

# THE BEACH HOUSE

LOT B, BLOCK 31, DISTRICT LOT 555 PLAN 6907

150-25TH STREET, WEST VANCOUVER, BRITISH COLUMBIA



## DRAWING LIST:

### ARCHITECT

LOVICK SCOTT ARCHITECTS LTD.  
3707 1st AVENUE,  
BURNABY, B.C., V5C 3V6  
(tel) 604.298.3700  
(e-mail) admin@lovickscott.com

- A0 COVER SHEET
- A0.1 GENERAL NOTES / CODE ANALYSIS
- AS1 SITE PLAN
- A1.0 GROUND FLOOR PLAN EXISTING DEMO
- A1.1 GROUND FLOOR PLAN
- A1.2 SECOND FLOOR PLAN EXISTING DEMO
- A1.3 SECOND FLOOR PLAN
- A1.4 ROOF PLAN EXISTING DEMO
- A1.5 ROOF PLAN
- A1.6 BASEMENT PLAN
- A2.0 EXTERIOR ELEVATIONS SOUTH/EAST
- A2.1 EXTERIOR ELEVATIONS NORTH/WEST
- LS1.0 CONCEPTUAL PLANTING PLAN

### STATEMENT OF INTENT

THE GOAL OF THIS RENOVATION IS TO PROVIDE AN ELEVATED DINING EXPERIENCE FOR ALL MEMBERS OF THE WEST VANCOUVER COMMUNITY, WHILE ENSURING HISTORICAL CONSISTENCY AND PUBLIC SAFETY.

#### STRUCTURE

LSA AND THE EARLS TEAM IS PROPOSING THE PROVISION OF A NEW 64 SQ.M TWO STORY ADDITION TO PROPERLY HOUSE THE EXISTING FOOD PREPARATION SPACE. THIS ADDITION WILL ALSO INCLUDE A NEW ELEVATOR TO THE SECOND FLOOR, ALONG WITH AN UPGRADED ELECTRICAL ROOM AND 4 NEW WASHROOMS. THE EXISTING MAIN FLOOR FIREPLACE AND SECOND FLOOR MARQUEE WILL BE REMOVED, AND A NEW LINE OF GLAZING INSTALLED ON THE SOUTH ELEVATION OF THE DINING ROOM.

#### EXTERIOR SPACES

LSA AND THE EARLS TEAM PROPOSES THE INSTALLATION OF A NEW ACCESSIBLE RAMP BETWEEN THE NEW ADDITION AND THE FRONT PATIO, TO ENSURE ALL PUBLIC SPACES ARE ACCESSIBLE FOR ALL PATRONS MAKING THE BEACH HOUSE IS A BARRIER FREE ESTABLISHMENT. THE FRONT PATIO WILL BE RESURFACED TO PROVIDE A CONSISTENT FINISH. WE ALSO PROPOSE NEW PERIMETER GLAZING AND PERGOLA WITH AN OVERHEAD RETRACTABLE AWNING TO BE ADDED TO THE FRONT PATIO (REFER TO HERITAGE REVIEW FOR ADDITIONAL DETAILS).

#### WALK WAYS, ACCESS ROUTES AND FIRE SEPARATION

TO ENSURE EXISTING EXIT ROUTES MEET CODE REQUIREMENTS WE PROPOSE TO REBUILD THE SECOND FLOOR EXTERIOR STAIRS. THIS REBUILD WILL INCLUDE A NEW RUN AND RAKE COMPLIANT WITH BCBC2012. TO GUARANTEE SAFE CIRCULATION BETWEEN FLOORS WE PROPOSE THE REPLACEMENT OF THE EXISTING MAIN TO FIRST FLOOR HANDRAIL RAIL WITH A NEW HANDRAIL COMPLIANT WITH BCBC2012. TACTILE WARNING STRIPS WILL BE INSTALLED AS REQUIRED. WE ALSO PROPOSE A NEW CONFIGURATION, RAILING AND SURFACE FOR THE STAIRS LEADING OFF THE FRONT PATIO. PROVISION OF PANIC HARDWARE ON ALL EXIT DOORS. INSTALLATION OF NEW FIRE DOOR AND FIRE RATED STAIRWELL TO ENSURE FIRE SEPARATION BETWEEN THE BASEMENT AND MAIN FLOOR, AS WELL AS REPAIRING THE FLOOR IN FRONT OF THE EXISTING EXIT DOOR IN THE BASEMENT. WE PROPOSE ADDING A NEW FIRE RATED ENCLOSURE FOR THE HOT WATER TANK.

#### MECHANICAL AND ELECTRICAL UPGRADES

TO ENSURE PROPER PROVISION TO THE BUILDING, WE WILL BE UPGRADE THE BUILDING TO A NEW 800-AMP SERVICE, INSTALLING SMOKE DETECTOR IN THE BASEMENT AND THROW OUT THE NEW ADDITION. WE PROPOSE REMOVAL OF REDUNDANT WIRING AND PIPING IN THE BASEMENT CEILING. INSTALLATION OF NEW MAIN FLOOR PLUMBING STACKS, BASEMENT DRAIN LINES AND MAIN FLOOR HEAT PUMP AND GREASE INTERCEPTOR. EXISTING AND NEW ROOFTOP CONDENSER UNITS WILL BE RELOCATED BEHIND A NEW PARAPET TO IMPROVE THE NORTH ELEVATION.

### HERITAGE REVIEW

DUE TO THE IMPORTANCE OF THE CLACHAN, AS A KEY HERITAGE BUILDING AND A LAND MARK ON THE WEST VANCOUVER SEA WALL, LSA AND THE EARLS DESIGN TEAM HAVE TAKEN EXTENSIVE STEPS TO ENSURE THAT THE SCOPE OF WORK PROPOSED FOR THE EXTERIOR CONTINUES WITH THE EVOLUTION OF THIS SPACE WITHOUT COMPROMISING THE ORIGINAL EDWARDIAN DESIGN AND HERITAGE OF THE BUILDING.

