



District of West Vancouver Heritage Alteration Permit No. 12-060

Current Owner: **Scott Cordell & Jennifer Dunn**

This Alteration Permit applies to:

Civic Address: **4733 Piccadilly South**

Legal Description: **PID No. 007-136-366
Lot 1 Block 1 District Lot 811 Plan 21191
(the 'Lands')**

1. This Heritage Alteration Permit:
 - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as Lower Caulfeild Heritage Conservation Area to provide for the protection of the special heritage character of the Lower Caulfeild Area and subject to Guidelines HE6 specified in the Official Community Plan; and
 - (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.
2. The following requirements and conditions shall apply to the Lands:
 - 2.1 On-site and boulevard landscaping shall be installed at the cost of the Owner in accordance with the specifications and landscape drawings attached as Schedule A.
 - 2.2 Buildings, structures and driveways, including the siting, dimensions and general design, shall be in accordance with the drawings, attached as Schedule A.
 - 2.3 Zoning Bylaw No. 4662, 2010, as amended, shall be varied as follows:
 - 2.3.1 Section 203.08 to reduce the rear yard from 9.1 metres to 8.4 metres;
 - 2.3.2 Section 203.10 to increase the maximum building height from 7.62 metres to 9.62 metres;
 - 2.3.3 Section 203.11 to increase the maximum number of storeys from 2 plus a basement to 3 plus a basement; and
 - 2.3.4 Section 203.12 to increase the highest building face envelope from 6.7 metres to 9.7 metres,all in accordance with the drawings attached as Schedule A.
3. Prior to commencing site work or Building Permit issuance, whichever occurs first,
 - 3.1 a plan for traffic management (including trades parking) during construction must be submitted to and approved by the District's Manager of Development Engineering; and

- 3.2 retained trees identified on Schedule A are to be protected by fencing during construction, to a standard and in the locations specified by and to the satisfaction of the District's Environmental Protection Officer; and
 - 3.3 deposit funds in the amount of \$5000 with the District of West Vancouver for the due and proper performance of obligations of the Owner hereunder with respect to item 2.1 of this Heritage Alteration Permit in the form of cash or automatically renewed irrevocable Letter of Credit satisfactory to the District of West Vancouver, to be held until the works are completed, to provide a security for tree protection.
4. In the event that the requirements and conditions as described in Section 2.1 are not completed as provided for in this Permit, and if these fail to satisfy the objectives of the Heritage Conservation Area of the Official Community Plan Bylaw (2004), the District may, at its option, enter upon, carry out and complete the requirements and conditions so as to satisfy the objectives, and recover the costs of doing so from the security deposited, including the costs of administration and supervision.
 5. This Heritage Alteration Permit lapses if the work authorized herein is not commenced within 12 months of the date this permit is issued.

In the event the Owner is delayed or interrupted or prevented from commencing or continuing the development by reason of any Act of God, labour unrest (including strike and lockouts), weather conditions or any similar cause reasonably beyond the control of the Owner, the time for the completion of the work shall be extended for a period equal to the duration of the contingency that occasioned the delay, interruption or prevention, provided that the commercial or financial circumstances of the Owner shall not be viewed as a cause beyond the control of the Owner.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS HERITAGE ALTERATION PERMIT BY RESOLUTION PASSED ON MARCH 18, 2013.

Mary Ann Booth
MAYOR

A. Scholer
MUNICIPAL CLERK

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO. IT IS UNDERSTOOD THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION.

[Signature] Scott Gordon 21 March 2013
Owner: Signature Owner: Print name above Date

FOR THE PURPOSES OF SECTION 5, THIS PERMIT IS ISSUED ON March 18, 2013.

Schedules:

A – Architectural and Landscaping Plans date stamped February 7, 2013

3D SKETCH



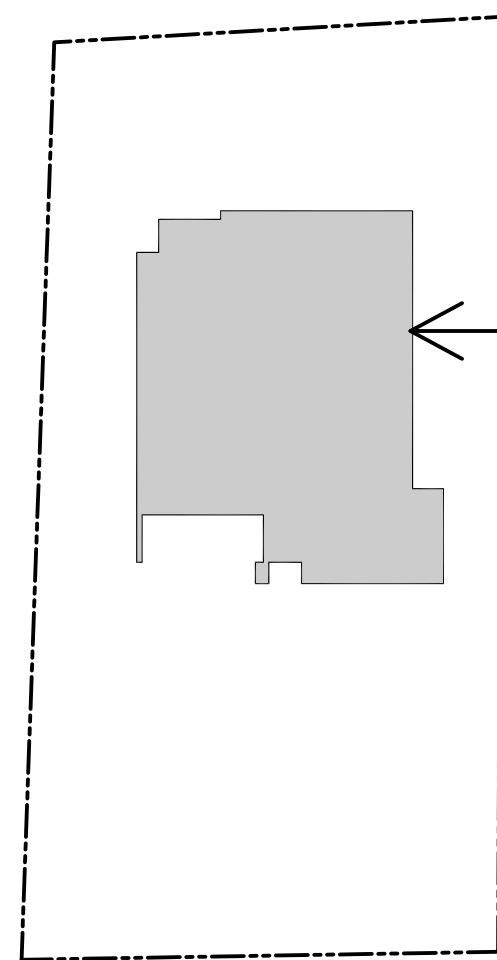
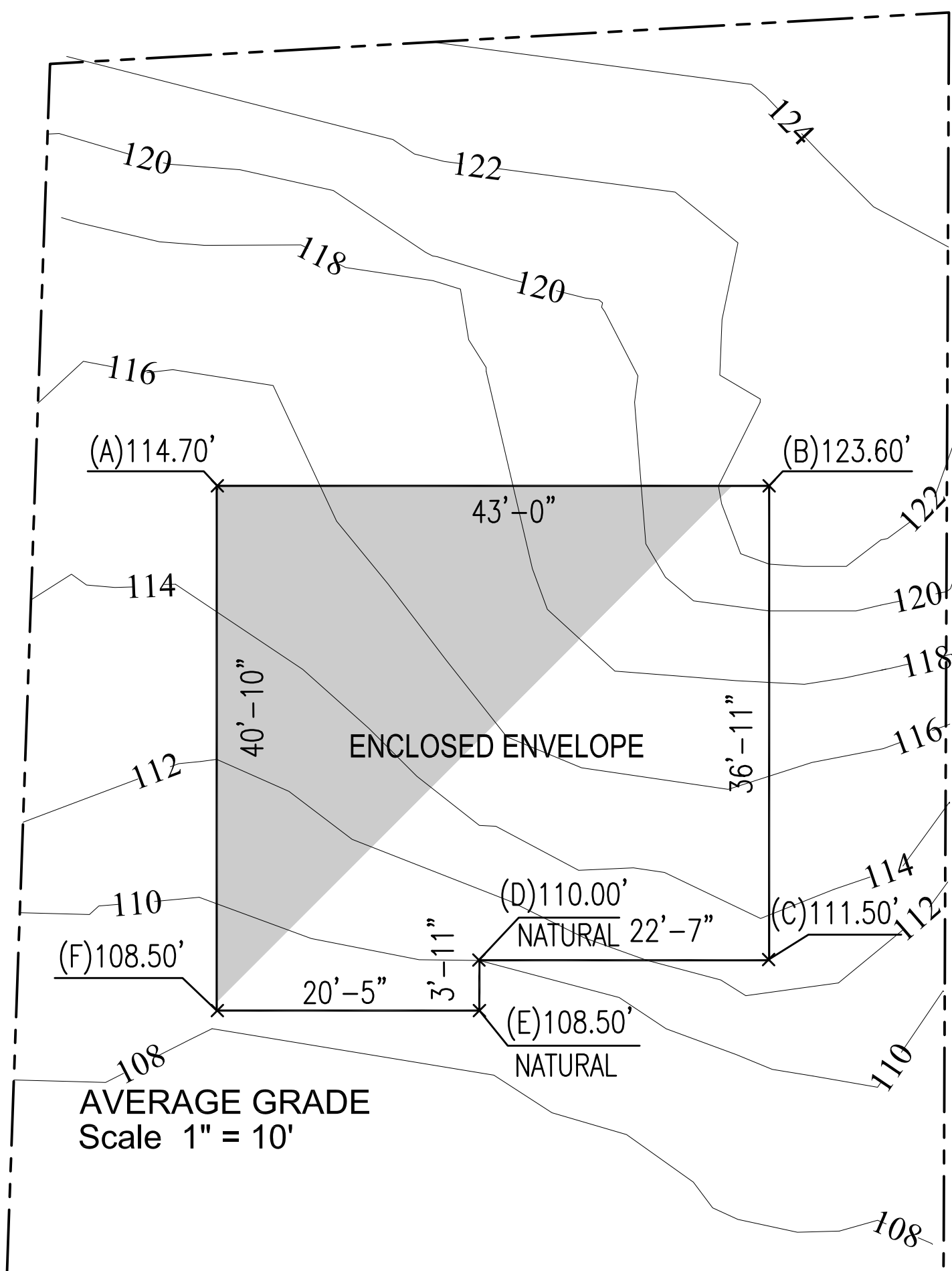
4733 PICCADILLY SOUTH
WEST VANCOUVER - LOWER CAULFEILD

File Location: J:\B1_VANUHP00-Projects\South Piccadilly West Vancouver\Drawings\In progress\3D Illustrations.dwg Last Saved: October 18, 2012, by sbeast Plotted: Thursday, October 18, 2012 1:14:47 PM by Sean Best

