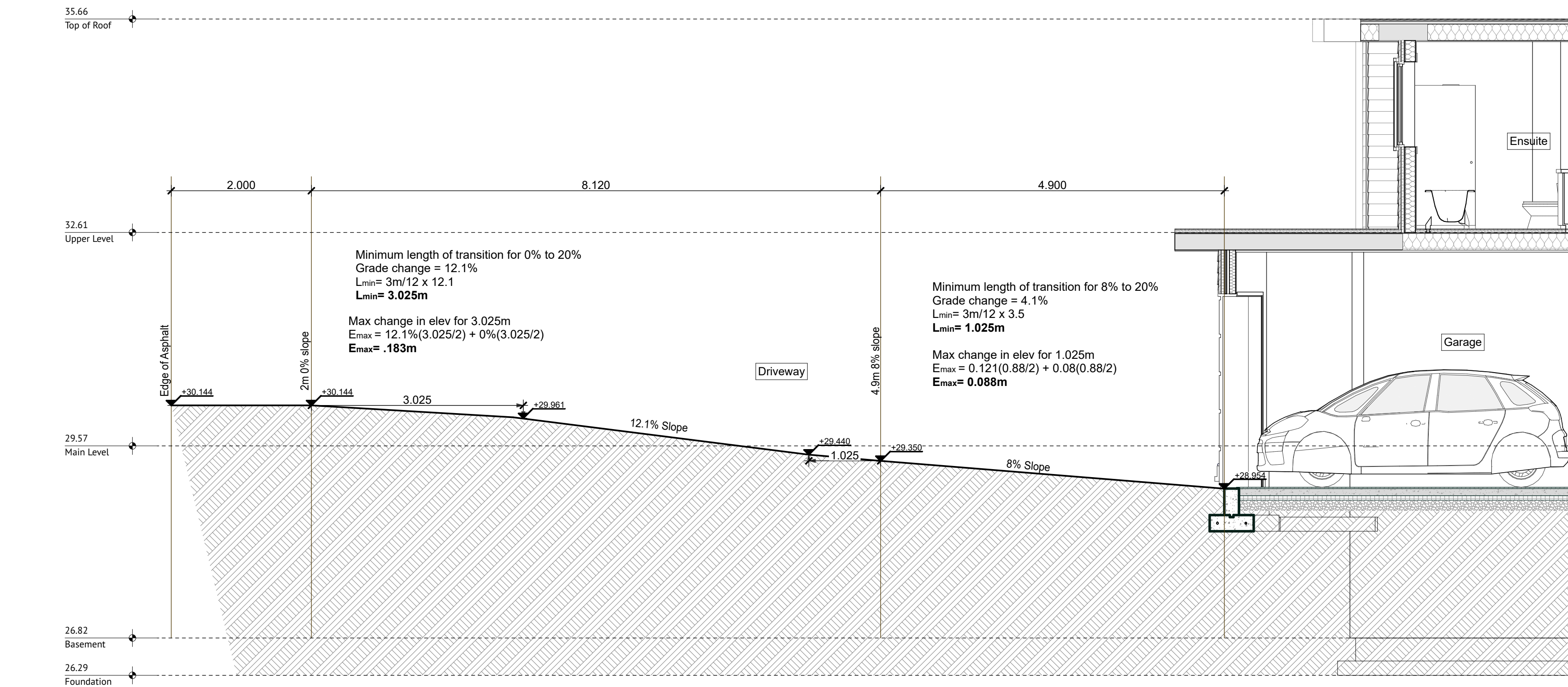