WITH THE NEW ADDITION, WE TOOK PARTICULAR CARE TO ENSURE THAT THE NEW AND EXISTING FACADE BLEND SEAMLESSLY. WE PROPOSE TO ACHIEVE THIS BY REPLICATING THE EDWARDIAN ARCHITECTURAL FEATURES FOUND ON THE EXISTING GABLES, INCLUDING BAY AND SIDING DETAILS, ROOF LINES, WINDOW SIZES, TRIM DIMENSIONS AND COLOUR. IN ADDITION, WE WANT TO ENSURE THAT ALL FINISHES USED MATCH THE ORIGINAL BUILDING. THIS WILL ENSURE THAT, WHEN VIEWED FROM THE SURROUNDING PUBLIC SPACES, THE BUILDING IS CONSIDERED A SINGLE STRUCTURE.

TO THAT END, WE WANT TO ENSURE THAT THE PROPOSED PERGOLA GIVES THE IMPRESSION OF BEING PART OF THE ORIGINAL BUILDING. TO ACHIEVE THIS, WE ARE PROPOSING A WOODEN STRUCTURE WITH TRADITIONAL COLUMN AND BEAM DETAILING. BOTH THIS AND THE SURROUNDING WINDOW TRIMS WILL BE PAINTED WHITE TIMBER TO MATCH THE HERITAGE TRIM COLOUR.

FINALLY, WE BELIEVE THAT A FEW OF THE NEWER DETAILS DO NOT FIT THE ORIGINAL HERITAGE; BY REMOVING THE FIRE PLACE AND RESTORING THE FULL RUN OF WINDOWS, IT IS OUR OPINION THAT WE ARE STAYING TRUE TO THE ORIGINAL DESIGN INTENT OF PROVIDING UNINTERRUPTED VIEWS OF THE BURRAD INLET. IN ADDITION, WE ARE PROPOSING TO REMOVE THE EXTERIOR AWNING AND SECOND FLOOR MARQUEE, WHICH WILL ENSURE CONSISTENCY WITH THE ORIGINAL HERITAGE.

### PLANTING PROVISIONS

LSA & EARLS WILL COORDINATE WITH A LANDSCAPE ARCHITECT AND THE DISTRICT PARK BOARD TO ENSURE THAT ALL TENANT PLANTING COORDINATES WITH THE SURROUNDING PUBLIC PLANTING. PLEASE SEE LS-1 FOR CONCEPT SUGGESTIONS AND PLANTER LOCATIONS. FOR THE NEW AND EXISTING PLANTING BOXES WE PROPOSE A COMBINATION OF HERB BUXIFOLIA, CHISYA TERNATE, BLUE SPRUCE AND LYSIMACHIA AUREA TO CREATE A OF SUBTLE MIX OF COLOUR'S AND TEXTURES. FOR THE TWO LARGER PLANTING BEDS AT THE FOOT OF THE PATIO STAIR WE PROPOSE ADDING SOME PHORMIUM TENAX PURPUREA AND ANNUALS TO THE MIX, ENSURING CONSISTENCY WITH THE CITY BED LOCATED TO THE SOUTH OF THE PATIO.

REGARDING THE CITY OWNED PLANTING BED. THE GENERAL CONTRACTOR WILL WORK CLOSELY WITH THE PARKS TEAM TO ENSURE THAT ALL PERENNIALS ARE PROPERLY PROTECTED OR RELOCATED UNDER THE DIRECTION OF THE PARK BOARD, FOR THE DURATION OF THE RENOVATION. THE GENERAL CONTRACTOR WILL ALSO ENSURE THAT THE BED ITSELF IS NOT CONTAMINATED DURING DEMOLITION OR CONSTRUCTION. ONCE MAJOR CONSTRUCTION HAS FINISHED ON THE EXTERIOR OF THE BUILD AND SITE HOARDING IS REMOVED THE GENERAL CONTRACTOR WILL COORDINATE REPLANTING OF THIS BED WITH THE PARKS TEAM TO ENSURE MINIMUM PUBLIC DISTURBANCE. THE GENERAL CONTRACTOR WILL ALSO ENSURE THAT ADEQUATE PROTECTION IS PROVIDED TO ALL TREES REMAINING ON SITE. THE GENERAL CONTRACTOR WILL ALSO ENSURE THAT ANY CITY GREENSCAPE OR HARDSCAPE IS PROTECTED AS REQUIRED AND THIS PROTECTION IS REMOVED ONCE WORK IN THAT SPECIFIC AREA IS COMPLETED TO ENSURE MINIMUM PUBLIC DISTURBANCE.