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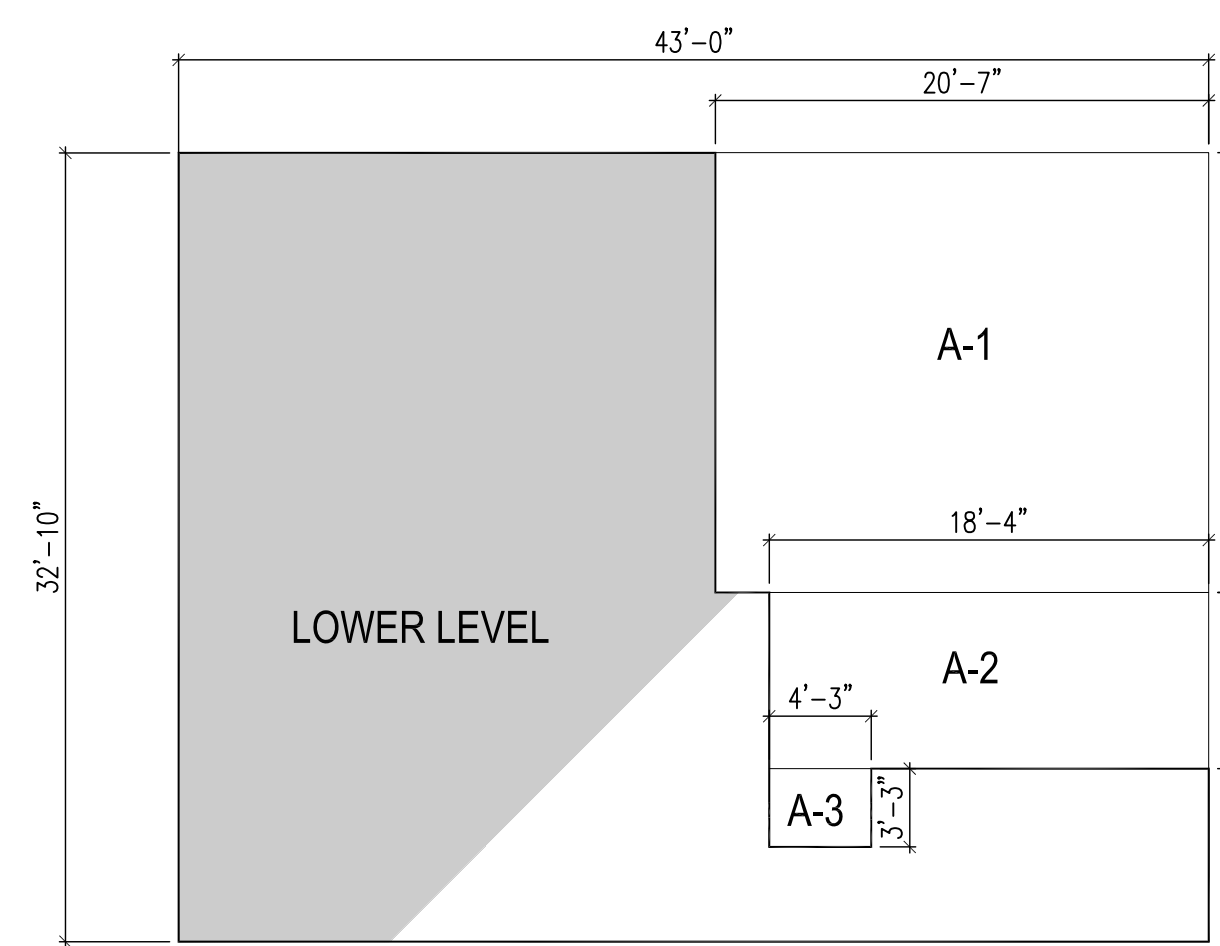
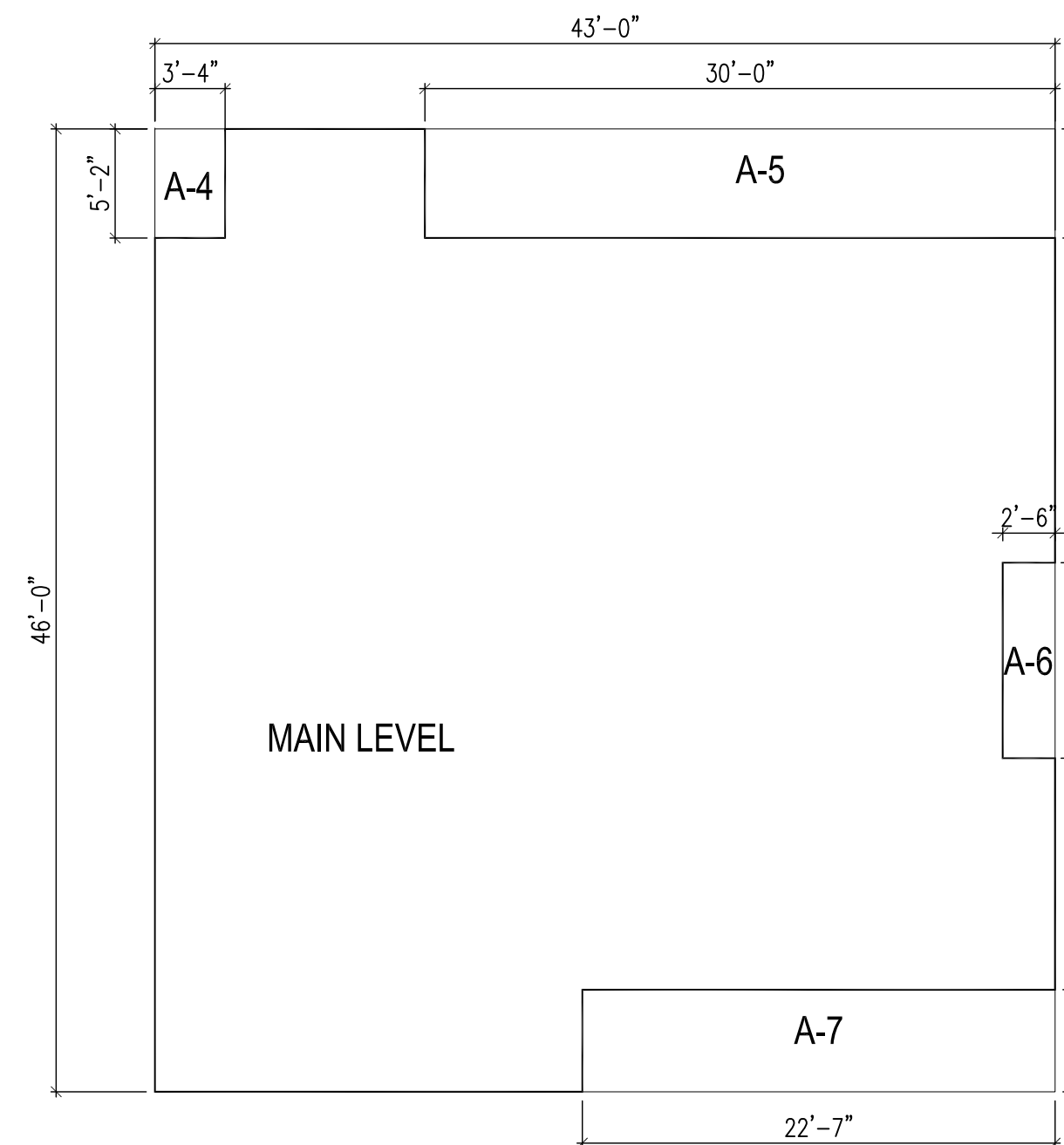
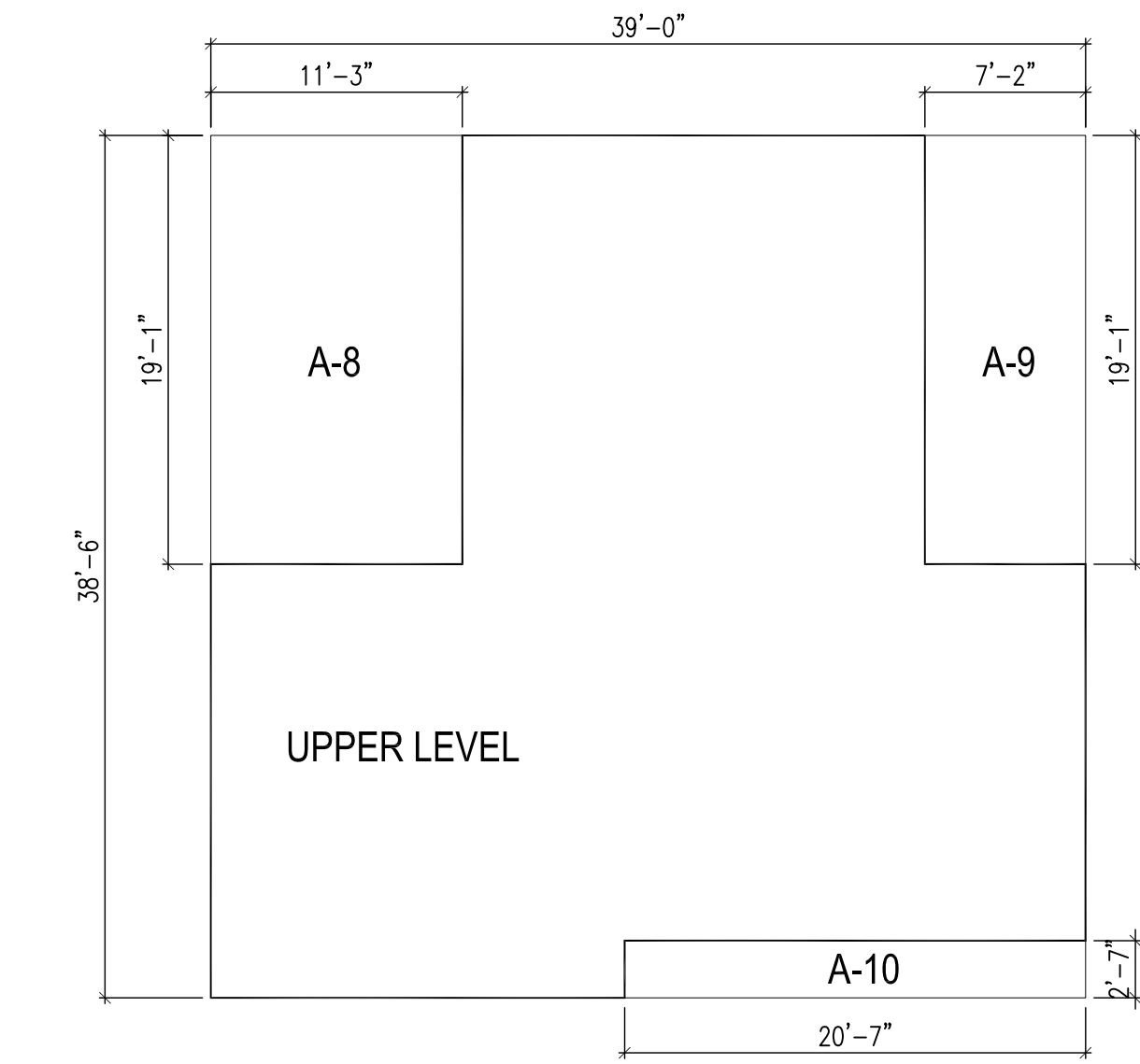
AERIAL PHOTO CONTEXT



FOOTPRINT AREA
2,326.74 SF
22.28% OF SITE

SITE AREA
10,443 S.F.

SITE COVERAGE
Scale 1" = 30'



FSR OVERLAY
Scale 1/8" = 1'-0"

LEGAL DESCRIPTION

BLOCK 1
PLAN 21191
DISTRICT LOT 811
LOT 'I'
PID 007-136-366

PROJECT SUMMARY

ZONING RS-3
EXISTING SINGLE FAMILY RESIDENCE
LOT SIZE : 74.47' X 146.13'
AREA : 10,443 SF 970.19 SM

GENERAL NOTES

ALL CONSTRUCTION, MATERIALS AND SYSTEMS TO CONFORM TO THE REQUIREMENTS OF THE BC BUILDING CODE 2006 EDITION, DIVISION B PART 9 AND THE CURRENT EDITIONS OF ALL OTHER APPLICABLE PROVINCIAL AND MUNICIPAL CODES AND BYLAWS, INCLUDING BUT NOT LIMITED TO: THE BC FIRE CODE, BC PLUMBING CODE, BC ELECTRICAL CODE AND THE DISTRICT OF WEST VANCOUVER ZONING AND PARKING BYLAW.

SPRINKLERED IN ACCORDANCE TO NFPA 13D.

SITE COVERAGE

Site Area 10,443 s.f.
Allowable Site Coverage 3,132.90 s.f. 30%
Foot Print 2,326.74 s.f. 22.28%

AVG. GRADE CALCULATIONS

Elevation X Length = x
(114.70+123.60) / 2 X 43.00' = 5123.45
(123.60+111.50) / 2 X 36.92' = 4339.95
(111.50+110.00) / 2 X 22.58' = 2500.74
(110.00+108.50) / 2 X 3.92' = 428.26
(108.50+108.50) / 2 X 20.42' = 2215.57
(108.50+114.70) / 2 X 40.83' = 4556.63
Total 167.67' 19164.60

AVERAGE GRADE = 114.30'

FSR CALCULATION TABLE

BASEMENT LEVEL NET AREA = 0 SF
(Inaccessible crawl space and garage exclusion)

GROSS PERIMETER AREA 43.000 X 32.833 = 1411.819 SF
AREA DEDUCTIONS
A-1 20.583 X 18.333 = 377.355 SF
A-2 18.333 X 7.333 = 134.442 SF
A-3 4.250 X 3.250 = 13.812 SF
= 525.609 SF
LOWER LEVEL NET AREA = 886.210 SF

GROSS PERIMETER AREA 43.000 X 46.000 = 1978.000 SF
AREA DEDUCTIONS
A-4 3.333 X 5.167 = 17.222 SF
A-5 30.000 X 5.167 = 155.000 SF
A-6 2.500 X 9.333 = 23.333 SF
A-7 22.583 X 4.833 = 109.153 SF
= 304.708 SF
MAIN LEVEL NET AREA = 1,673.292 SF

GROSS PERIMETER AREA 39.000 X 38.500 = 1501.500 SF
AREA DEDUCTIONS
A-8 11.250 X 19.083 = 214.687 SF
A-9 7.167 X 19.083 = 136.760 SF
A-10 20.583 X 2.583 = 53.166 SF
= 404.613 SF
UPPER LEVEL NET AREA = 1,096.887 SF

FSR CALCULATION

SITE AREA		ALLOWABLE AREA	
10,443 SQ FT		3,655.05 SQ FT	
FSR RS-3 (0.35 X Site Area)			
FSR	0.35 X 10,443	ALLOWABLE	DIFF.
BUILDING AREA	AS DRAWN	ALLOWABLE	DIFF.
BELOW GRADE			
FOUNDATION	0	-	-
ABOVE GRADE			
LOWER LEVEL	886.210		
MAIN LEVEL	1,673.292		
UPPER LEVEL	1,096.887		
TOTAL BUILDING AREA	3656.389	3,655.05	- 1.339

SEAL:

THE DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF THE WORK AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCY OR OMISSION TO THE DESIGNER'S IMMEDIATELY. COPYRIGHT RESERVED. THIS DRAWING IS EXCLUSIVE PROPERTY OF THE DESIGNER AND MAY BE REPRODUCED ONLY WITH THE PERMISSION OF JULI HODGSON DESIGN. IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME AS INTERIOR DESIGNER.