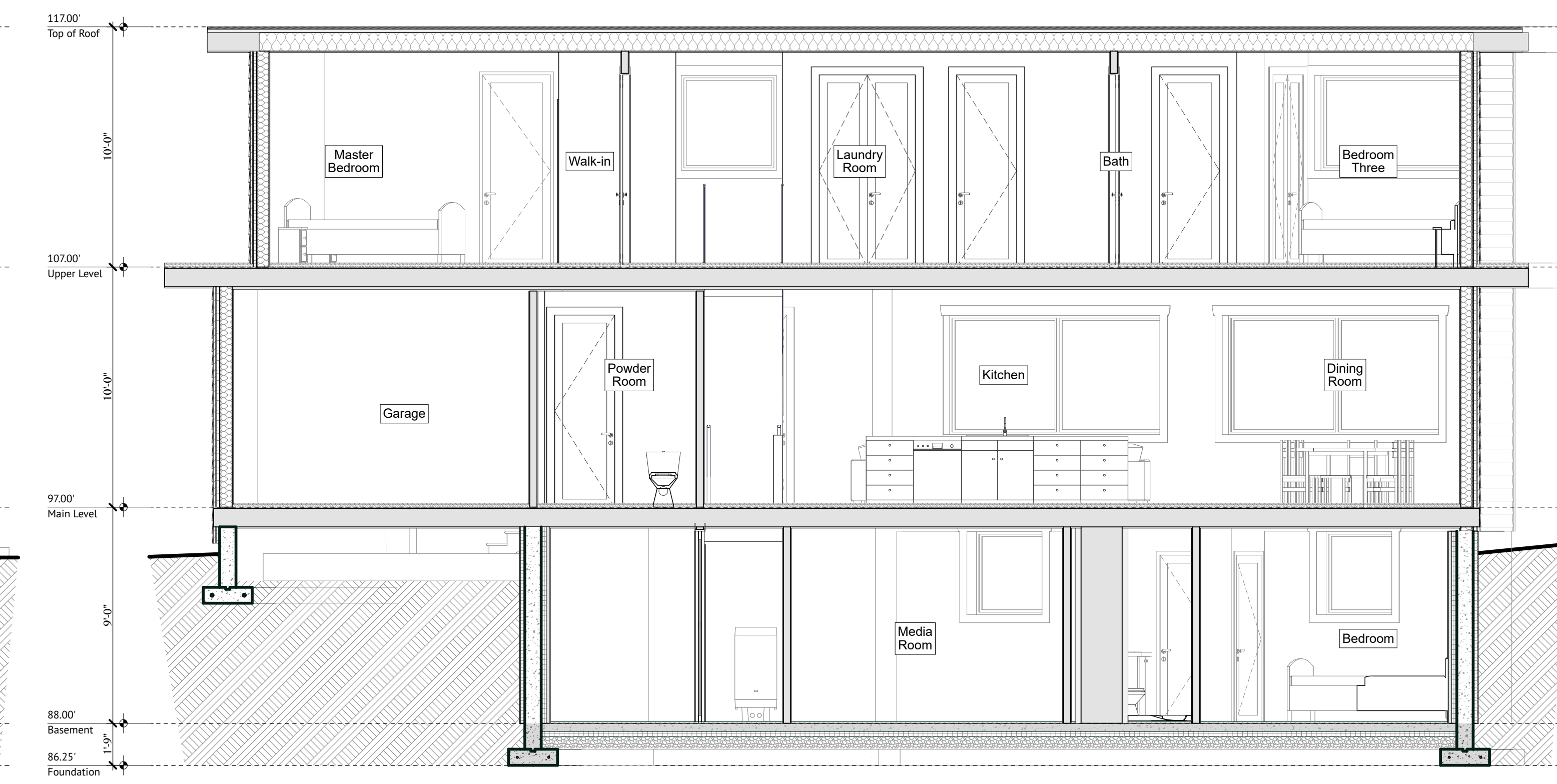
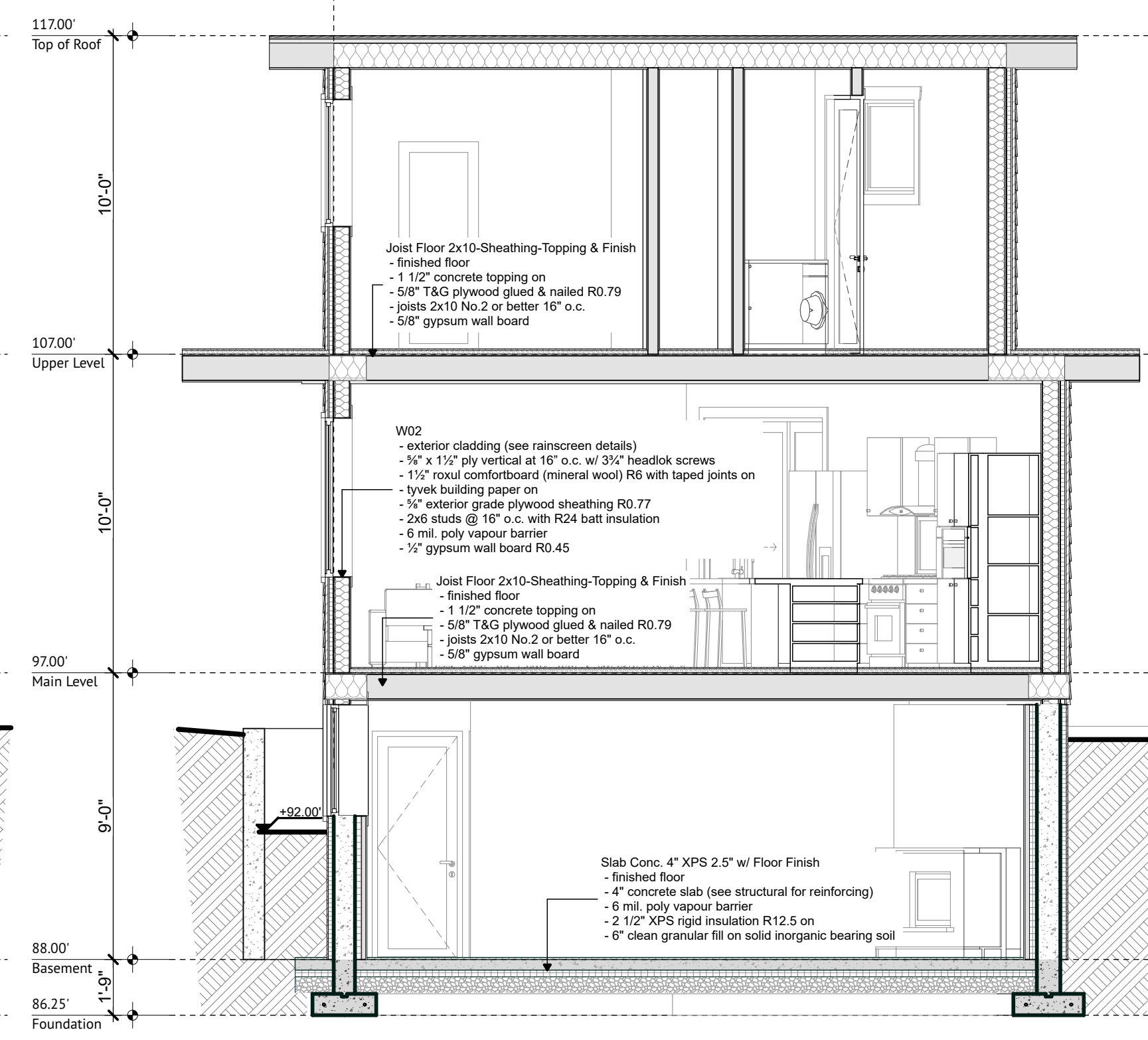