## CONSULTANT LIST:

### ELECTRICAL

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### MECHANICAL / PLUMBING

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(email) -pauld@bycar.ca

### STRUCTURAL

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### LEGAL SURVEY

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### LANDSCAPE

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### INTERIOR DESIGN

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### ARBORIST REPORT

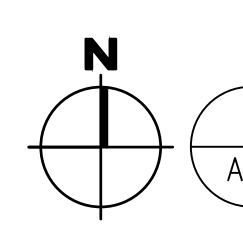
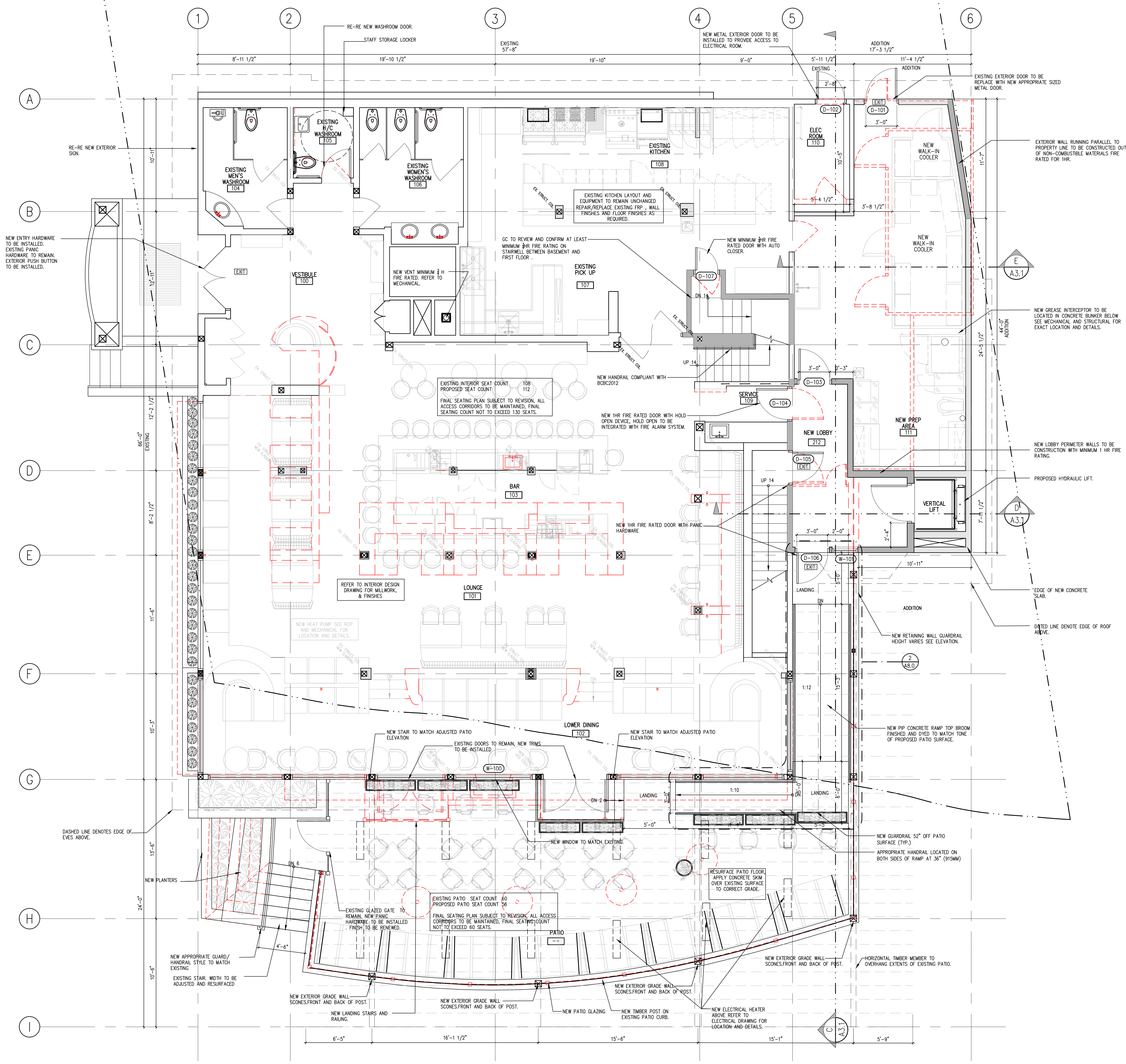
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(tel) - 604.230.4711  
(fax) - 604.886.2718  
(email) -mills@dccnet.com

ISSUED FOR REZONING READING - JULY 6, 2018

18-026 BEACH HOUSE EARLS - C.R.P.

18-026 THE BEACH HOUSE, 150-25TH ST, WEST VANCOUVER





**1 PROPOSED GROUND FLOOR PLAN**  
A1.1 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
JUN 08/18		ISSUED FOR DRC
MAY 19/17		TO CITY MEETING
MAY 15/17		ISSUED FOR VARIANCE
MAR 13/17		TO CITY REVIEW
JAN 09/17		PRELIMINARY REVIEW

CONSULTANT SEAL

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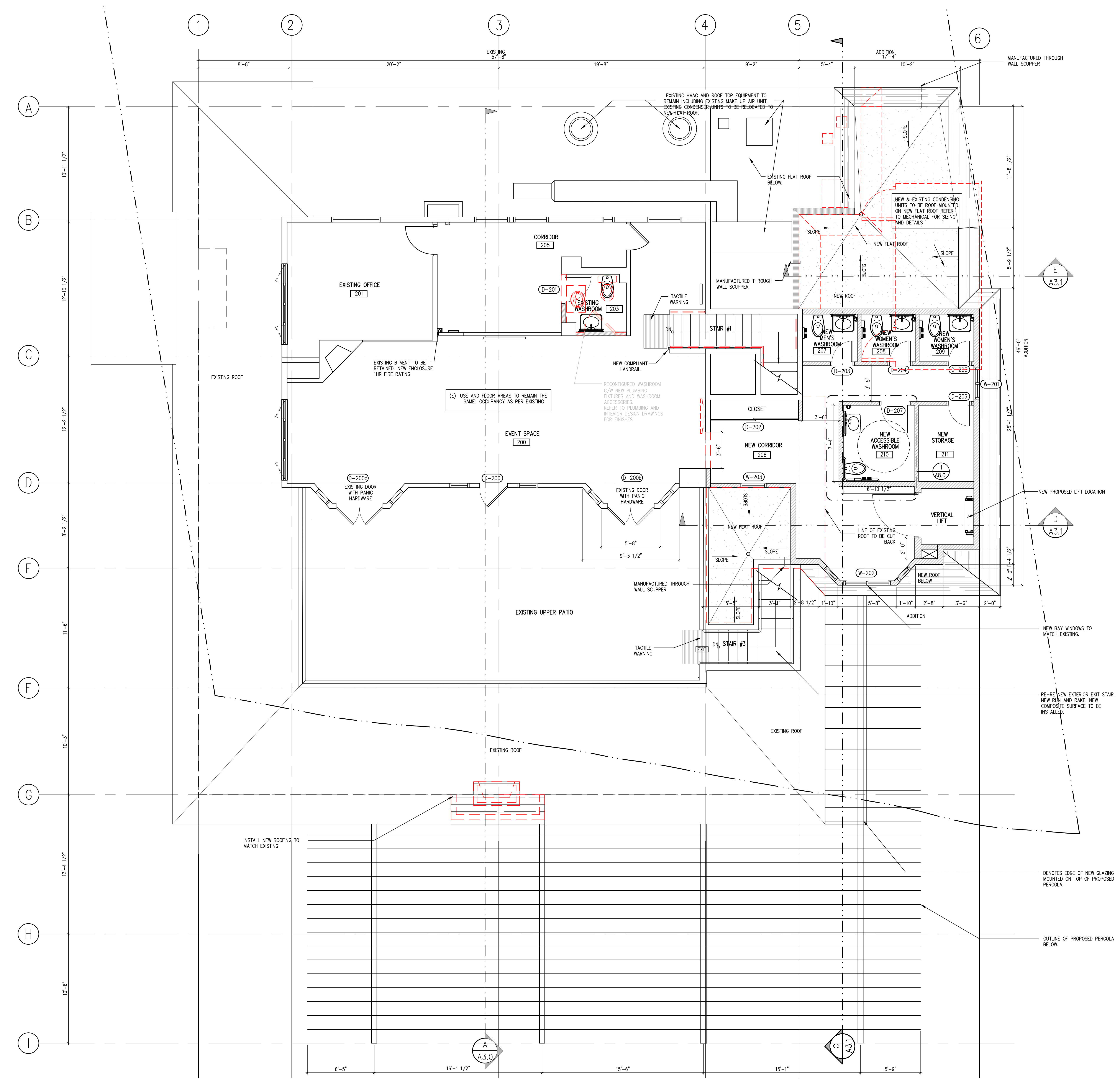


