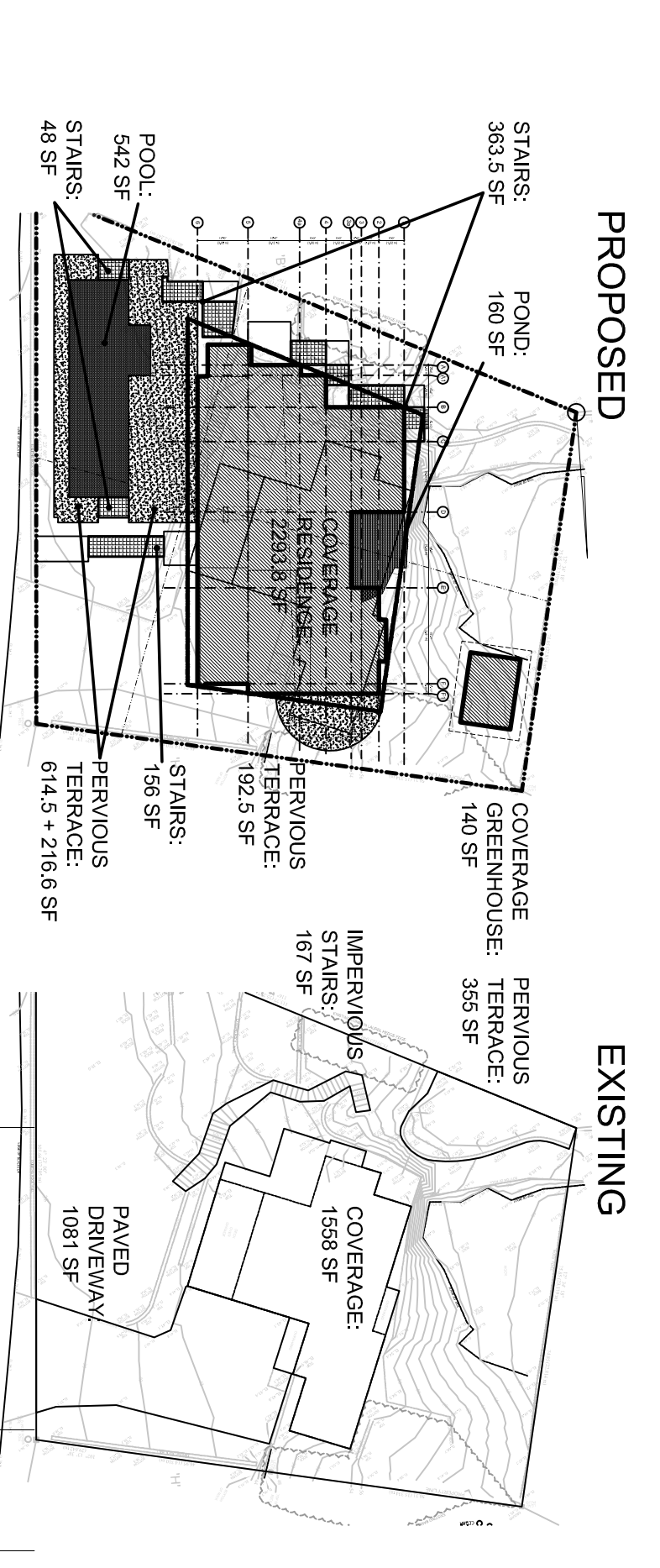
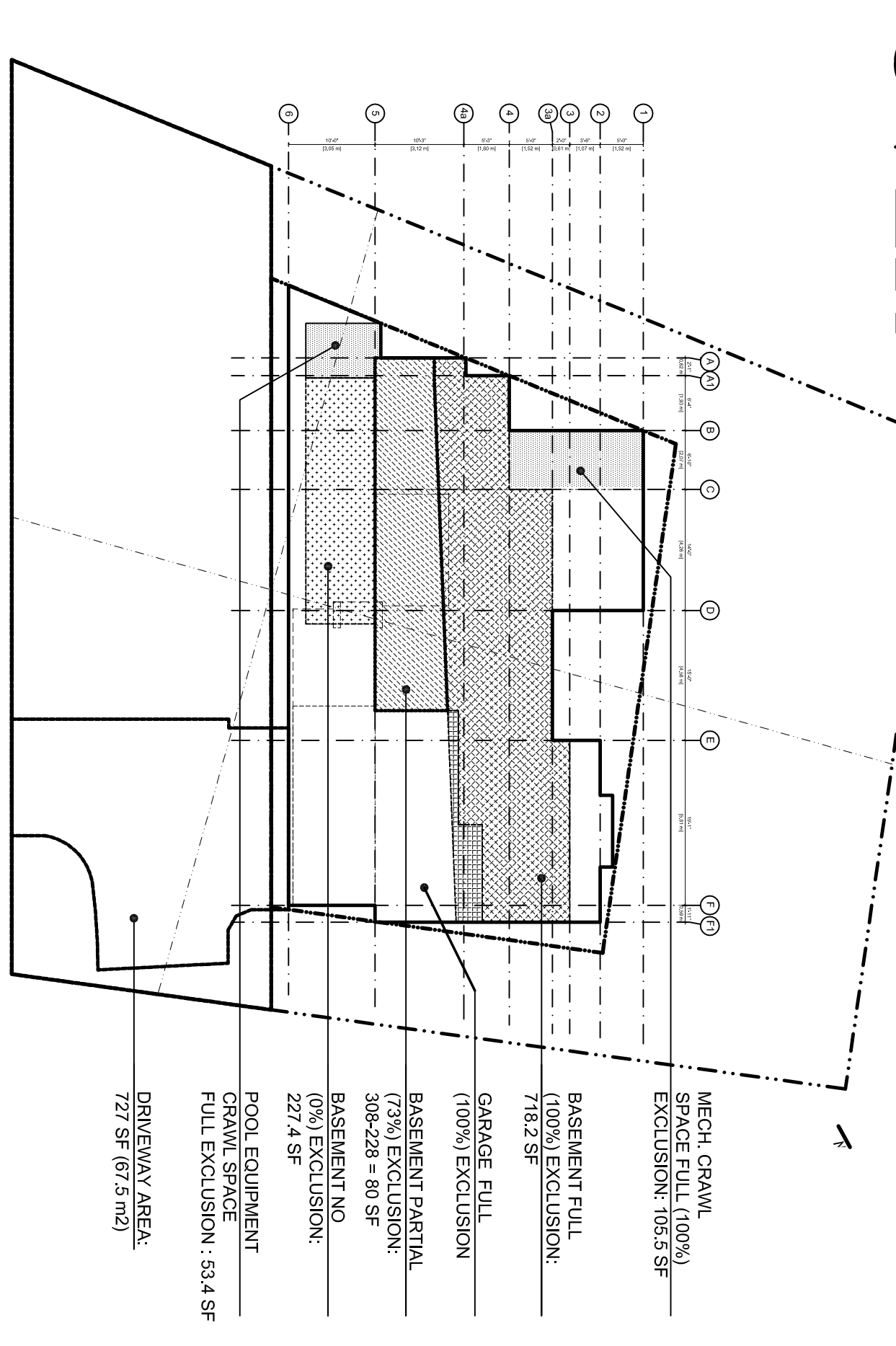