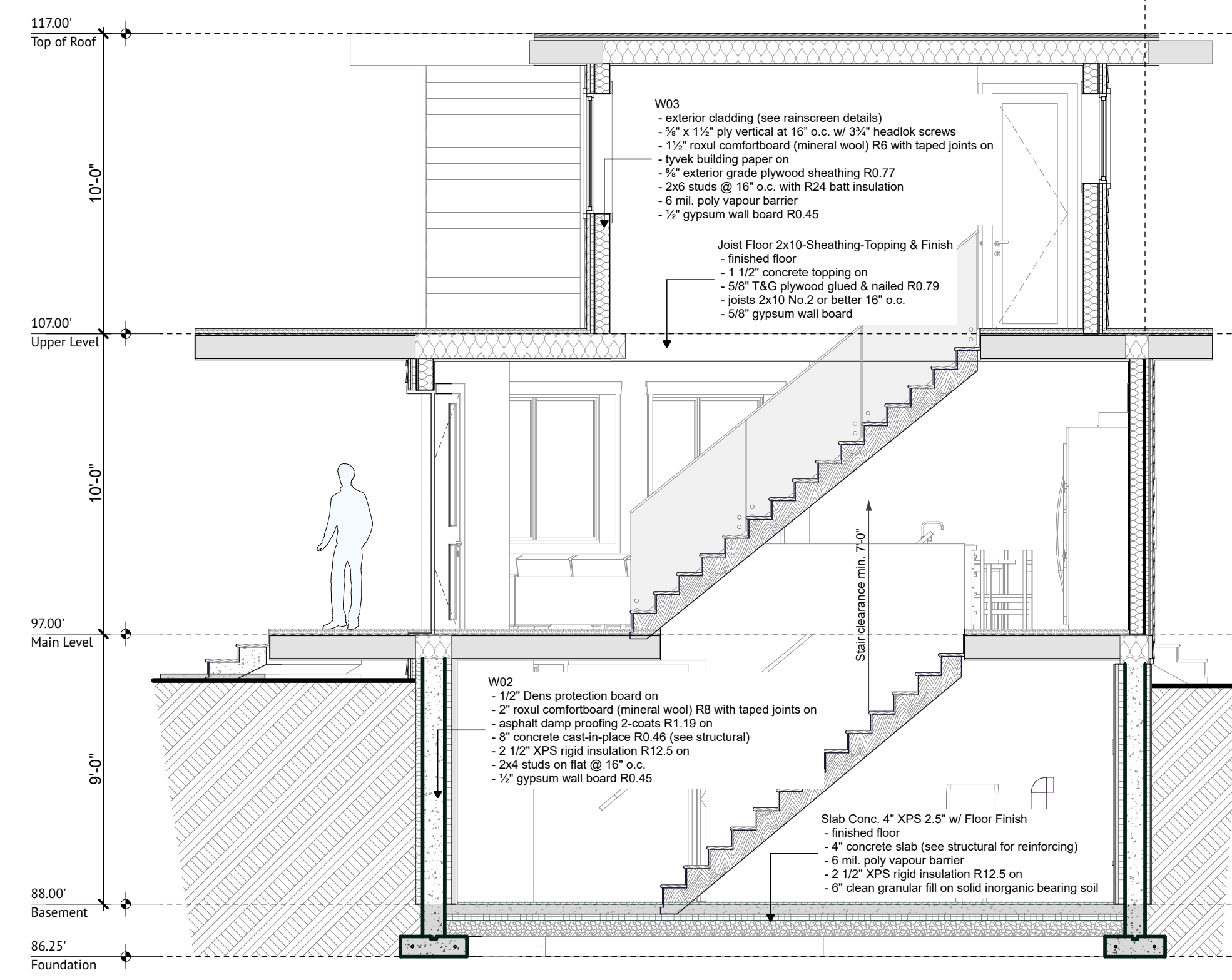
Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré

The design and specifications of all drawings conform to BCBC 2018

Dufferin Sections

Status	Development Permit	Date	2021-06-01
Revisions			

A05



Brad Doré
Residential Design
604.782.8240
brad.dore@icloud.com
www.bradore.com
Doré Design & Media Solutions Inc.

Curate Marine
6779 Marrine Drive
West Vancouver, BC

Copyright to this drawing is the exclusive property of Brad Doré & Doré Design & Media Solutions Inc. and shall not be modified or reproduced without the consent of Brad Doré

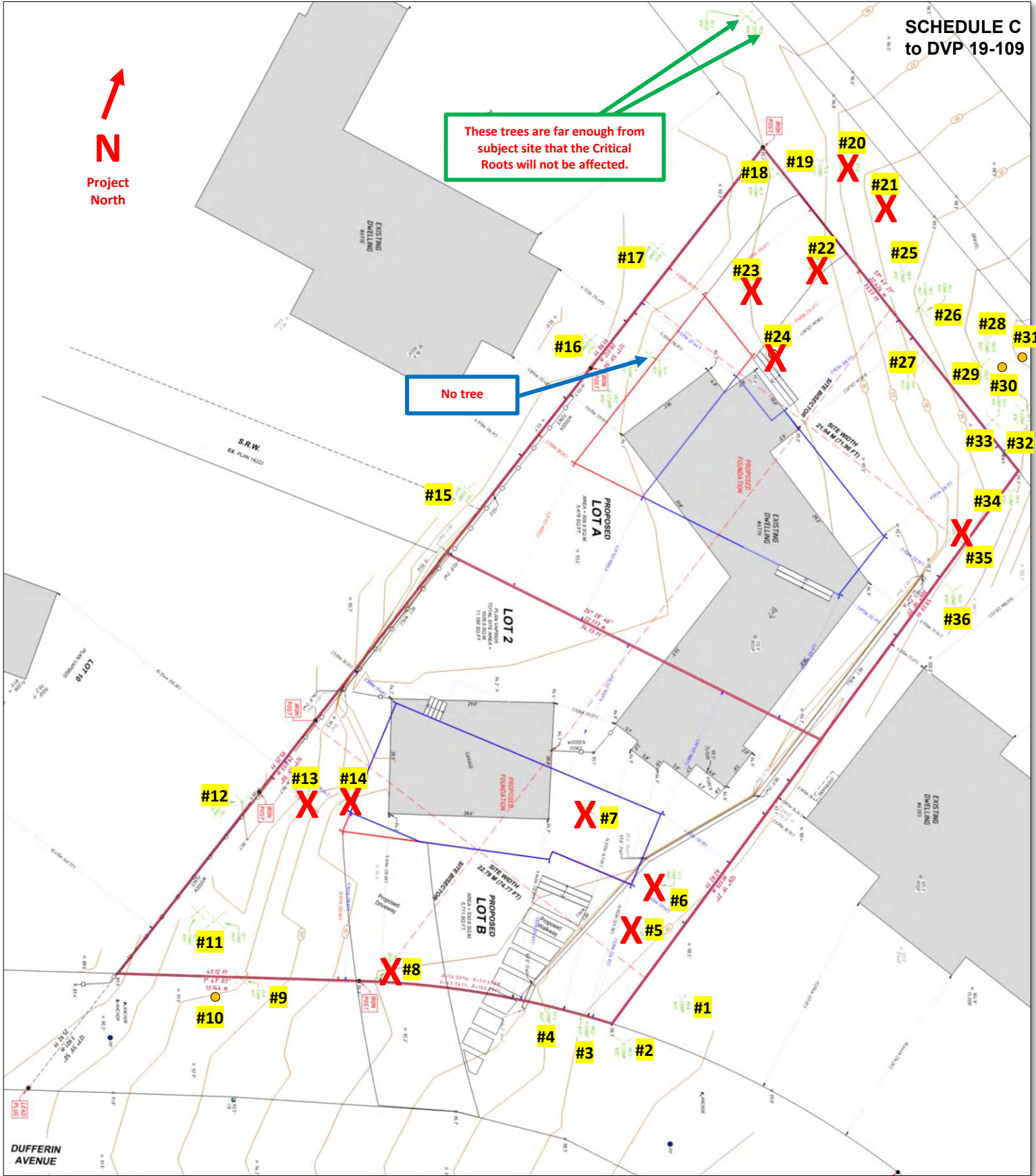
The design and specifications of all drawings conform to BCBC 2018