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ARCHITECTURAL SEAL

APPROVED  
DRAWN BY  
RS/JIS  
PROJECT  
**BEACH HOUSE**  
150 25TH STREET, WEST VANCOUVER, B.C.

PROJECT NUMBER	DRAWING NUMBER
16-085	A1.1
SCALE	1/4" = 1'-0"
DATE	JUNE 8TH 2018
REVISION	

PROPOSED GROUND FLOOR PLAN



REV	DATE	DESCRIPTION
JUN 08/18		ISSUED FOR DRC
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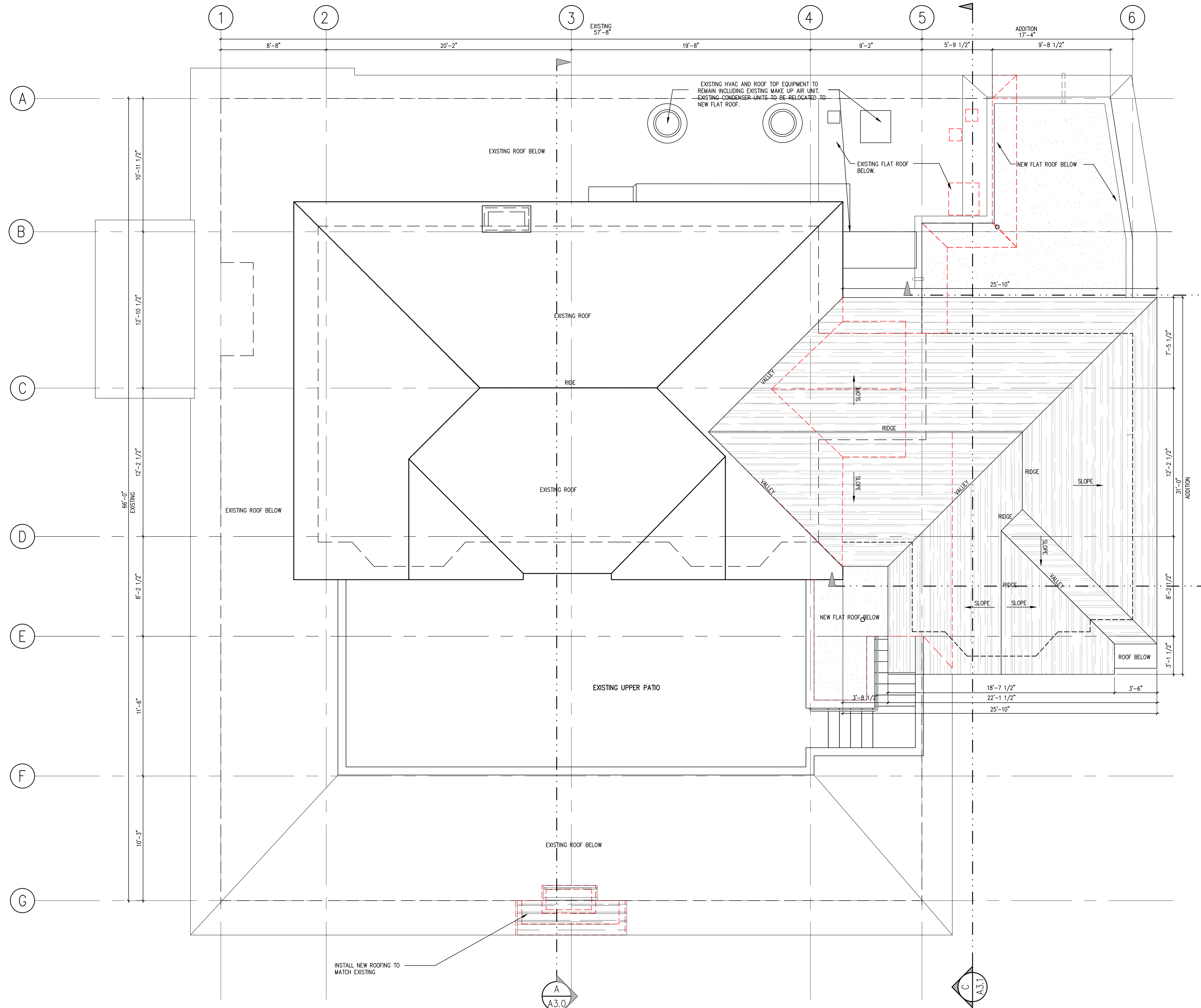
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PROJECT: BEACH HOUSE  
 150 25TH STREET, WEST VANCOUVER, B.C.