CAPLAN RESIDENCE: 4753 PILOT HOUSE ROAD, WEST VANCOUVER

FAR EXEMPTIONS SUMMARY



PROJECT STATISTICS

LOT ADDRESS
4753 PILOT HOUSE ROAD, WEST VANCOUVER, BC
LEGAL DESCRIPTION:
LOT 18 BLOCK 2 DISTRICT 1811, PLAN 4753
P.I.D. 011317-080

ZONING RS-3
ALLOWED PROPOSED COMMENT

LOT AREA 9,248 SF
SITE COVERAGE 2,964 SF 32.1%
FLOOR AREA RATIO 0.32

FLOOR AREA RATIO
LOWER: 304.0 m² (3272.2 SF)
POOL: 0.0 SF
MAN. MECHANICAL: 1860.8 SF (184.9 m²)
MECHANICAL: 0.0 SF
UPPER: 1,289.3 SF (120.7 m²)
GARAGE (GREENHOUSE): 0.0 SF
AUXILIARY (GREENHOUSE): 0.0 SF
TOTAL 3572.5 SF (333.6 m²)

BUILDING SETBACKS

WEST FRONT YARD 30'-0"
REAR YARD 30'-0" (18% LW)
SIDE YARD 16'-0" (25% LW)
COMBINED STBS 23'-5"