Sections	
Status	Date
Development Permit	2021-05-26
Revisions	
A05	

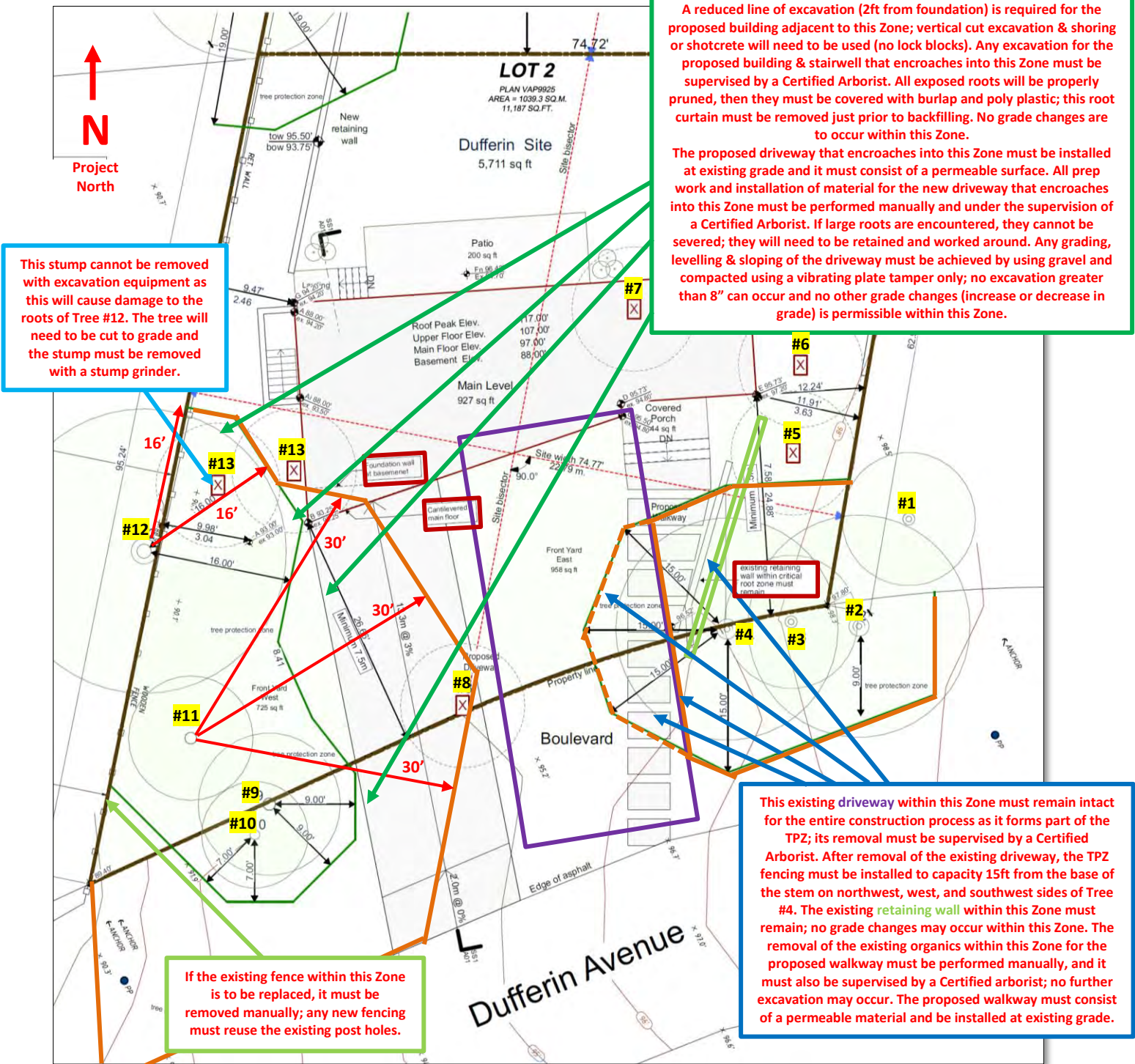


These trees are far enough from
subject site that the Critical
Roots will not be affected.