DATE	REVISIONS	BY
1 JULY 26, 2012	CAULFIELD PERMIT REVIEW	
2 SEPT. 13, 2012	CAULFIELD PERMIT REVIEW	
3 OCT. 18, 2012	ALTERATION PERMIT REVIEW	



PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:
DATA SHEET

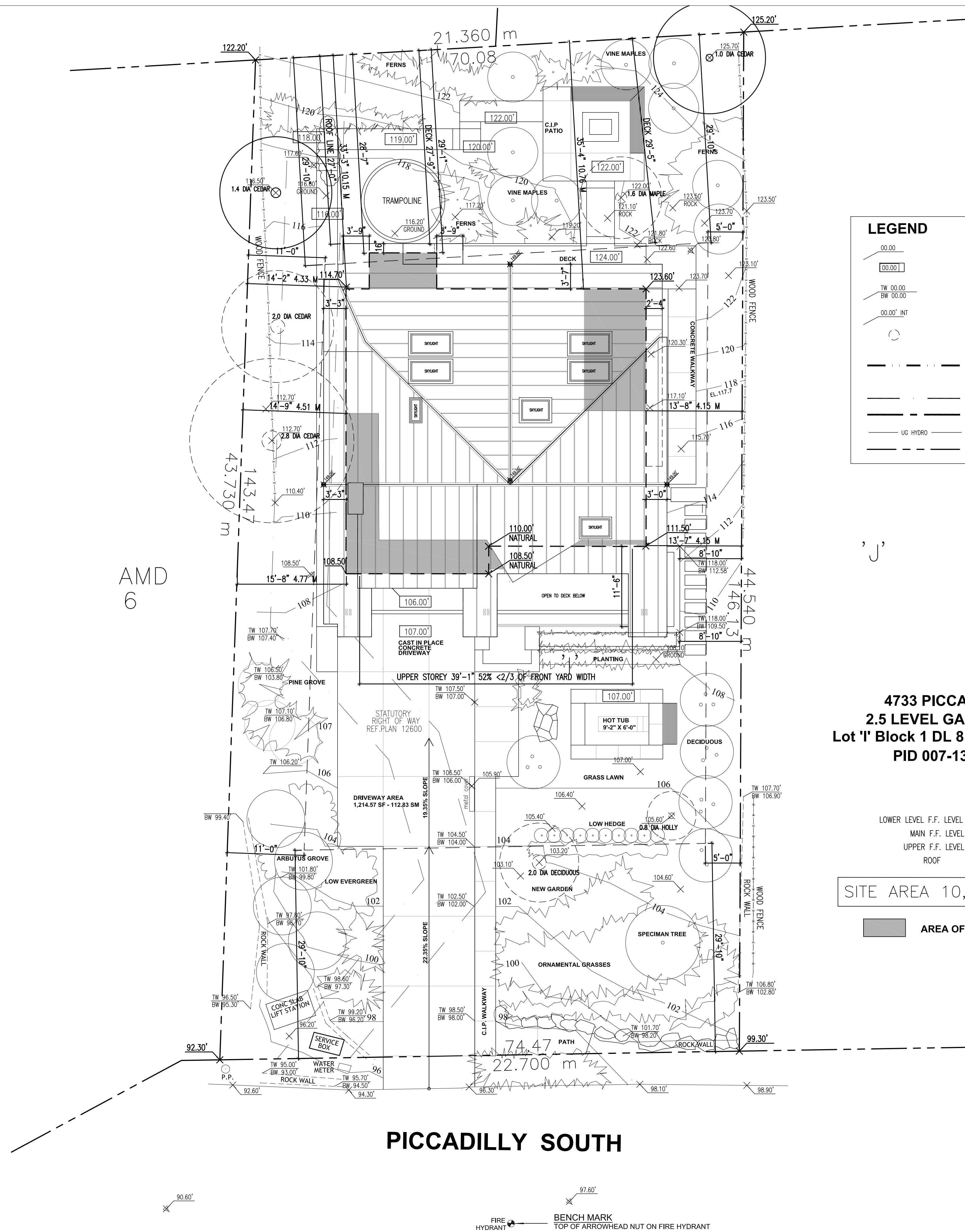
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DATE: July 25, 2012
SCALE: 1/4" = 1'-0"
DRAWN BY: SB
CHECKED BY:

REV. NO.:

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.
SHEET NO.: **A000**

FILE ADDRESS:
DATE LAST REVISED: 25/07/12

TIME: February 06:13 2:54:48 P.M. LOCATION: J:\BIBI_VANUHP\00-PROJECTS\SOUTH\PICCADILLY WEST VANCOUVER\DRAWINGS\ISSUED FOR BP 13_02_08\CAD 13_02_08\A101 SITE PLAN.DWG PLOT BY: SEAN BEST



LEGEND

00.00	EXISTING GRADE
00.00	NEW FINISHED GRADE
TW 00.00 BW 00.00	RETAINING GRADES
00.00 INT	INTERPOLATED GRADE
(Circle with cross)	EXISTING TREES TO BE REMOVED
(Dashed line)	TREE PROTECTION AS REQUIRED BY MUNICIPAL
(Solid line)	WATER LINE
(Dashed line)	GAS LINE
(Dotted line)	UG HYDRO
(Dotted line)	UG HYDRO SERVICE
(Dash-dot line)	PROPERTY LINE

4733 PICCADILLY
2.5 LEVEL GABLE ROOF
Lot 'I' Block 1 DL 811 PLAN 21191
PID 007-136-366

LOWER LEVEL F.F. LEVEL	115.00'
MAIN F.F. LEVEL	124.37'
UPPER F.F. LEVEL	134.37'
ROOF	149.00'

SITE AREA 10,443 SF 970.19 SM

AREA OF ADDITION

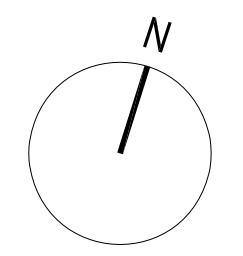
PICCADILLY SOUTH

BENCHMARK
 TOP OF ARROWHEAD NUT ON FIRE HYDRANT
 ELEVATION 99.35 FEET

SEAL:

THE DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF THE WORK AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCY OR OMISSION TO THE DESIGNERS IMMEDIATELY. COPYRIGHT RESERVED. THIS DRAWING IS EXCLUSIVE PROPERTY OF THE DESIGNER AND MAY BE REPRODUCED ONLY WITH THE PERMISSION OF JULI HODGSON DESIGN. IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME AS INTERIOR DESIGNERS.

DATE	REVISIONS	BY
1 JULY 26, 2012	CAULFIELD PERMIT REVIEW	
2 SEPT. 13, 2012	CAULFIELD PERMIT REVIEW	
3 OCT. 18, 2012	ALTERATION PERMIT REVIEW	
4 FEB. 8, 2013	ISSUED FOR BUILDING PERMIT	



H
HODGSON DESIGN ASSOCIATES
 Suite 710 1285 West Fender Street Vancouver, BC V6E 4B1
 T 604-264-7011 F 604-264-7017

PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:

SITE PLAN

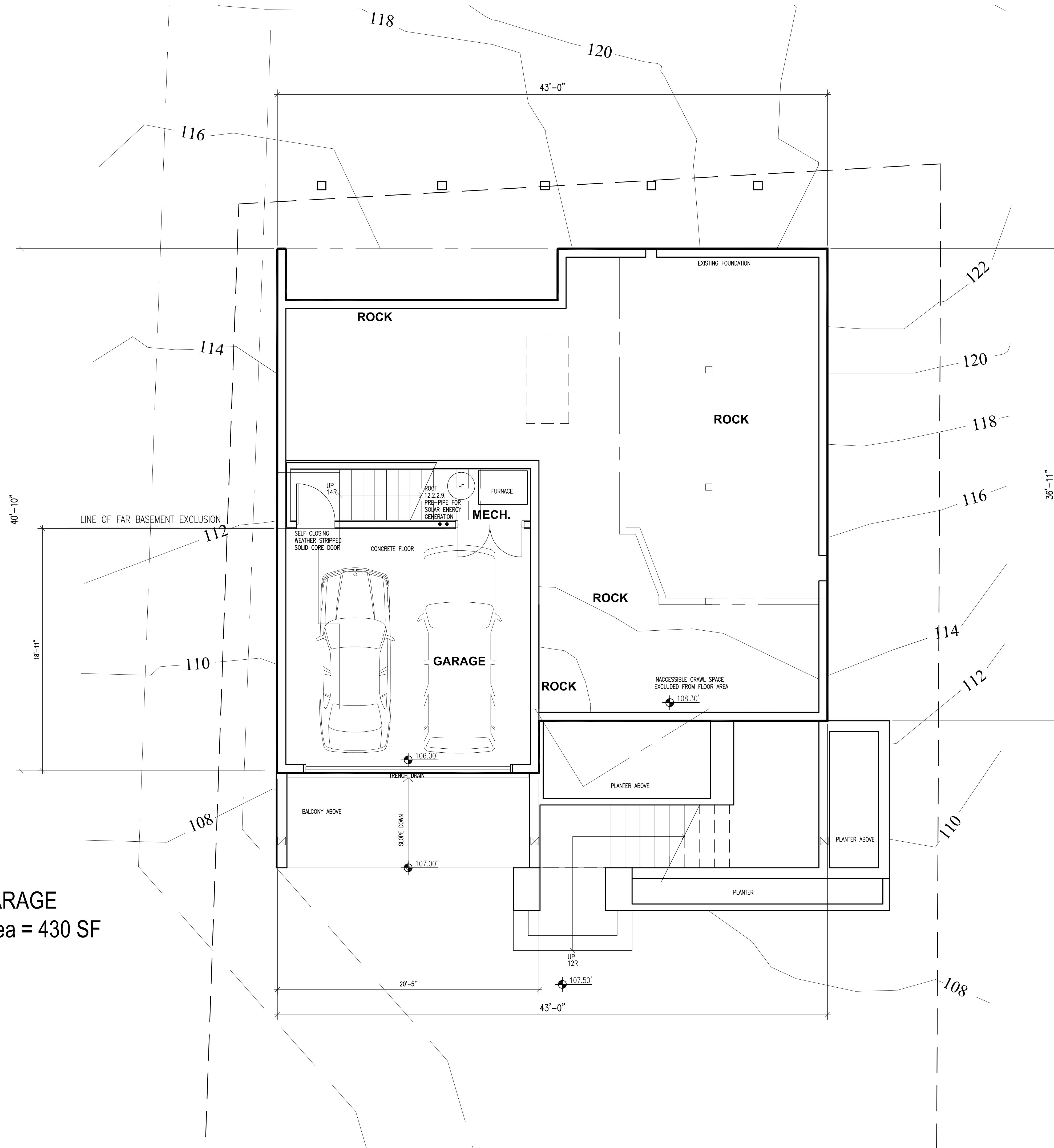
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 DRAWN BY: SB
 CHECKED BY:
 REV. NO.:

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: **A101**

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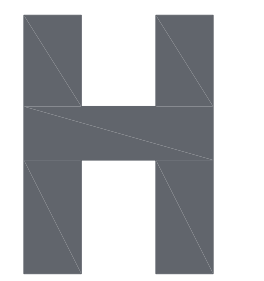
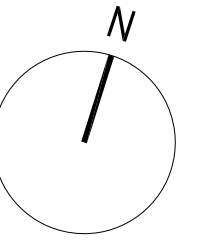
GARAGE
Area = 430 SF

SEAL:

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- 1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
- 2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
- 3 OCT. 18, 2012 ALTERATION PERMIT REVIEW



HODGSON DESIGN ASSOCIATES

PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:

FOUNDATION PLAN

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

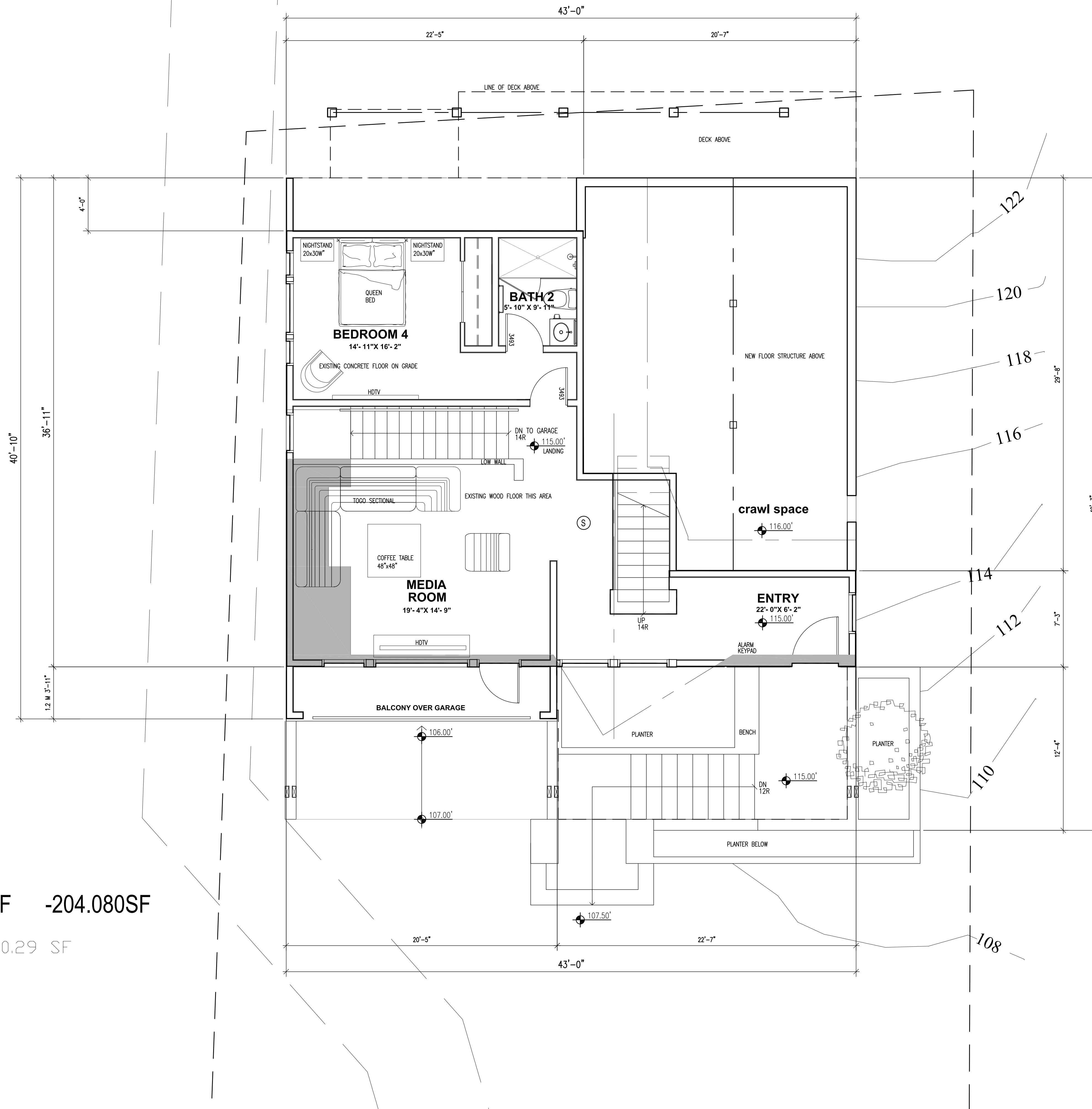
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LOWER LEVEL
Area = 886.210 SF -204.080SF

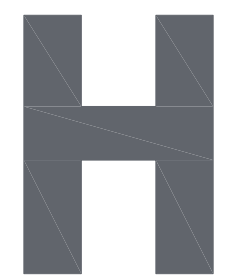
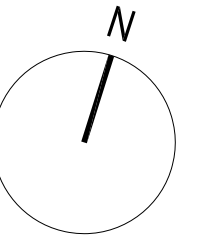
EXISTING FLOOR AREA: 1,090.29 SF

SEAL:

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DATE REVISIONS BY

- 1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
- 2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
- 3 OCT. 18, 2012 ALTERATION PERMIT REVIEW



HODGSON DESIGN ASSOCIATES

PROJECT TITLE:

4733 PICCADILLY SOUTH
 WEST VANCOUVER B.C.

SHEET TITLE:

LOWER LEVEL PLAN

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

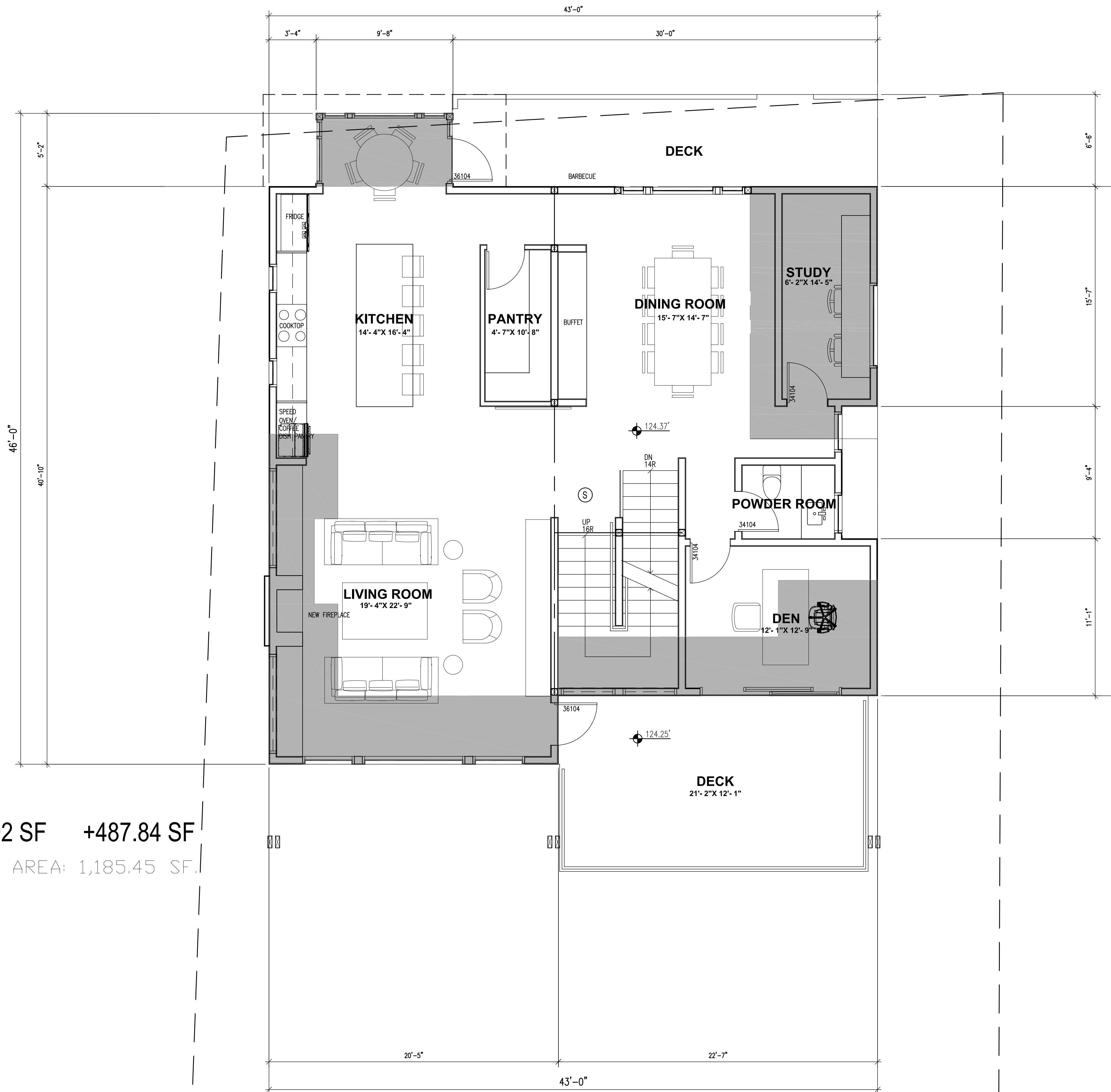
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 PLOT BY: SEAN BEST



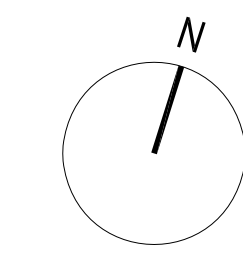
MAIN LEVEL
 Area = 1,673.292 SF +487.84 SF
 EXISTING FLOOR AREA: 1,185.45 SF

SEAL:

THE DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF THE WORK AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCY OR OMISSION TO THE DESIGNER IMMEDIATELY. COPYRIGHT RESERVED. THIS DRAWING IS EXCLUSIVE PROPERTY OF THE DESIGNER AND MAY BE REPRODUCED ONLY WITH THE PERMISSION OF JULI HODGSON DESIGN. IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME AS INTERIOR DESIGNERS.