BUILDING HEIGHT

25'-0" (7.62 m) 24'-5" (7.55 m)

FRONT YARD PAVED AREA

AREA WITHIN FRONT YARD SETBACK (30'-0") = 3,047.5 SF
AREA WITHIN FRONT YARD SETBACK (30'-0") = 3,047.5 SF
ACTUAL PAVED FRONT YARD AREA = 2,270.8 SF

LOWER FLOOR F.A.R. CALCULATION	
AVERAGE GRADE - BASEMENT F.L.V.L. X 100	50.7' x 43.0' X 100 = 74%
LOWER FLOOR EXCLUSION = 308' 0" = 228 SF	

SITE COVERAGE COMPARISON (sq. ft.)		
BUILDING COVERAGE	EXISTING	PROPOSED
DRIVEWAY	1081.0	753.5
POOL, POND PERVIOUS TERRACE	N/A	702.0
STAIRS	167.0	567.5

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DRAWINGS BEFORE COMMENCING.
- DISHING AREAS MUST BE CONFINED TO THE INTERIOR WALLS AND TO FACE OF STUD FOR PERFORATION WALLS, UNLESS NOTED OTHERWISE.
- BUILDING CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO LOCAL BY-LAWS AS APPLICABLE.
- CONTRACTOR SHALL TAKE PRECAUTIONS AS SPECIFIED BY THE CANADIAN CONSTRUCTION SURETY CODE TO ENSURE PUBLIC SAFETY DURING CONSTRUCTION.
- FOOTINGS TO SUITABLE BEARING BELOW FROST PENETRATION DEPTH.
- MIN. 18" BELOW GRADE.
- CONCRETE SHALL BE 3000 PSI MIN. STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
- ALLOW OPENINGS IN FOUNDATIONS FOR SERVICES AS REQUIRED.
- ANCHOR BOLTS AT 6" O.C. MAX.
- WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED BY 45# DAMPROOFING FELL-LAYER.
- PROVIDE 4" PREPARED FENESTER SPAN TILE WITH 6" CLEAN GRAVEL OVER.
- FRAMING LUMBER SHALL BE DOUGLAS FIR OR HEALOCK NO. 20 OR BETTER.
- FLOOR JOISTS SHALL BE DOUBLED UNDER WALLS PARALLEL TO JOIST.
- FLUSH FRAMED WOOD MEMBERS SHALL BE SECURED WITH APPROVED METAL FRAMING ANCHORS.
- LANE SHALL BE MIN. (2) 2X10S UNLESS NOTED OTHERWISE.
- SYMBOL, IN WALL CONSTRUCTION INDICATES SHALL TOP WOOD STUD COLUMN NUMBER OF STUDS SHALL BE EQUAL TO THE NUMBER OF MEMBERS IN THE BEAM BEING SUPPORTED, UNLESS OTHERWISE INDICATED. ENSURE TRANSFER OF LOADS TO BE SUPPORTED. VERIFY ALL DIMENSIONS SHALL BE AS APPROVED, AS SHOWN AND CERTIFIED BY A STRUCTURAL ENGINEER MANUFACTURER QUALIFIED TO LONGER THAN 2X2 OR SOLID WOOD BLOCKING EQUAL IN DEPTH TO THE JOISTS SHALL BE INSTALLED BETWEEN FLOOR AND ROOF JOISTS PERPENDICULAR TO THE SPAN FROM NOTCH WHERE MORE THAN 12" IS REQUIRED. BRIDGING SHALL BE EQUALLY SPACED ACROSS THE SPANS.
- SHEET METAL FLASHINGS SHALL BE INSTALLED OVER ALL UNPROTECTED OPENINGS TO THE EXTERIOR AND BELOW ALL EXTERIOR DOOR SILLS SHEET METAL FLASHINGS SHALL BE INSTALLED OVER ALL UNPROTECTED OPENINGS TO THE EXTERIOR.
- UNLESS NOTED OTHERWISE, PAINT ALL FLASHINGS TO MATCH ADJACENT MATERIAL FINISHES.
- CAULKING SHALL BE INSTALLED AROUND ALL OPENINGS TO THE EXTERIOR.
- NEW CEILING SHALL BE 1/2" NO. 1 CSDR RESINUM, PRESSURE TREATED UNDERLAY BETWEEN EACH FRAME COURSE.
- SHAKES WITH 7" MAX EXPOSURE. PROVIDE MIN. 18" WIDE 1/4" BUILDING FELT UNDERLAY BETWEEN EACH FRAME COURSE.
- GRADE LINES AS SHOWN ARE APPROXIMATE.
- NEW WINDOWS AND GLAZED DOORS TO BE INSULATED GLAZED IN WOOD SASHES, GLAZING WEIGHTS TO CONFORM TO THAT SPECIFIED BY THE N.B.C. GLAZING WITHIN 1/4" OF THE FLOOR ON IN DOORS, OR WITHIN 3/4" OF DOOR COGS, AND ABOVE TUBS SHALL BE SAFETY GLASS.
- INTERIOR CEILING AND WALL SURFACES SHALL BE 5/8" GYPSUM BOARD WHERE FRAMING CEMENT BOARD REQUIRED AS TILE BASE. ROUND TUBS & SHOWERS.
- SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH B.C.A.C. PROVIDE MINIMUM (1) HARDWIRED SMOKE DETECTOR PER FLOOR, ALL ALWAYS INTERCONNECTED TO THE MAIN ELECTRICAL PANEL. PROVIDE 2" SCREWED VENTS AT EAVES. PROVIDE 12X12" ROOF JACKS AT PROVIDE CONTINUOUS OR INTERMITTENT EXHAUST FANS TO BATHROOMS, TOILET ROOMS AND KITCHENS TO COMBUSTIBLE MATERIALS.
- CHIMNEY FLUES TO COMPROM T.O.L.L.C. 8610 AND ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. PROVIDE ALL NECESSARY CLEARANCES TO COMBUSTIBLE MATERIALS.
- EXTENSIVE SINKING POSSIBLE TO BE SOLID IN PLACE. RETAIN EXISTING AND FINISH AT LANGE DOOR AT LANGE HEIGHT.
- AND STAIR FLAT HEIGHTS. PROVIDE SOLID BLOCKING TWO STUD SPACES EITHER SIDE OF DOOR AT LANGE HEIGHT.
- OUTSWINGING EXTERIOR DOORS TO HAVE NON-REMOVABLE FIN TYPE HINGE. PROVIDE SECURITY AL. OR BRASS COVERS.
- PROVIDE 30" X 2" WEATHERSTRIPPED ACCESS PANEL TO ALL ATTIC AND CRAWL SPACES.
- ALL EXTERIOR FASTENERS SHALL BE GALV. STEEL, OR OTHER CORROSION RESISTANT MATERIALS.
- PROVIDE AIR SPACE FOR INSULATION ABOVE JOISTS AS PER B.C. BUILDING CODE 9.19.1.3.(1) & 9.19.1.3.(2).
- THE DOWNSPOUTS INTO SEPARATE RAIN WATER COLLECTION SYSTEM.
- SECURE HOT WATER TANKS TO PREVENT OVERTURNING.
- NO IMPROVED DOORS TO WALK-IN CLOSETS.