1 PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

PROJECT NUMBER	DRAWING NUMBER
16-085	A1.3
SCALE	1/4" = 1'-0"
DATE	REVISION
JUNE 8TH 2018	



REV	DATE	DESCRIPTION
JUN 08/18		ISSUED FOR DRC
MAY 19/17		TO CITY MEETING
MAY 15/17		ISSUED FOR VARIANCE
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JAN 09/17		PRELIMINARY REVIEW

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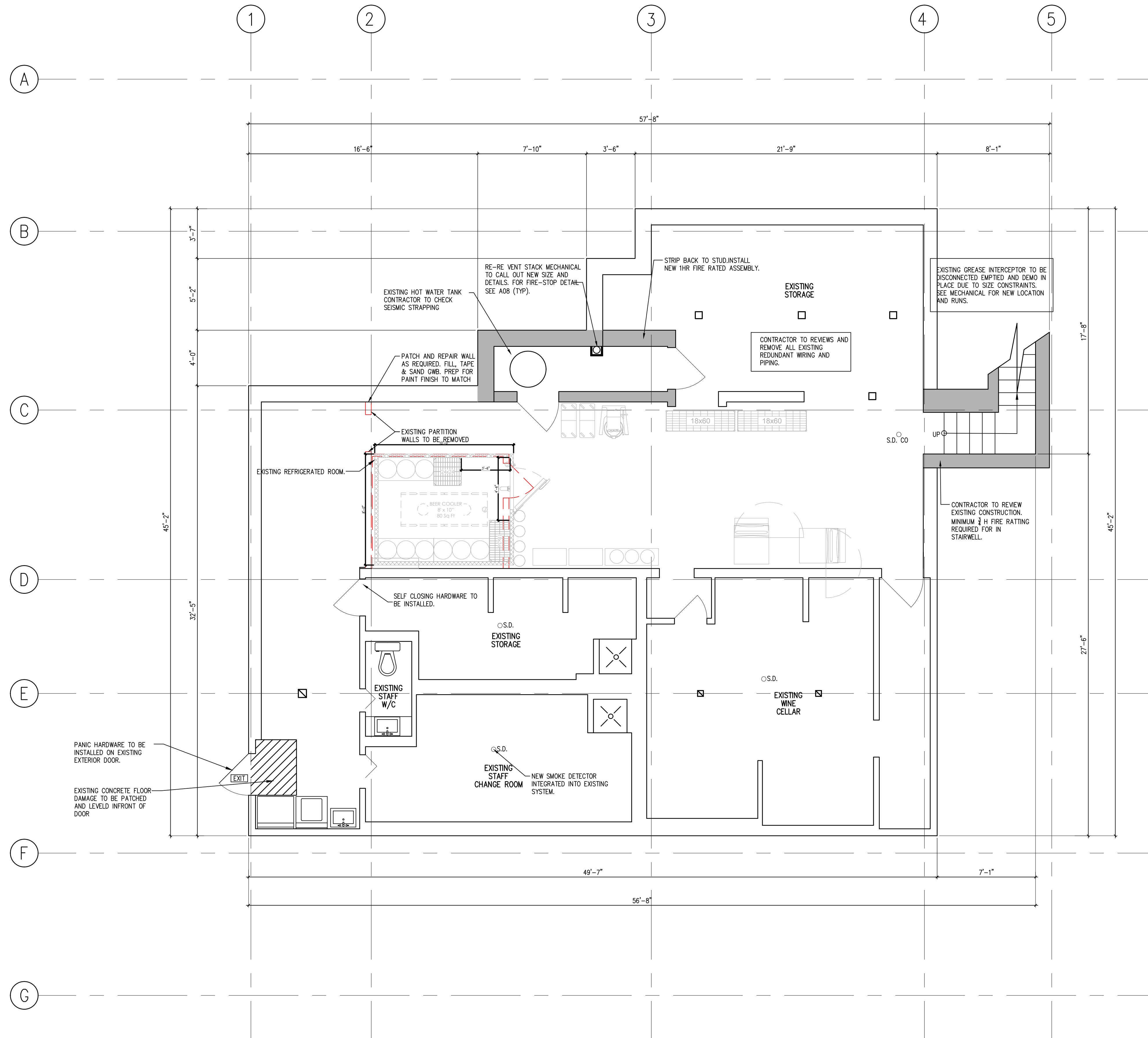
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1 PROPOSED ROOF PLAN  
 SCALE: 1/4" = 1'-0"

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RS/JS  
 PROJECT  
 BEACH HOUSE  
 150 25TH STREET, WEST VANCOUVER, B.C.