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- 3 OCT. 18, 2012 ALTERATION PERMIT REVIEW



PROJECT TITLE:

4733 PICCADILLY SOUTH
 WEST VANCOUVER B.C.

SHEET TITLE:

MAIN LEVEL PLAN

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

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A104

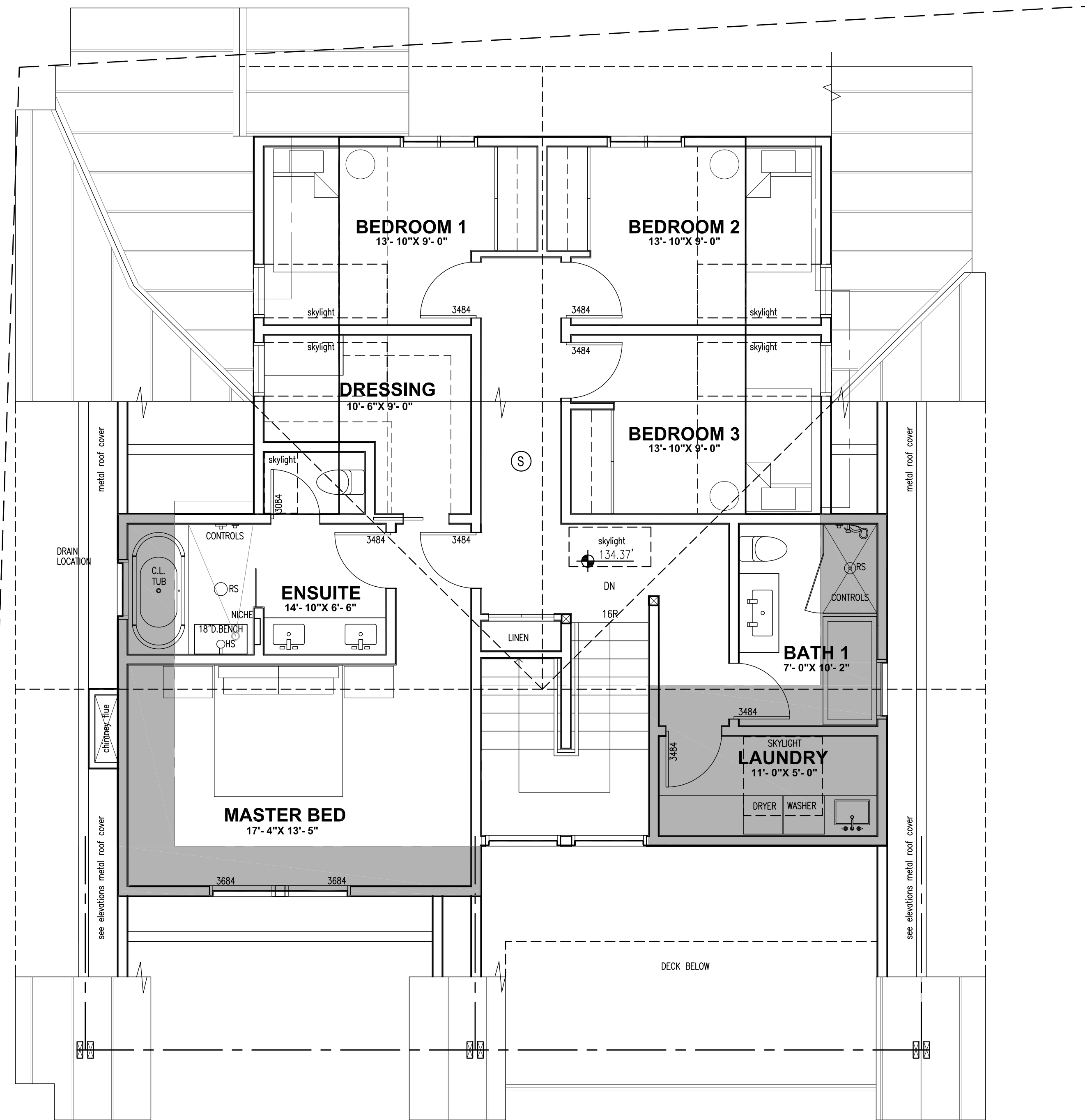
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 DATE LAST REVISED: 25/07/12

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UPPER LEVEL

Area = 1,096.887 SF +133.357SF

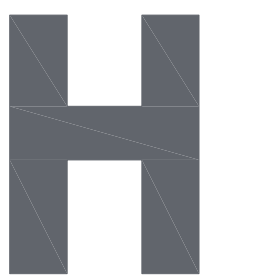
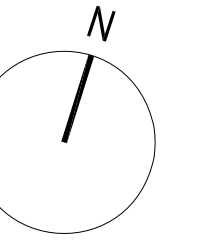
EXISTING FLOOR AREA: 963.53 SF.



SEAL:

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HODGSON DESIGN ASSOCIATES

PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:

UPPER LEVEL PLAN

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

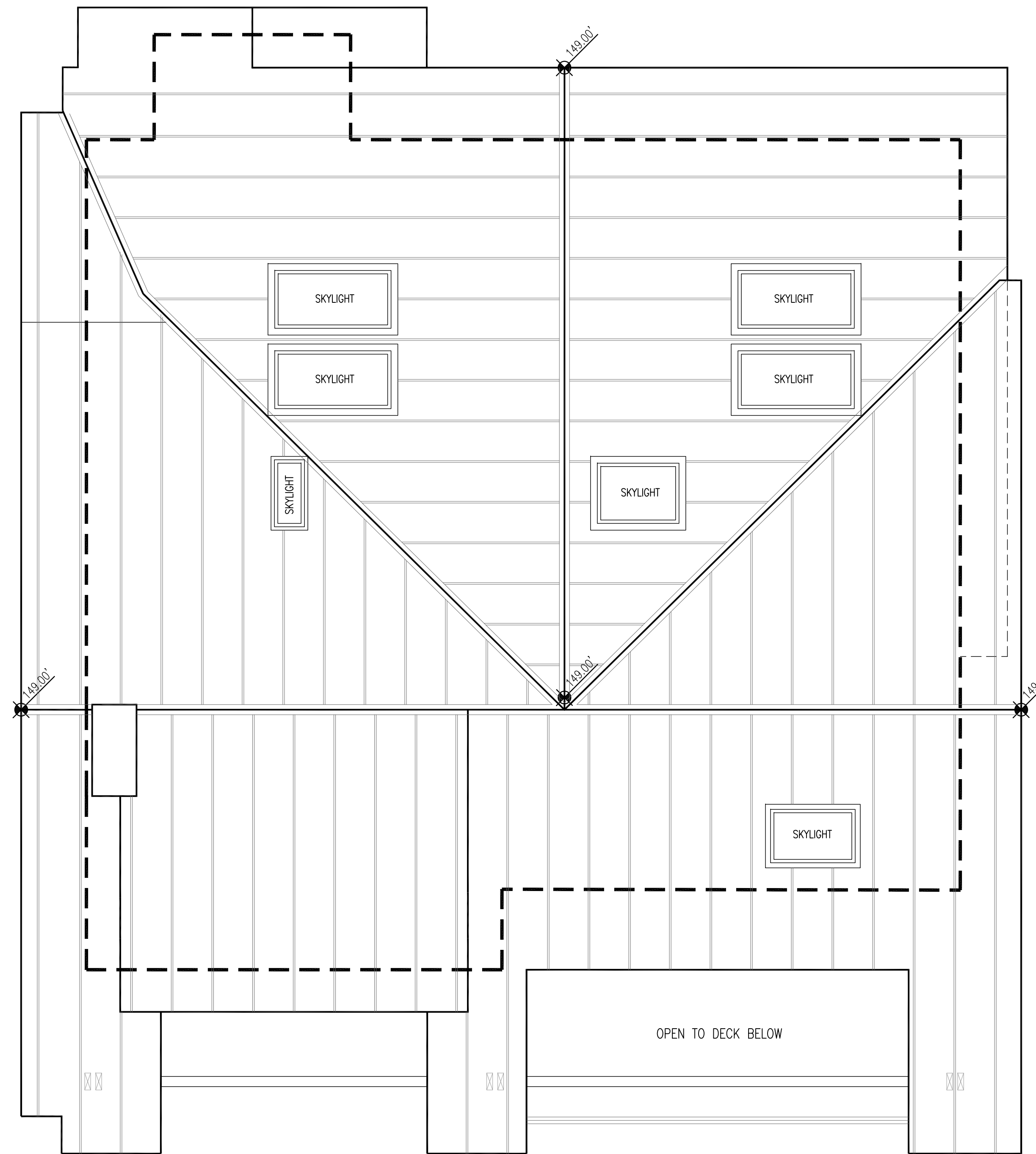
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DATE LAST REVISED: 25/07/12

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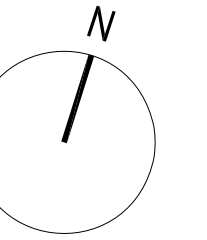


SEAL:

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PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:

ROOF PLAN

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

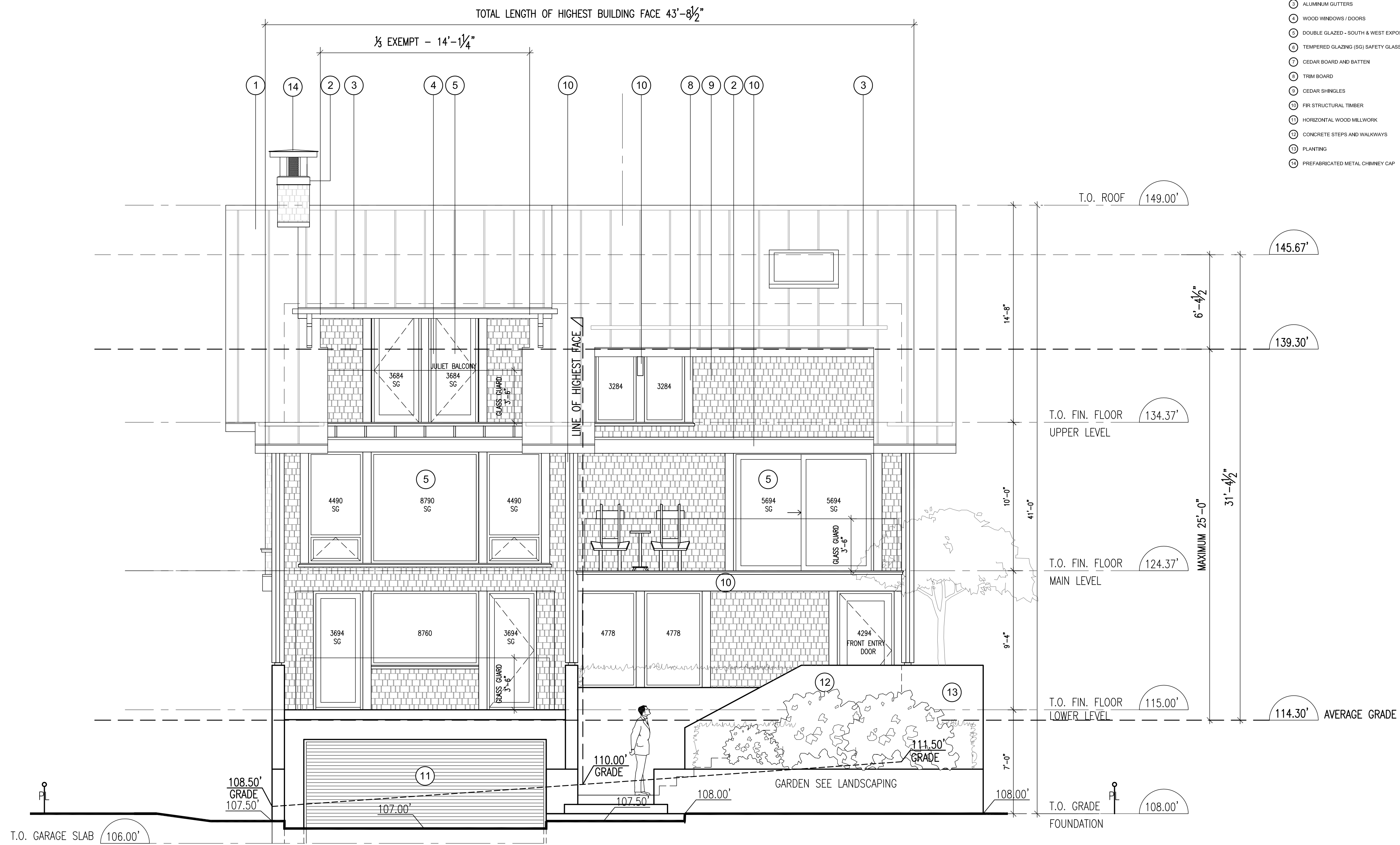
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SHEET NO.:

A106

FILE ADDRESS:
DATE LAST REVISED: 25/07/12

PLOT BY: SEAN BEST TIME: Thursday, October 25, 2012 11:49:54 AM LOCATION: J:\B1\VANUHP100-PROJECTS\SOUTH PICCADILLY WEST VANCOUVER\DRAWINGS\IN PROGRESS\A201 ELEVATIONS.DWG



MATERIALS LEGEND

- ① STANDING SEAM METAL ROOF
- ② FLASHING
- ③ ALUMINUM GUTTERS
- ④ WOOD SHINGLES / DOORS
- ⑤ DOUBLE GLAZED - SOUTH & WEST EXPOSURE CW LOW E COATING
- ⑥ TEMPERED GLAZING (SG) SAFETY GLASS AS NOTED
- ⑦ CEDAR BOARD AND BATTEN
- ⑧ TRIM BOARD
- ⑨ CEDAR SHINGLES
- ⑩ FIR STRUCTURAL TIMBER
- ⑪ HORIZONTAL WOOD MILLWORK
- ⑫ CONCRETE STEPS AND WALKWAYS
- ⑬ PLANTING
- ⑭ PREFABRICATED METAL CHIMNEY CAP

SEAL:

THE DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF THE WORK AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCY OR OMISSION TO THE DESIGNER IMMEDIATELY. COPYRIGHT RESERVED. THIS DRAWING IS EXCLUSIVE PROPERTY OF THE DESIGNER AND MAY BE REPRODUCED ONLY WITH THE PERMISSION OF JULIE HODGSON DESIGN. IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME AS INTERIOR DESIGNERS.