4753 PILOT HOUSE ROAD - CARPENTRY RESPONSE		31-CM-14	
EXISTING AVERAGE GRADE AT FINESTER	EXISTING PRODUCT	PROPOSED AVERAGE GRADE AT FINESTER	PROPOSED PRODUCT
A-A2	41.90	42.10	42.50
A-A3	42.10	42.10	42.50
A-A4	42.10	42.10	42.50
A-A5	42.10	42.10	42.50
B-C	42.50	42.50	43.00
C-D	42.50	42.50	43.00
D-E	42.50	42.50	43.00
E-F	42.50	42.50	43.00
F-G	42.50	42.50	43.00
G-H	42.50	42.50	43.00
H-I	42.50	42.50	43.00
I-J	42.50	42.50	43.00
J-K	42.50	42.50	43.00
K-L	42.50	42.50	43.00
L-M	42.50	42.50	43.00
M-N	42.50	42.50	43.00
N-O	42.50	42.50	43.00
O-P	42.50	42.50	43.00
P-Q	42.50	42.50	43.00
Q-R	42.50	42.50	43.00
R-S	42.50	42.50	43.00
S-T	42.50	42.50	43.00
T-A	42.50	42.50	43.00
TOTAL FINESTER	42.50	42.50	42.50
TOTAL PRODUCT	231.15	231.15	231.15