PROJECT NUMBER	DRAWING NUMBER
16-085	A1.5
SCALE	REVISION
1/4" = 1'-0"	
DATE	REVISION
JUNE 8TH 2018	



1 PROPOSED BASEMENT PLAN  
 A1.6 SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
JUN 08/18		ISSUED FOR DRC
MAY 19/17		TO CITY MEETING
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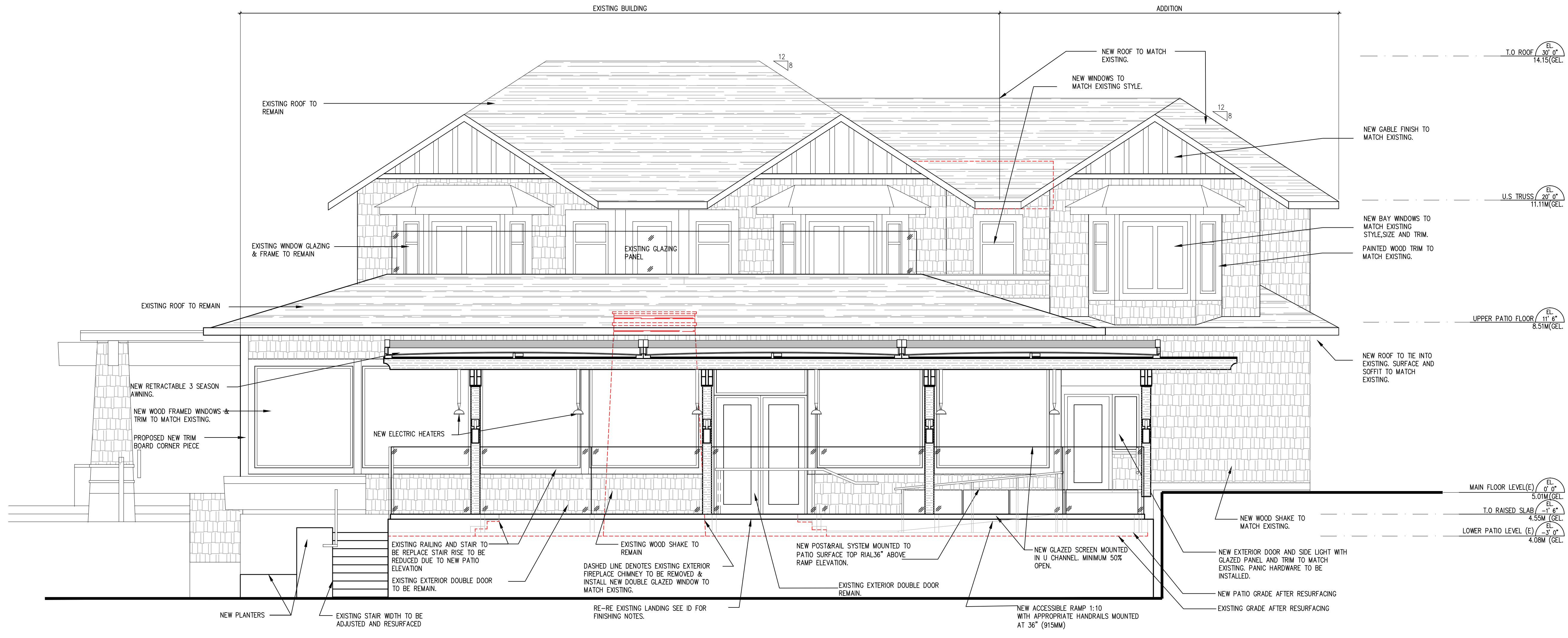


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DRAWN BY: JS APPROVED: LSA

PROJECT: BEACH HOUSE  
 150 25TH STREET, WEST VANCOUVER, B.C.

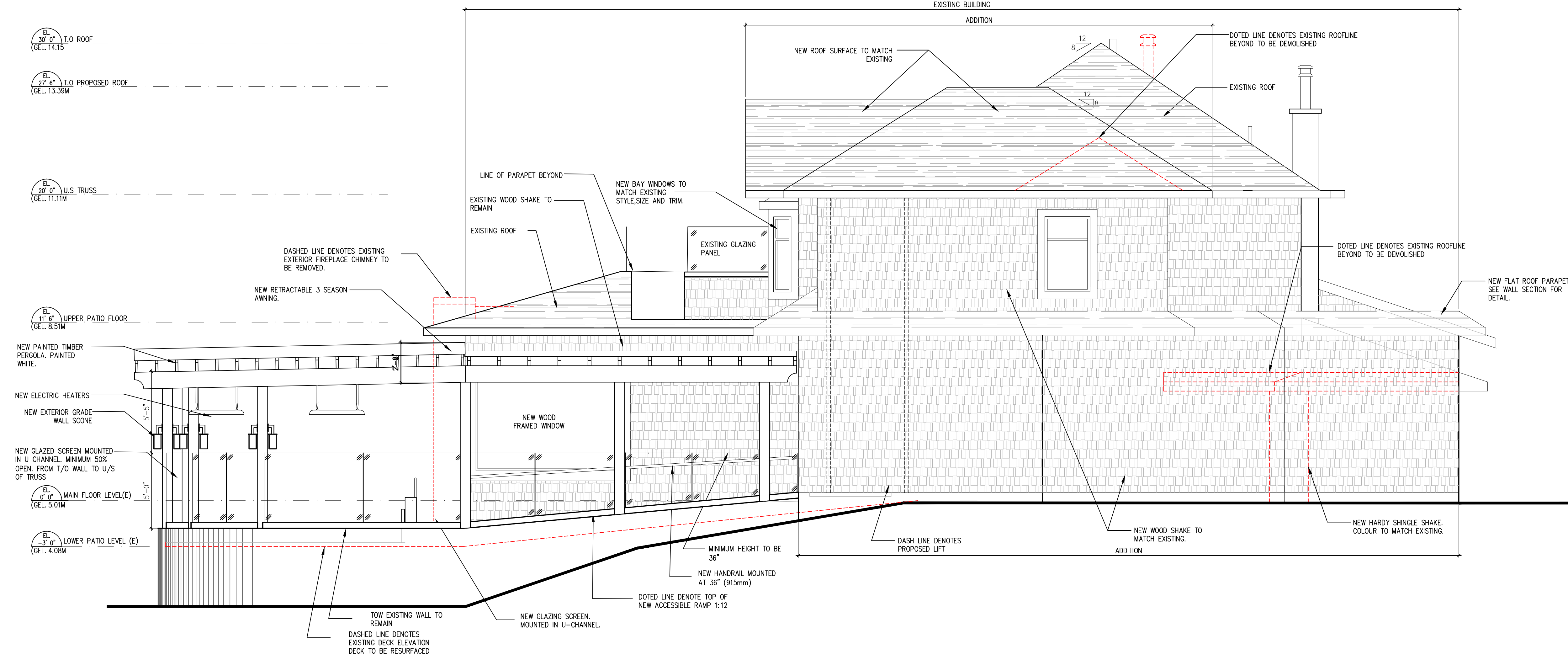
DRAWING: PROPOSED BASEMENT PLAN  
 PROJECT NUMBER: 16-085 DRAWING NUMBER: A1.6  
 SCALE: 1/4" = 1'-0"  
 DATE: JUNE 8TH 2018 REVISION:



T.O. ROOF (E) 14.15 (CEL)  
 U.S. TRUSS (E) 11.11M (CEL)  
 UPPER PATIO FLOOR (E) 8.51M (CEL)  
 MAIN FLOOR LEVEL (E) 5.01M (CEL)  
 T.O. RAISED SLAB (E) 4.55M (CEL)  
 LOWER PATIO LEVEL (E) 4.08M (CEL)