DATE	REVISIONS	BY
1 JULY 26, 2012	CAULFIELD PERMIT REVIEW	
2 SEPT. 13, 2012	CAULFIELD PERMIT REVIEW	
3 OCT. 18, 2012	ALTERATION PERMIT REVIEW	



PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:

SOUTH ELEVATION

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

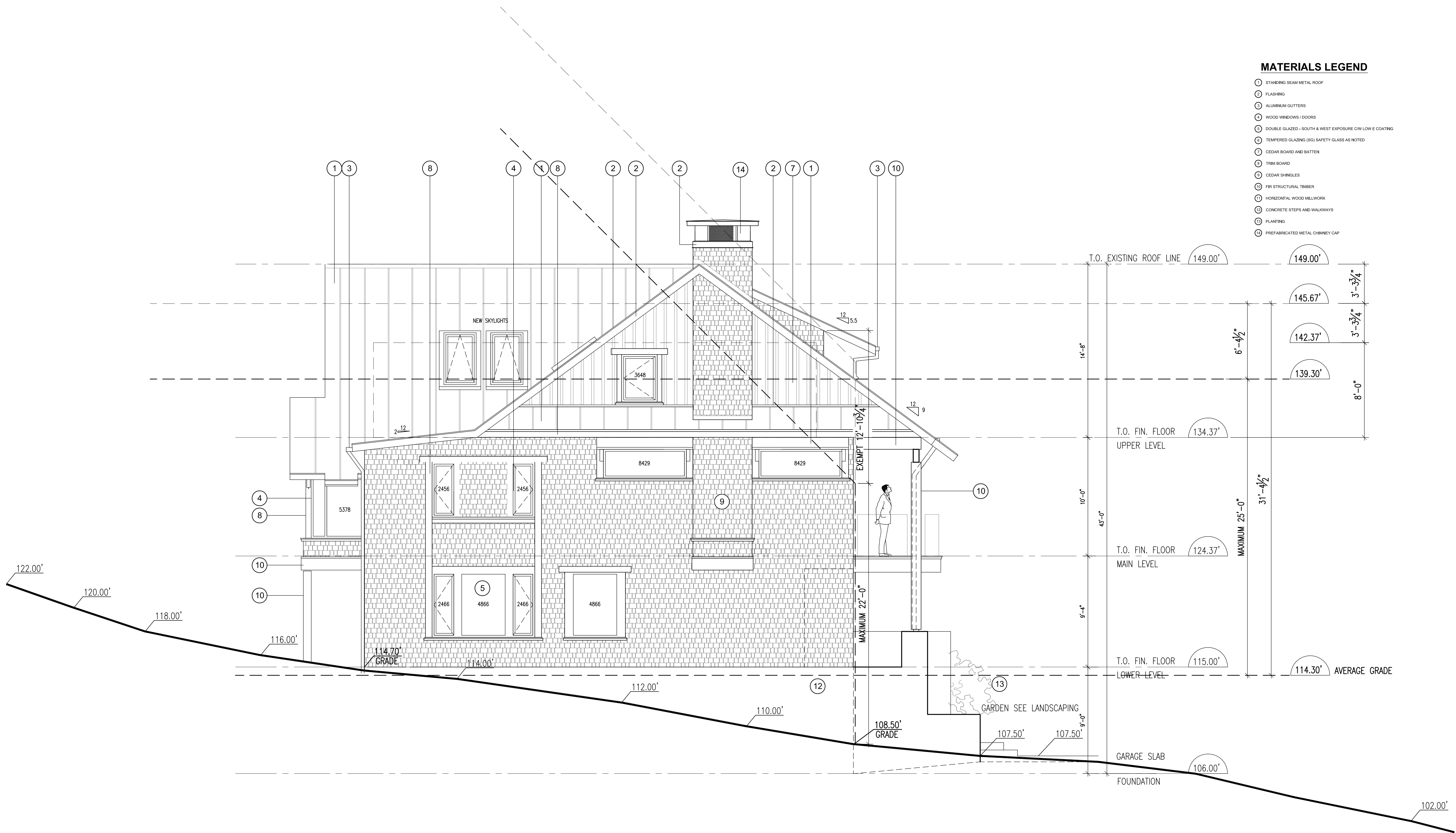
NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.:

A201

FILE ADDRESS:
DATE LAST REVISED: 25/07/12

PLOT BY: SEAN BEST TIME: Thursday, October 25, 2012 11:52:36 AM LOCATION: J:\B1_VANUHP100-PROJECTS\SOUTH PICCADILLY WEST VANCOUVER\DRAWINGS\IN PROGRESS\A201 ELEVATIONS.DWG



MATERIALS LEGEND

- ① STANDING SEAM METAL ROOF
- ② FLASHING
- ③ ALUMINUM GUTTERS
- ④ WOOD SHINGLES / DOORS
- ⑤ DOUBLE GLAZED - SOUTH & WEST EXPOSURE CW LOW E COATING
- ⑥ TEMPERED GLAZING (SG) SAFETY GLASS AS NOTED
- ⑦ CEDAR BOARD AND BATTEN
- ⑧ TRIM BOARD
- ⑨ CEDAR SHINGLES
- ⑩ FIR STRUCTURAL TIMBER
- ⑪ HORIZONTAL WOOD MILLWORK
- ⑫ CONCRETE STEPS AND WALKWAYS
- ⑬ PLANTING
- ⑭ PREFABRICATED METAL CHIMNEY CAP

SEAL:

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DATE REVISIONS BY

- 1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
- 2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
- 3 OCT. 18, 2012 ALTERATION PERMIT REVIEW



PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:
WEST ELEVATION

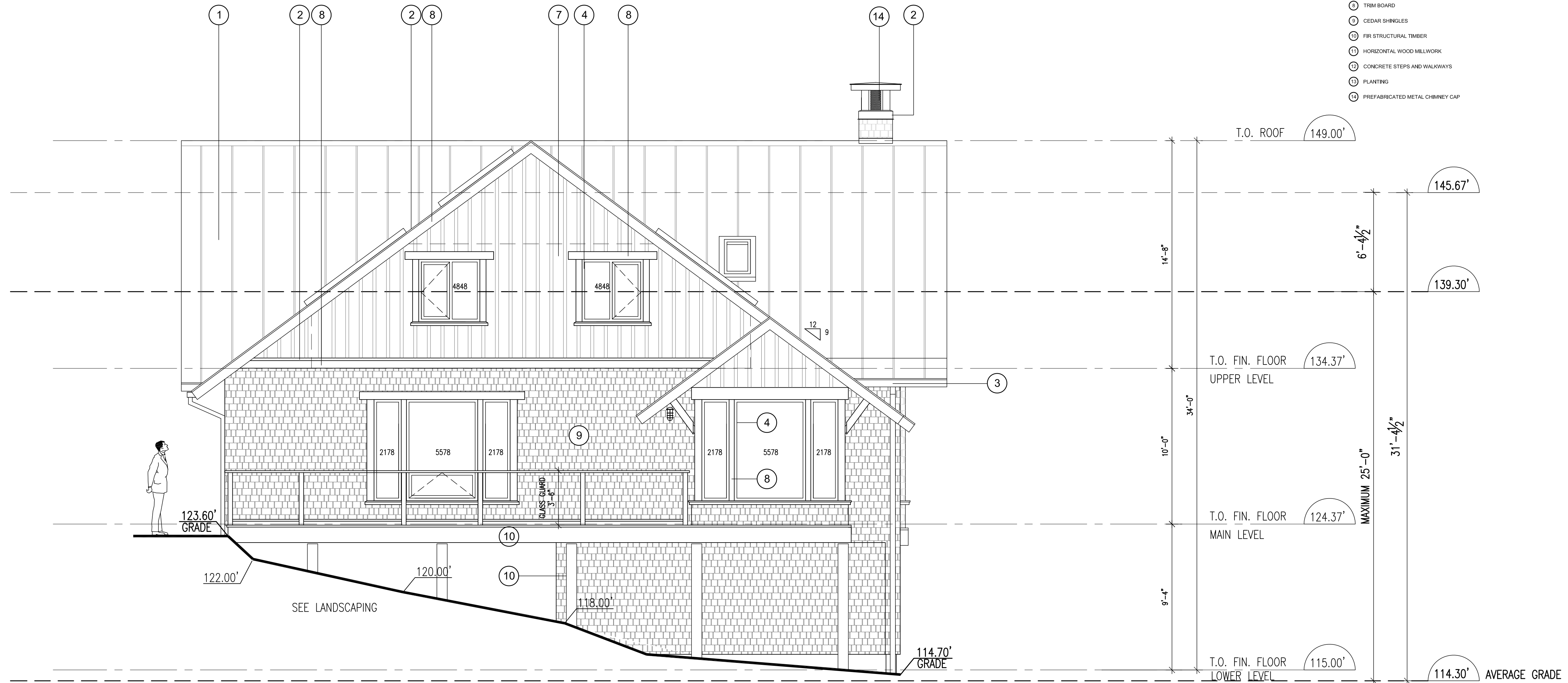
JOB NO.:
DATE: July 25, 2012
SCALE: 1/4" = 1'-0"
DRAWN BY: SB
CHECKED BY:
REV. NO.:

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.:
A202

FILE ADDRESS:
DATE LAST REVISED: 25/07/12

PLOT BY: SEAN BEST TIME: Thursday, October 25, 2012 11:53:09 AM LOCATION: J:\B1_VANUHP100-PROJECTS\SOUTH PICCADILLY WEST VANCOUVER\DRAWINGS\IN PROGRESS\A201 ELEVATIONS.DWG



MATERIALS LEGEND

- ① STANDING SEAM METAL ROOF
- ② FLASHING
- ③ ALUMINUM GUTTERS
- ④ WOOD SHINGLES / DOORS
- ⑤ DOUBLE GLAZED - SOUTH & WEST EXPOSURE CW LOW E COATING
- ⑥ TEMPERED GLAZING (SG) SAFETY GLASS AS NOTED
- ⑦ CEDAR BOARD AND BATTEN
- ⑧ TRIM BOARD
- ⑨ CEDAR SHINGLES
- ⑩ FIR STRUCTURAL TIMBER
- ⑪ HORIZONTAL WOOD MILLWORK
- ⑫ CONCRETE STEPS AND WALKWAYS
- ⑬ PLANTING
- ⑭ PREFABRICATED METAL CHIMNEY CAP

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DATE REVISIONS BY

- 1 JULY 26, 2012 CAULFIELD PERMIT REVIEW
- 2 SEPT. 13, 2012 CAULFIELD PERMIT REVIEW
- 3 OCT. 18, 2012 ALTERATION PERMIT REVIEW



PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:

NORTH ELEVATION

JOB NO.:

DATE: July 25, 2012

SCALE: 1/4" = 1'-0"

DRAWN BY: SB

CHECKED BY:

REV. NO.:

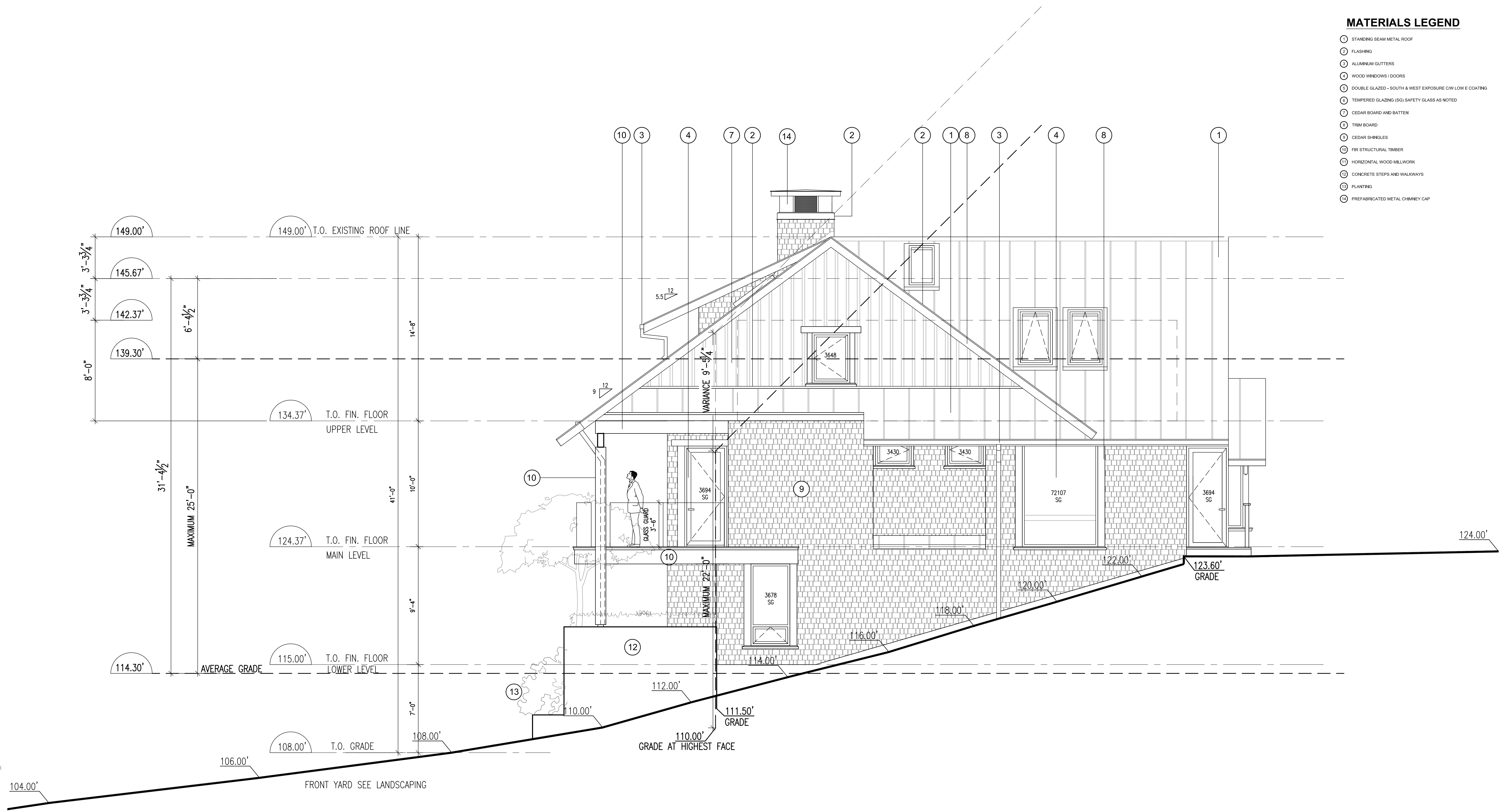
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SHEET NO.:

A203

FILE ADDRESS:
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MATERIALS LEGEND

- ① STANDING SEAM METAL ROOF
- ② FLASHING
- ③ ALUMINUM GUTTERS
- ④ WOOD WINDOWS / DOORS
- ⑤ DOUBLE GLAZING - SOUTH & WEST EXPOSURE CW LOW E COATING
- ⑥ TEMPERED GLAZING (SG) SAFETY GLASS AS NOTED
- ⑦ CEDAR BOARD AND BATTEN
- ⑧ TRIM BOARD
- ⑨ CEDAR SHINGLES
- ⑩ FIR STRUCTURAL TIMBER
- ⑪ HORIZONTAL WOOD MILLWORK
- ⑫ CONCRETE STEPS AND WALKWAYS
- ⑬ PLANTING
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DATE	REVISIONS	BY
1 JULY 26, 2012	CAULFIELD PERMIT REVIEW	
2 SEPT. 13, 2012	CAULFIELD PERMIT REVIEW	
3 OCT. 18, 2012	ALTERATION PERMIT REVIEW	



PROJECT TITLE:

4733 PICCADILLY SOUTH
WEST VANCOUVER B.C.

SHEET TITLE:
EAST ELEVATION

JOB NO.:
DATE: July 25, 2012
SCALE: 1/4" = 1'-0"
DRAWN BY: SB
CHECKED BY:
REV. NO.:

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: **A204**

FILE ADDRESS:
DATE LAST REVISED: 25/07/12

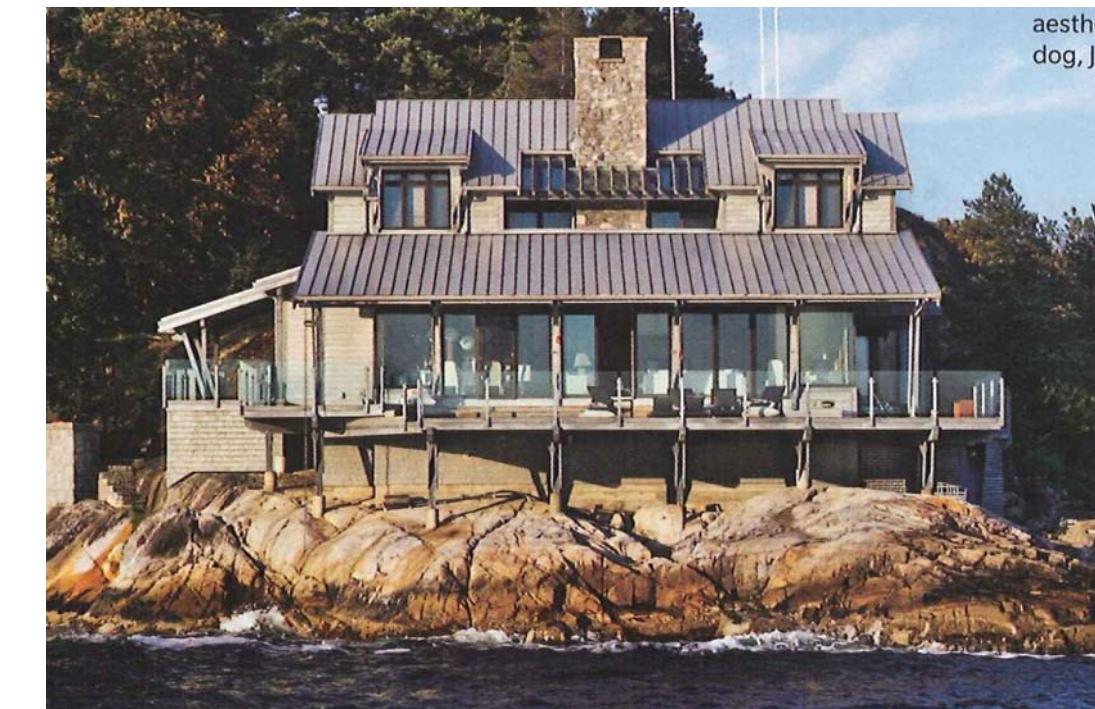
MATERIALS



METAL ROOF



GLASS



WEST COAST PRECEDENT



CEDAR SHINGLES



CEDAR BOARD & BATTEN



FOREST



CONCRETE BASE



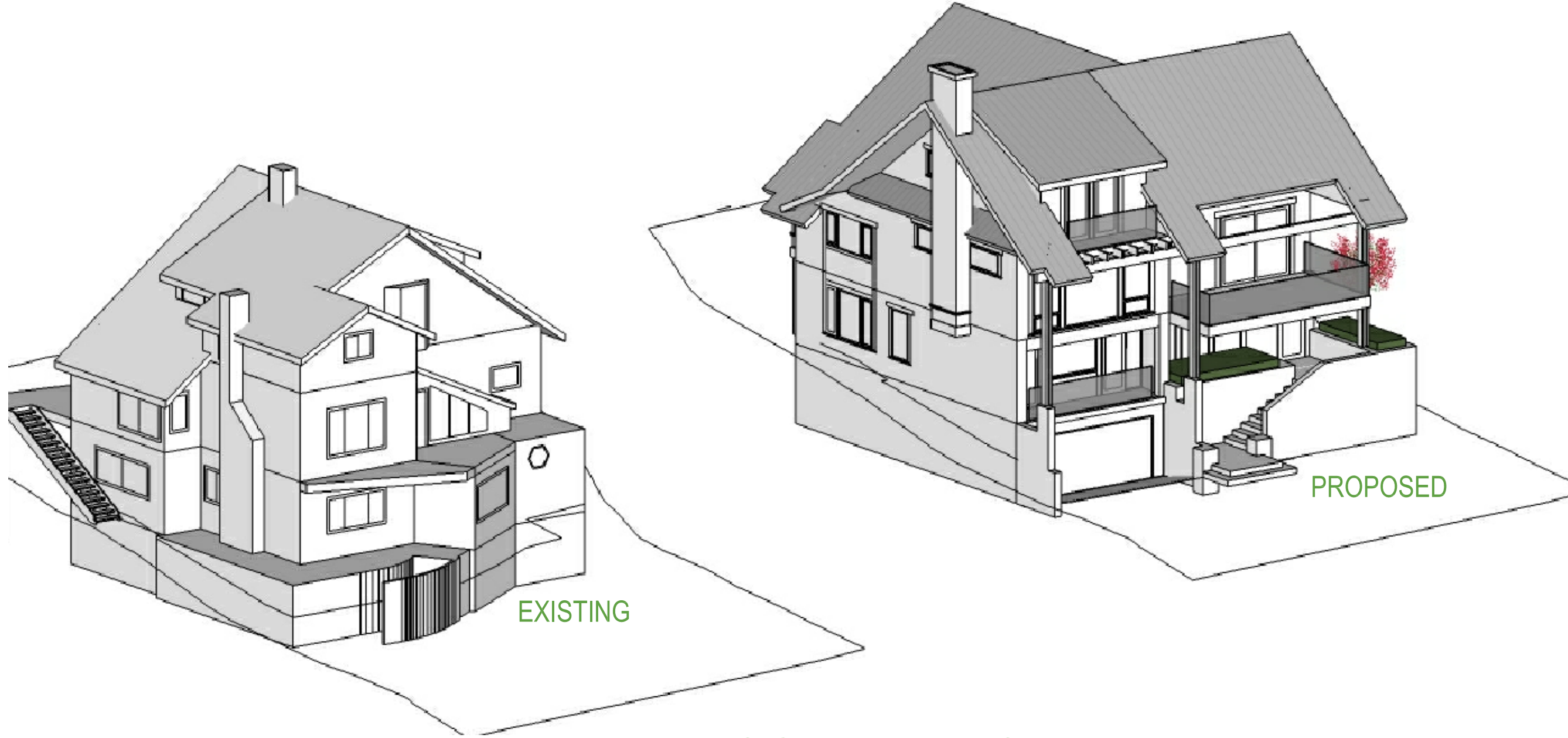
WINDOWS AND MILLWORK



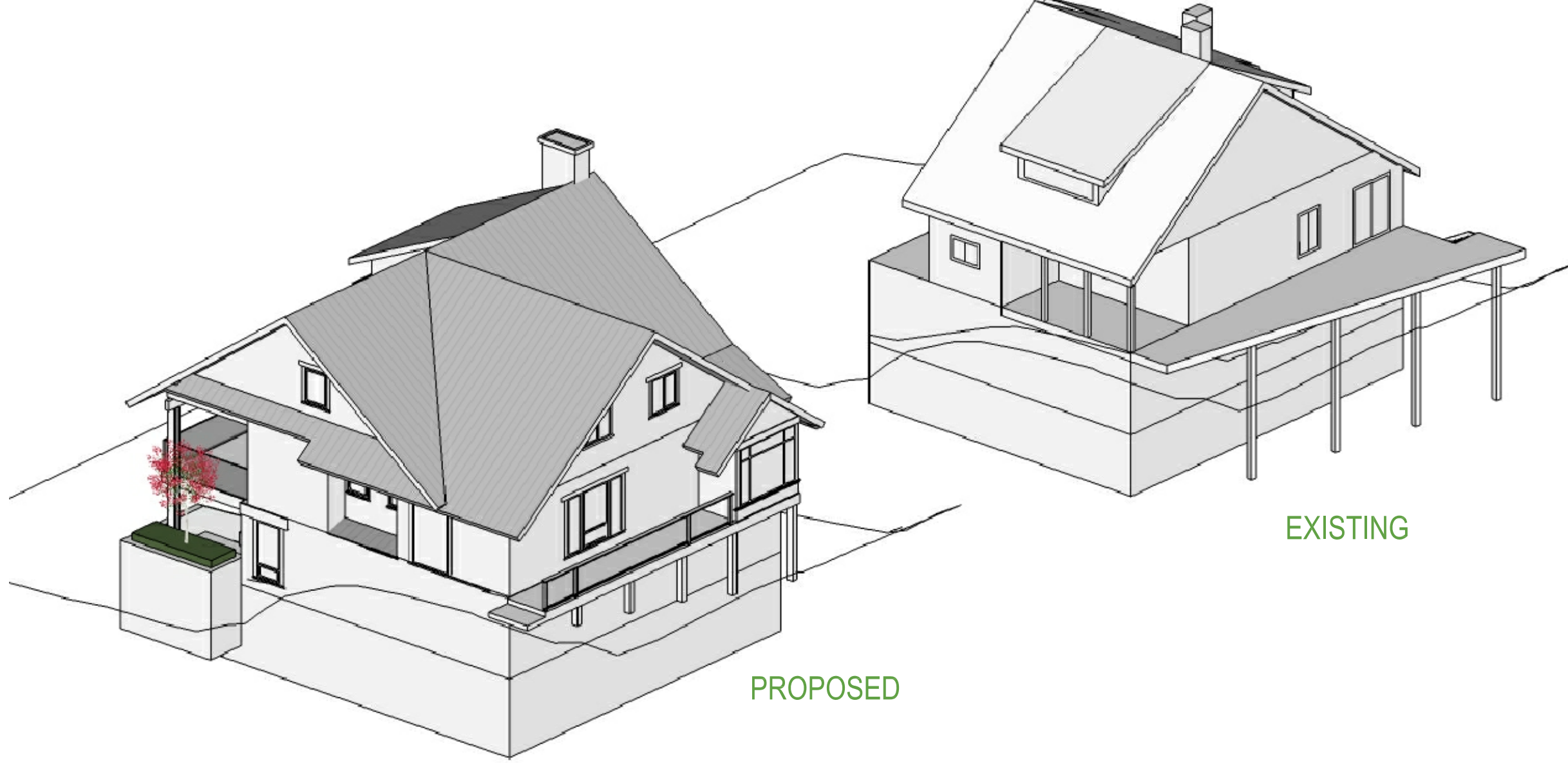
WEST VANCOUVER BEACHES

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3D MASSING MODELS



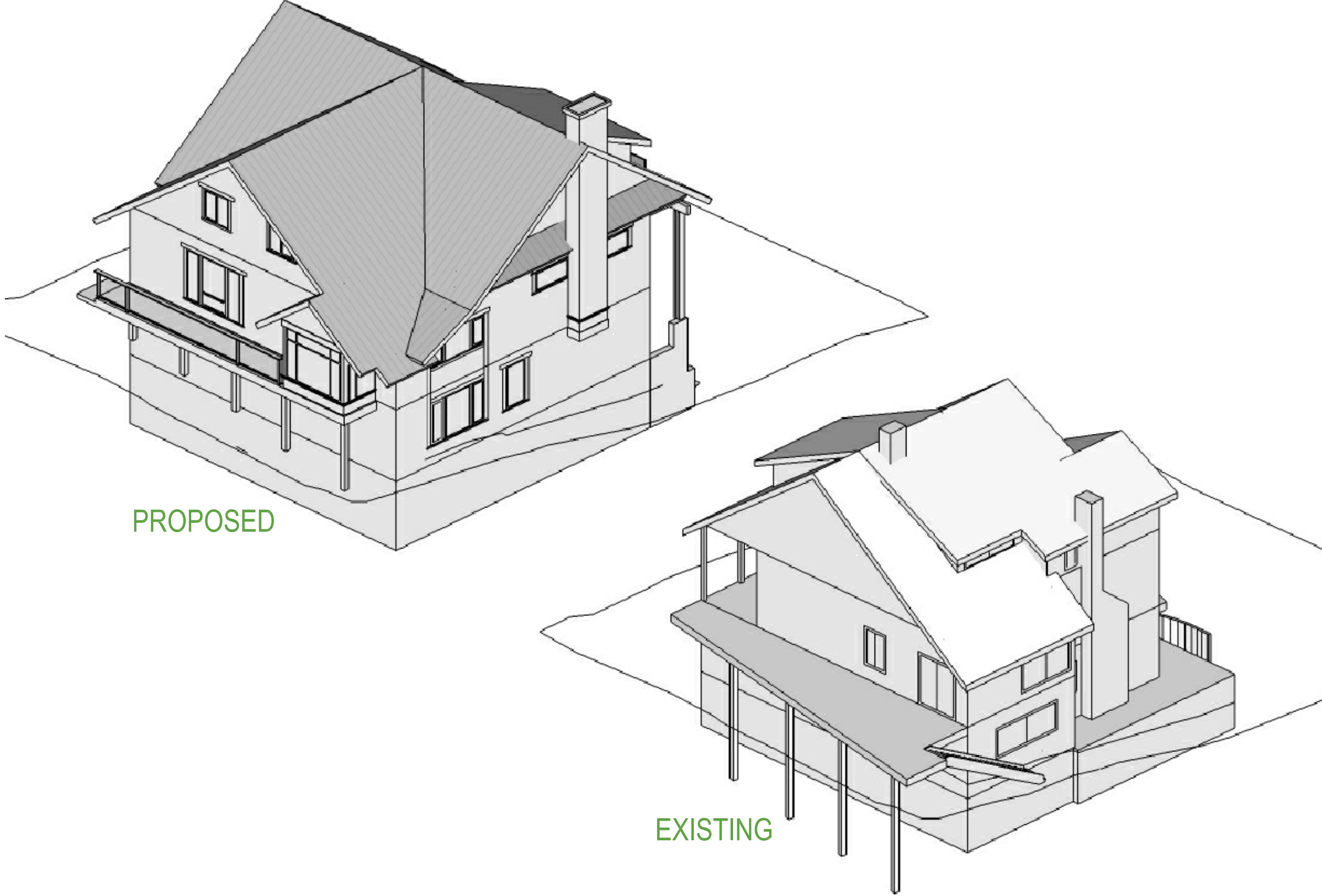
SOUTH WEST



NORTH EAST



SOUTH EAST

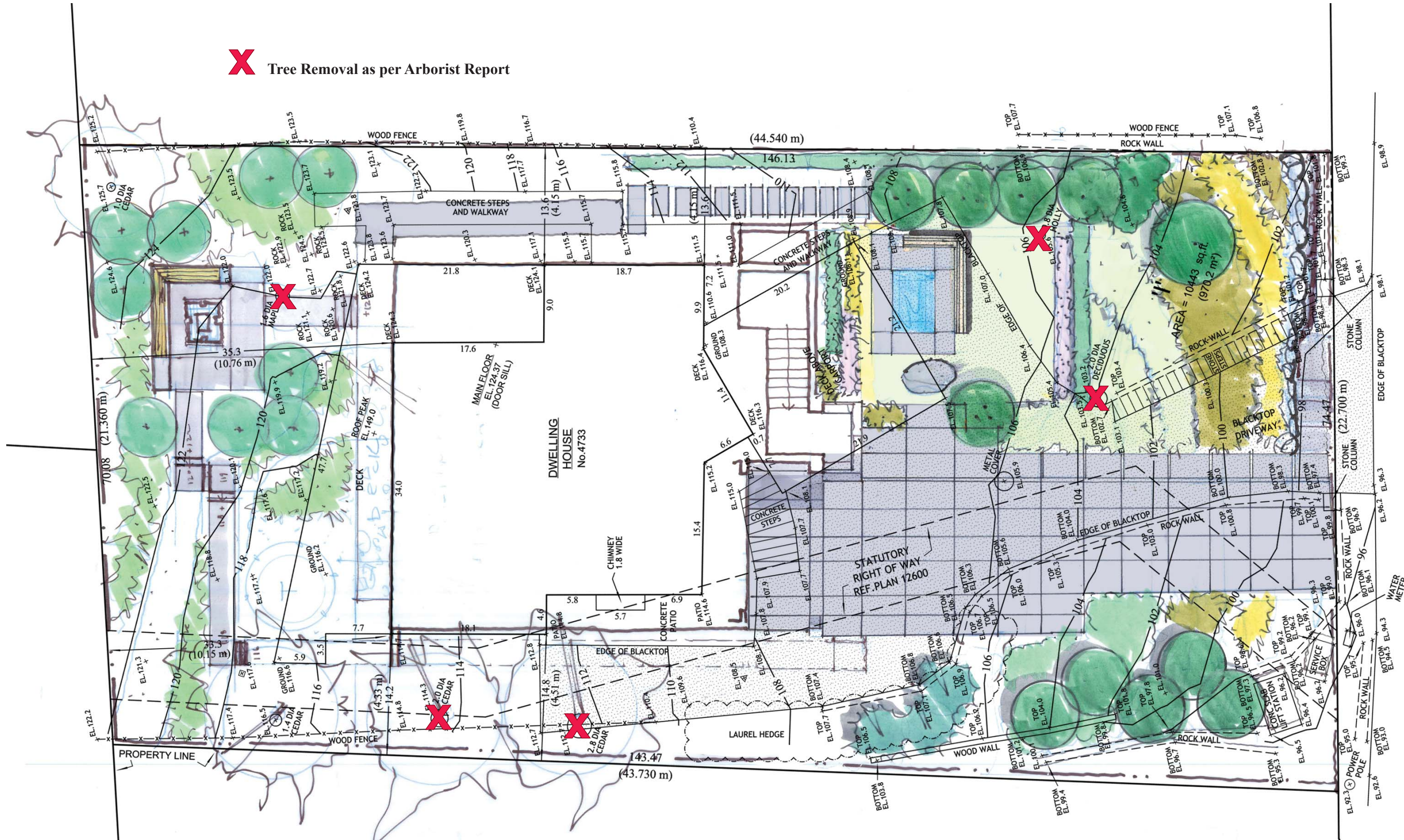


NORTH WEST

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Tree Removal Plan

X Tree Removal as per Arborist Report



PICCADILLY SOUTH