4753 PILOT HOUSE ROAD - POOL		31-CM-14	
EXISTING AVERAGE GRADE AT FINESTER	EXISTING PRODUCT	PROPOSED AVERAGE GRADE AT FINESTER	PROPOSED PRODUCT
K-A2	31.50	31.50	31.50
K-A3	31.50	31.50	31.50
K-A4	31.50	31.50	31.50
K-A5	31.50	31.50	31.50
TOTAL FINESTER	31.50	31.50	31.50
TOTAL PRODUCT	181.00	181.00	181.00

PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

SHEET TITLE
SITE PLAN
ZONING & STATISTICS

DATE
12/09/2014

SCALE
1/8" = 1'-0"

DRW
AEC

DATE
12/09/2014

A1.0

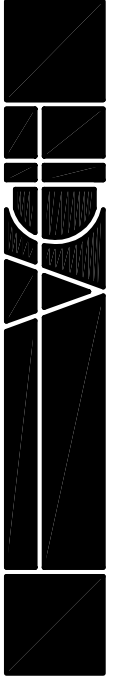
HL YNSKY + DAVIS
ARCHITECTS INC.
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ISSUED FOR: L.C.A.C. REVIEW 6/3/2015
DATE
AEC

CAPLAN RESIDENCE: 4753 PILOT HOUSE ROAD, WEST VANCOUVER



REF	DESCRIPTION	DATE	ISSUED
Δ	ISSUED FOR L.C.A.C. REVIEW	03/2015	AEC
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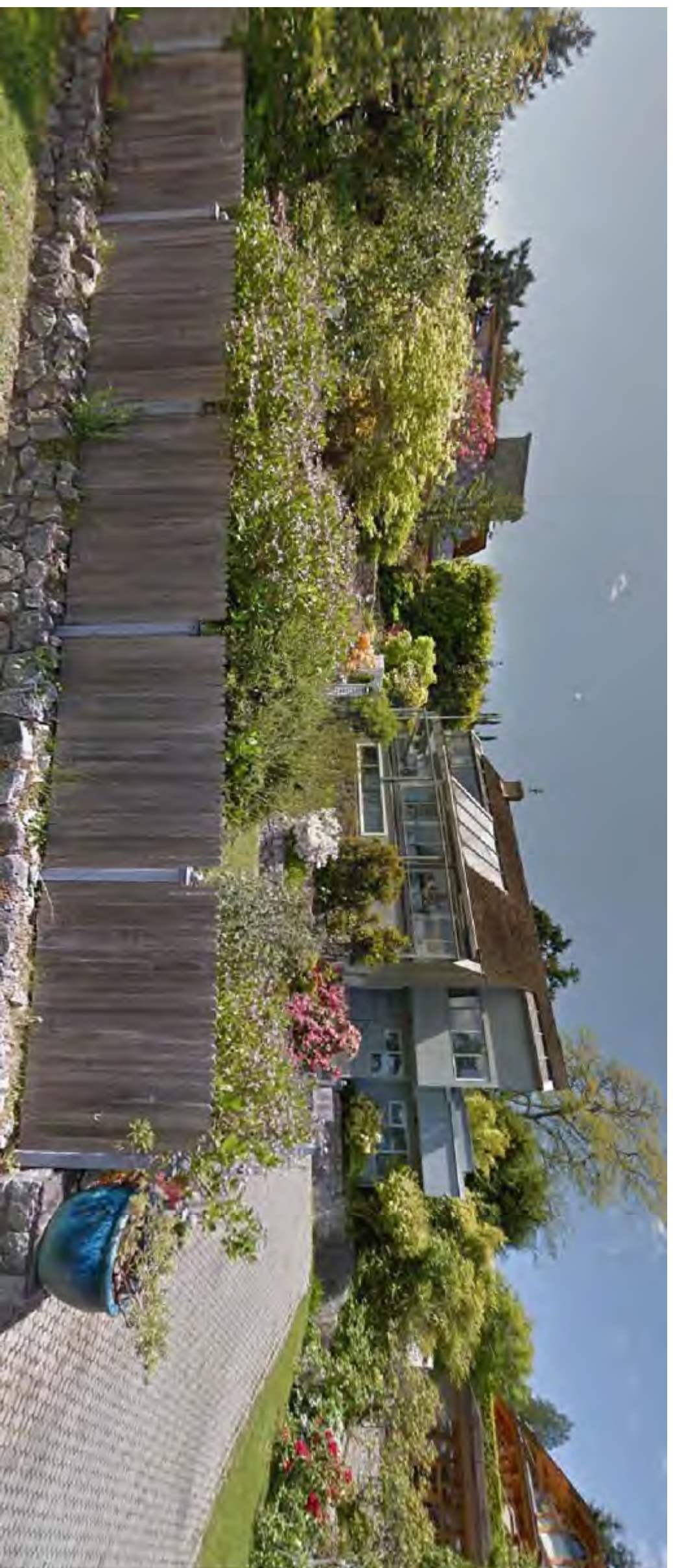
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PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