No tree



Site Survey, Not to Scale

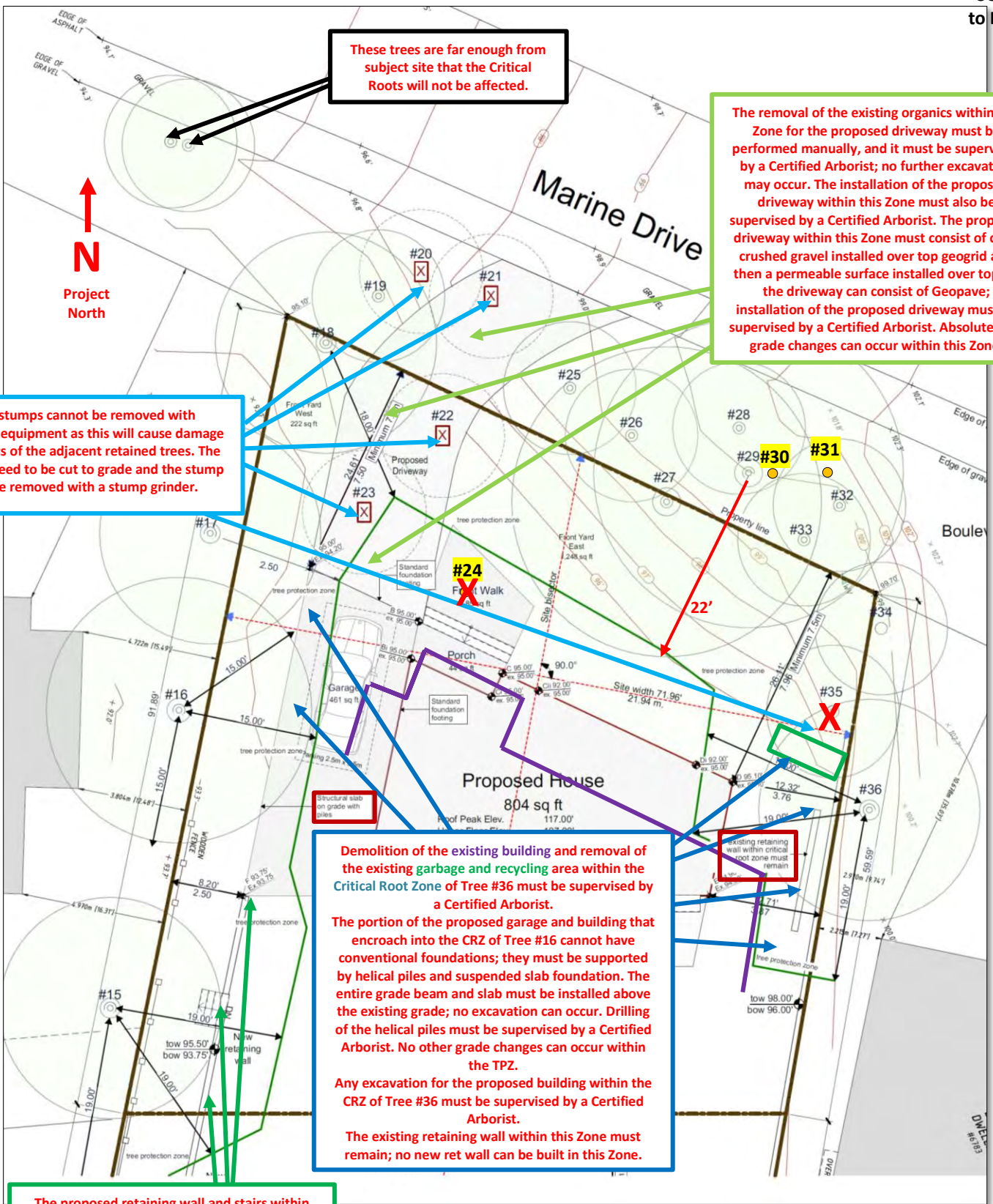


Dufferin Ave (Lot #2) Tree Management Plan, Scale 1/16" = 1'

Wildfire Hazard Area NE 1

1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
2. All chimneys and wood-burning appliances must have spark arrestors.
3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible materials should be used (concrete).

The proposed lawn that encroaches into any TPZ must be installed at or near existing grade and at least 3ft from the base of the stem of any tree. No more than 3" of additional good quality landscape soil may be added within this Zone; no further grade changes can occur.



These trees are far enough from subject site that the Critical Roots will not be affected.

The removal of the existing organics within this Zone for the proposed driveway must be performed manually, and it must be supervised by a Certified Arborist; no further excavation may occur. The installation of the proposed driveway within this Zone must also be supervised by a Certified Arborist. The proposed driveway within this Zone must consist of clear crushed gravel installed over top geogrid and then a permeable surface installed over top, or the driveway can consist of Geopave; installation of the proposed driveway must be supervised by a Certified Arborist. Absolutely no grade changes can occur within this Zone.

These stumps cannot be removed with excavation equipment as this will cause damage to the roots of the adjacent retained trees. The trees will need to be cut to grade and the stump must be removed with a stump grinder.

Demolition of the existing building and removal of the existing garbage and recycling area within the Critical Root Zone of Tree #36 must be supervised by a Certified Arborist. The portion of the proposed garage and building that encroach into the CRZ of Tree #16 cannot have conventional foundations; they must be supported by helical piles and suspended slab foundation. The entire grade beam and slab must be installed above the existing grade; no excavation can occur. Drilling of the helical piles must be supervised by a Certified Arborist. No other grade changes can occur within the TPZ. Any excavation for the proposed building within the CRZ of Tree #36 must be supervised by a Certified Arborist. The existing retaining wall within this Zone must remain; no new ret wall can be built in this Zone.

The proposed retaining wall and stairs within this Zone must be shifted farther east. Any excavation for the proposed building, retaining wall, and stairs within this Zone must be supervised by a Certified Arborist.

Marine Dr (Lot #1) Tree Management Plan, Scale 1/16" = 1'

- Wildfire Hazard Area NE 1**
1. All eaves, attics, roof vents, and openings under floors must be screened to prevent the accumulation of combustible material, using 3-mm, non-combustible wire mesh, and vent assemblies should use fire shutters or baffles.
 2. All chimneys and wood-burning appliances must have spark arrestors.
 3. Building design and construction to be consistent with National Fire Protection Association wildfire protection standards.
 4. New hydro servicing must be underground, or where this is not feasible, poles of non-combustible materials should be used (concrete).