**PROPOSED SOUTH ELEVATION**  
 A2.0 SCALE: 1/4"=1'-0"

REV	DATE	DESCRIPTION
JUN 08/18		ISSUED FOR DRC
MAY 19/17		TO CITY MEETING
MAY 15/17		ISSUED FOR VARIANCE
MAR 13/17		TO CITY REVIEW
JAN 09/17		PRELIMINARY REVIEW



**PROPOSED EAST ELEVATION**  
 A2.0 SCALE: 1/4"=1'-0"

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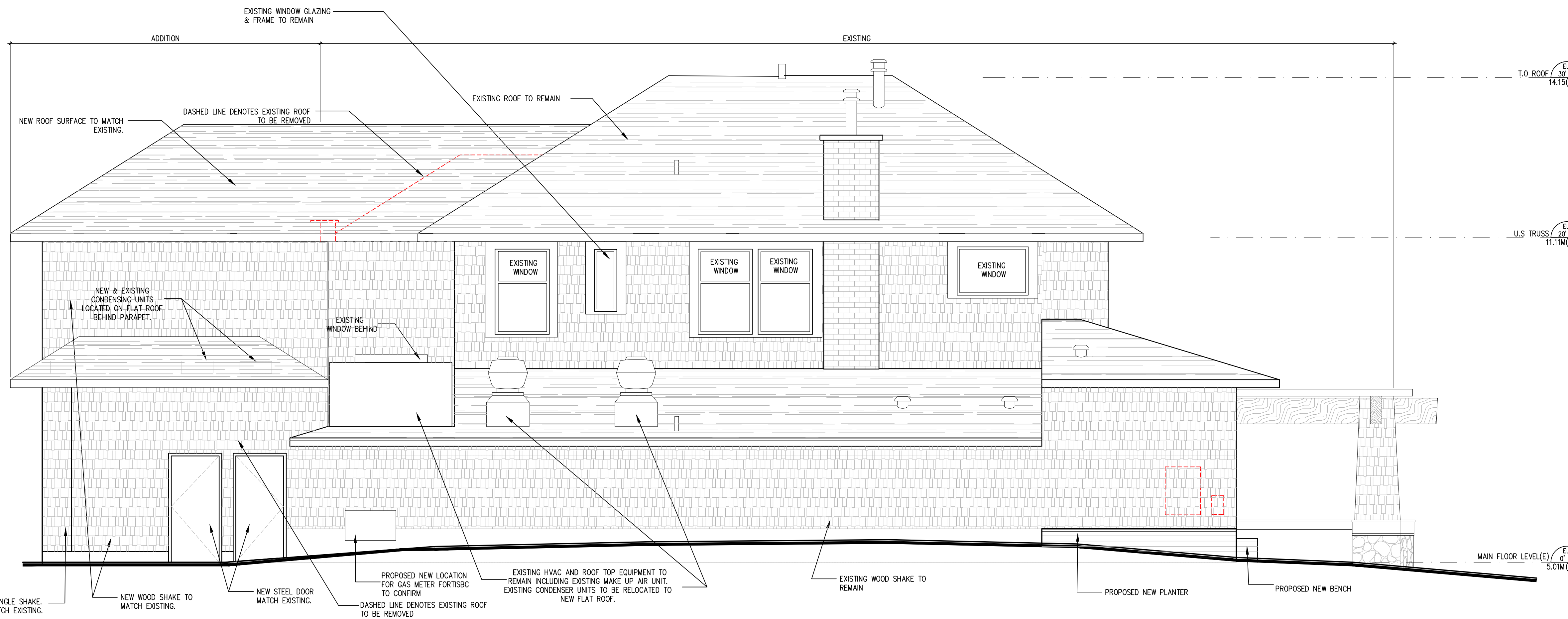
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 PROJECT: BEACH HOUSE

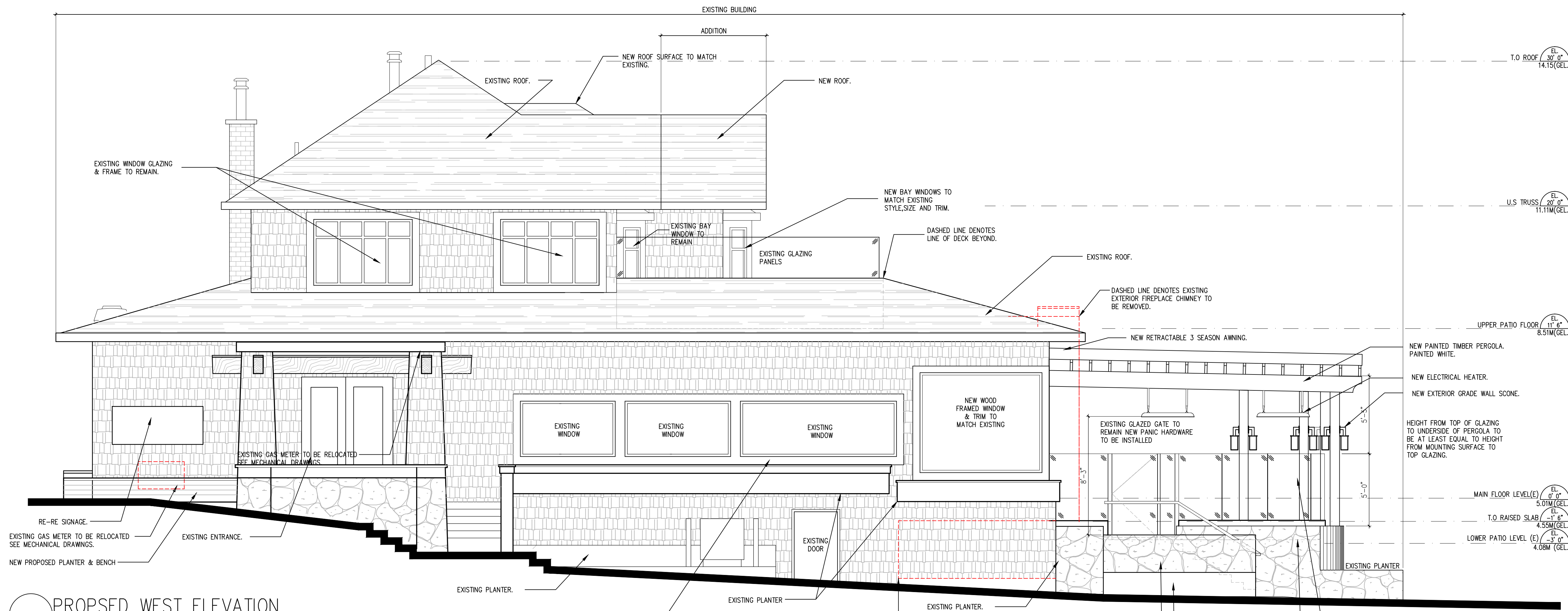
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PROPOSED SOUTH & EAST ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
16-085	A2.0
SCALE: 1/4" = 1'-0"	
DATE: JUNE 8TH 2018	REVISION: --