SHEET TITLE
SITE CONTEXT PLAN

DRAWN: AEC
SCALE: 3/32" = 1'-0"
DATE: 12/08/2014
A1.1



A. View from Pilot House Road to the Property and Adjacent Neighbours : Natural character of the site, the varied topography and short Rock Walls along street, establishes the feeling of openness and provides visual interest.



B. View To Water at Middle Terrace : View is blocked From existing house to Water by couple of Evergreen and Alder Trees.



C. View To Water at Top Terrace / Back Yard : View to water from South side yard has a continuous presence and visibility.



D. Landscape Character : Site has a Picturesque landscape setting with natural and man-made components which contributes to existing visual setting.



E / F . Natural Rock Outcropping at Property's West Side / Backyard : It's the significant natural feature of the site and important to overall character of the site.



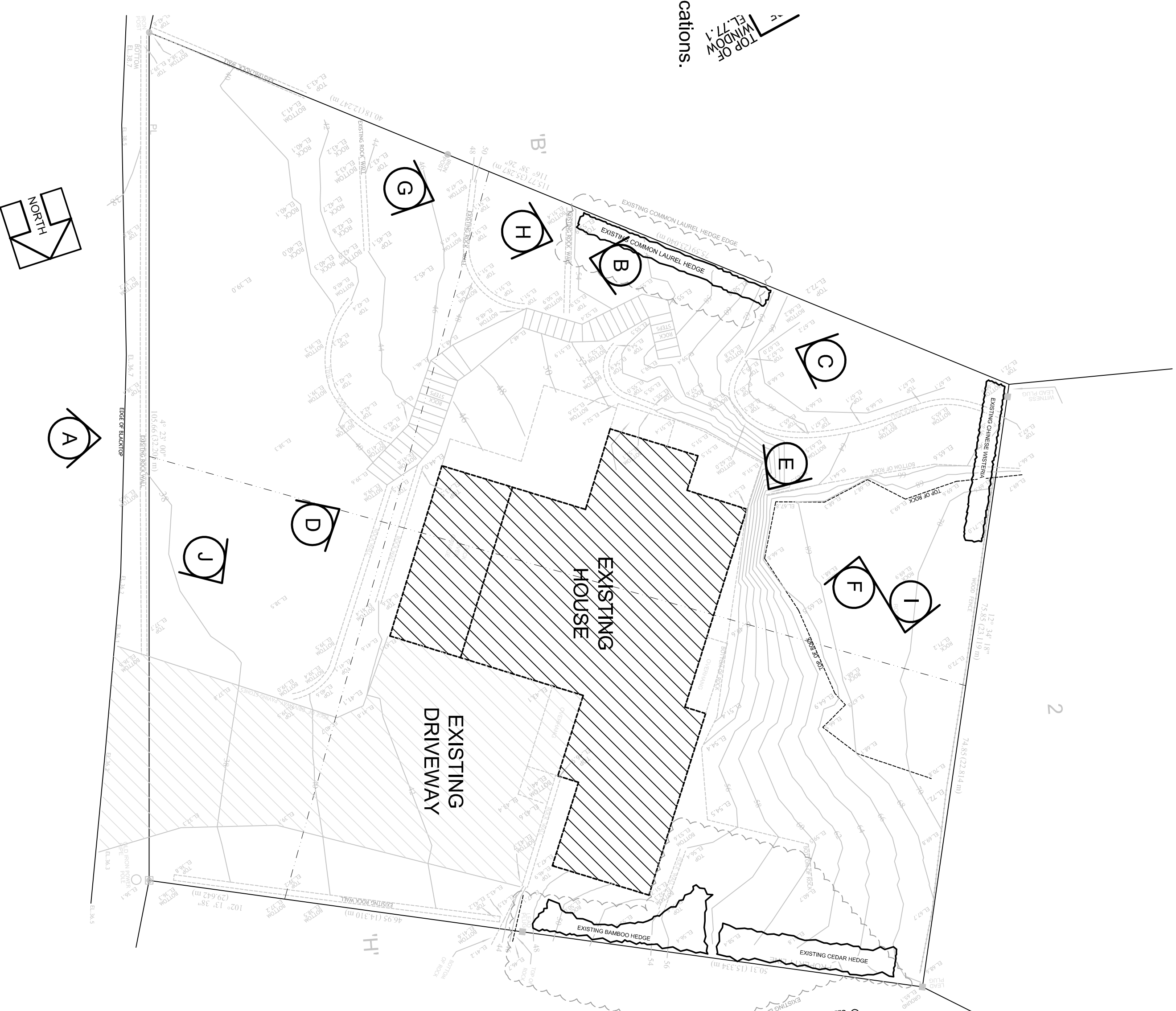
G. Existing Rock Walls : Another man-made landscape feature that is important to overall character of the site and remain in couple locations.



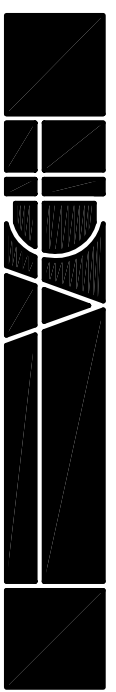
H . South Border : Mature Common Laurel shrub maintains screening between properties to remain.



I / J . North Border : Mature grouping of Bamboo trees maintain screening between properties to remain.



REV#	DESCRIPTION	DATE	BY
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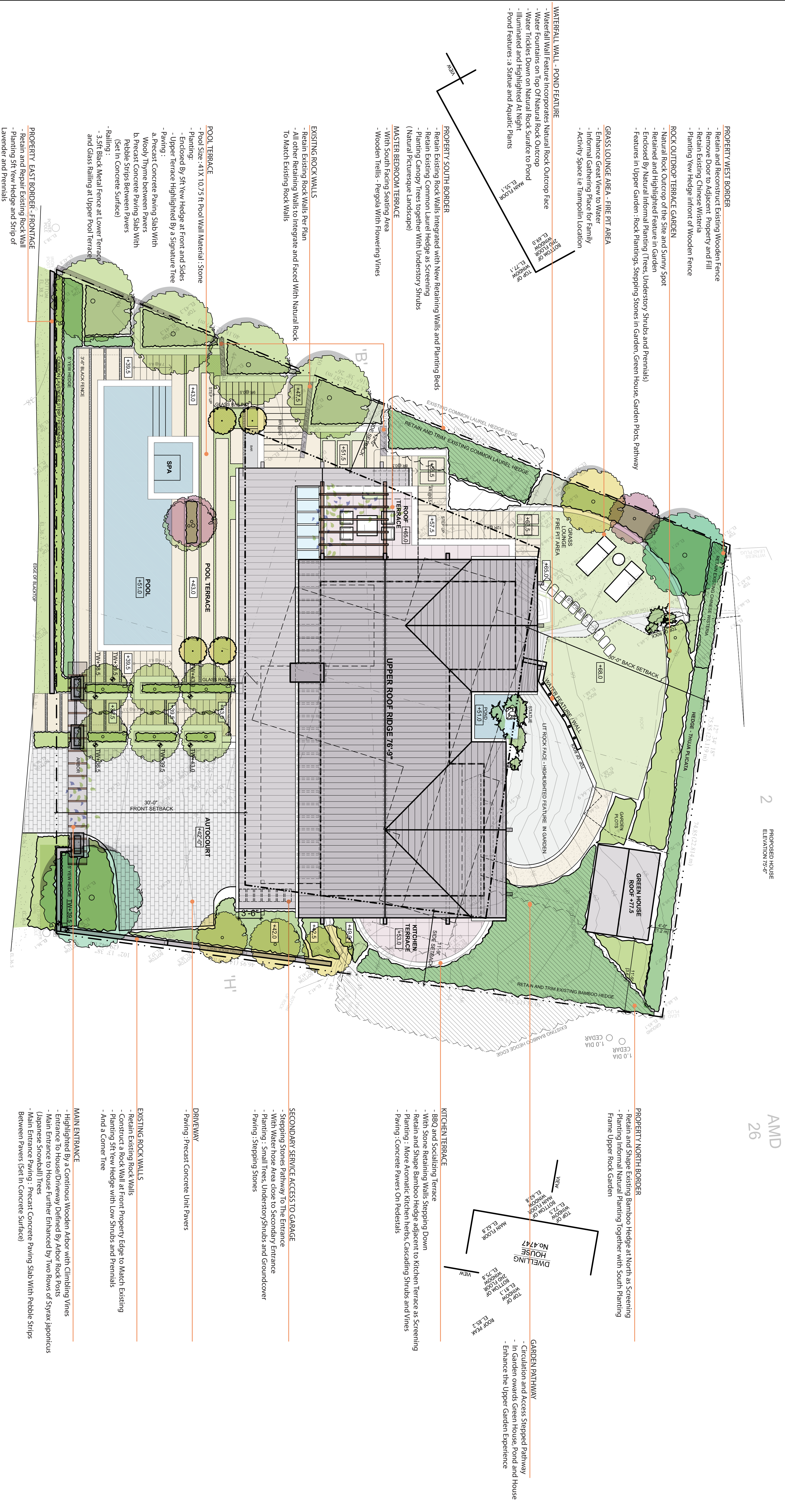
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PROJECT TITLE
**CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER**