**PROPOSED NORTH ELEVATION**  
A2.1 SCALE: 1/4"=1'-0"



**PROPOSED WEST ELEVATION**  
A2.1 SCALE: 1/4"=1'-0"

REV	DATE	DESCRIPTION
JULY 6/17		ISSUED FOR REZONING READING
JUN 08/18		ISSUED FOR DRC
MAY 19/17		TO CITY MEETING
MAY 15/17		ISSUED FOR VARIANCE
MAR 13/17		TO CITY MEETING
JAN 09/17		PRELIMINARY REVIEW

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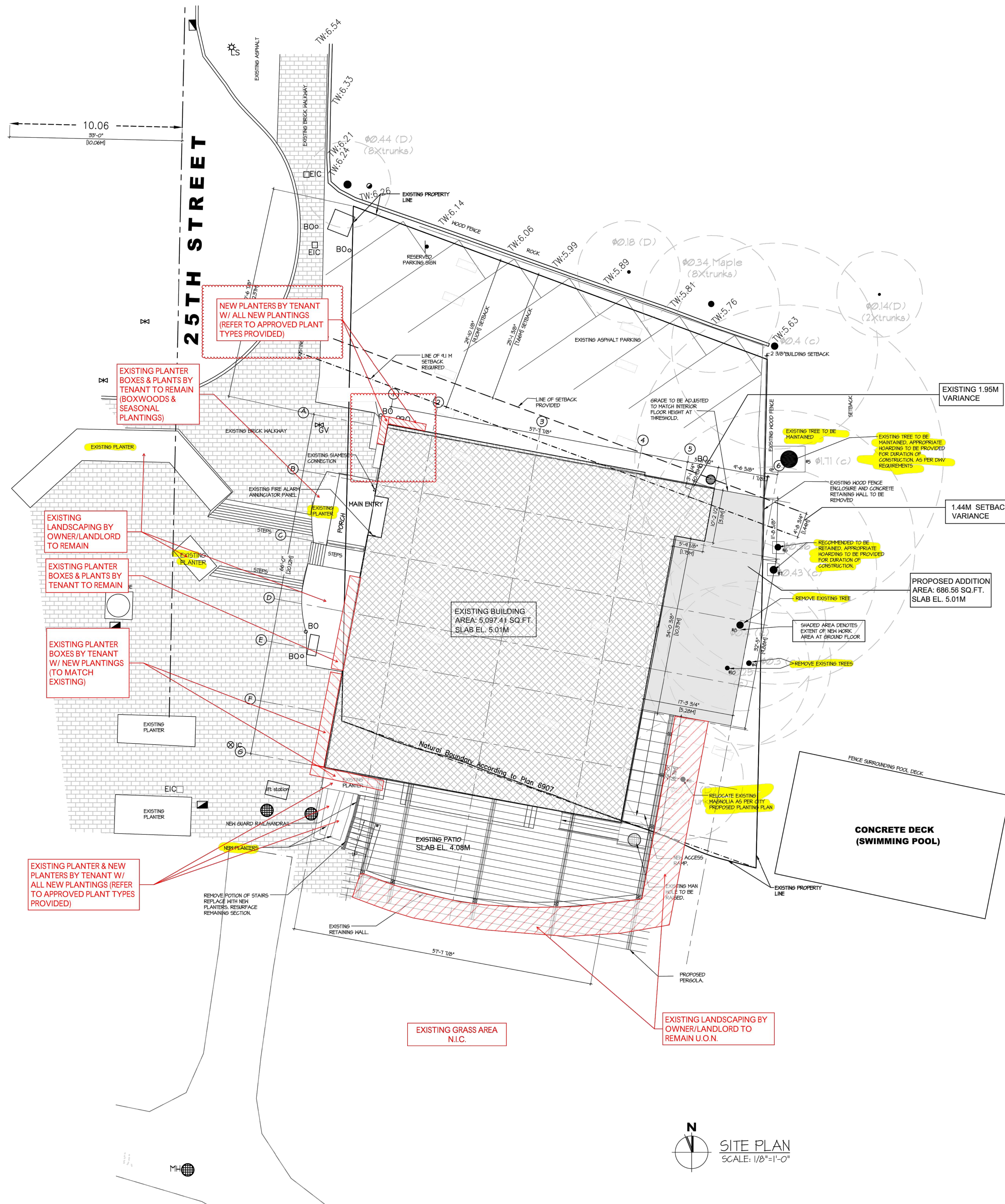
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150 25TH STREET, WEST VANCOUVER, B.C.

PROPOSED NORTH & WEST ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
16-085	A2.1
SCALE	REVISION
1/4" = 1'-0"	
DATE	
JULY 6TH 2018	





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DRAWN BY	APPROVED
RS	LSA
<b>PROJECT</b>	
<b>BEACH HOUSE</b>	
150 25TH STREET, WEST VANCOUVER, B.C.	
<b>DRAWING</b>	
CONCEPTUAL PLANTING PLAN	
PROJECT NUMBER	DRAWING NUMBER
16-085	LS-1.0
<b>SCALE</b>	
1/8" = 1'-0"	
DATE	REVISION
JULY 9TH 2018	

**SITE PLAN**  
 SCALE: 1/8"=1'-0"

150 25TH ST, WEST VANCOUVER 16-085