SHEET TITLE
SITE CONTEXT PHOTOS

DATE 12/08/2014
SCALE 3/32" = 1'-0"
DRAWN AEC
PAGE **A1.2**

CAPLAN RESIDENCE: 4753 PILOT HOUSE ROAD, WEST VANCOUVER



PROPOSED HOUSE
ELEVATION 755'±

AMID
26

- PROPERTY WEST BORDER**
- Retain and Reconstruct Existing Wooden Fence
 - Remove Door to Adjacent Property and Fill
 - Retain Existing Chinese Wisteria
 - Planting Yew Hedge in front of Wooden Fence

- ROCK OUTDROP TERRACE GARDEN**
- Natural Rock Outcrop of the Site and Sunny Spot
 - Retained and Highlighted Feature in Garden
 - Enclosed by Natural Informal Planting (Trees, Understory Shrubs and Perennials)
 - Features in Upper Garden: Rock Plantings, Stepping Stones in Garden, Green House, Garden Pathway

- GRASS LOUNGE AREA - FIRE PIT AREA**
- Enhance Great View to Water
 - Informal Gathering Place for Family
 - Activity Space in Trampolin Location

- WATERFALL WALL - POND FEATURE**
- Waterfall Wall Feature incorporates Natural Rock Outcrop Face
 - Water Fountains on Top Of Natural Rock Outcrop
 - Water Trickles Down on Natural Rock Surface to Pond
 - Illuminated and Highlighted At Night
 - Pond Features: a Statue and Aquatic Plants

- PROPERTY SOUTH BORDER**
- Retain Existing Rock Walls Integrated with New Retaining Walls and Planting Beds
 - Retain Existing Common Laurel Hedge as Screening
 - Planting Canopy Trees together With Understory Shrubs (Natural Picturesque Landscape)

- MASTER BEDROOM TERRACE**
- With South Facing Seating Area
 - Wooden Trellis - Pergola With Flowering Vines

- EXISTING ROCK WALLS**
- Retain Existing Rock Walls Per Plan
 - All Other Retaining Walls to Integrate and Faced With Natural Rock To Match Existing Rock Walls

- POOL TERRACE**
- Pool Size: 41'x 10.75' ft Pool Wall Material: Stone
 - Planting:
 - Enclosed By 5ft Yew Hedge at Front and Sides
 - Upper Terrace Highlighted By a Signature Tree
 - Paving:
 - Precast Concrete Paving Slab With Woolly Thyme between Pavers
 - Precast Concrete Paving Slab With Pebble Strips between Pavers (Set in Concrete Surface)
 - Railing:
 - 3.5ft Black Metal Fence at Lower Terrace and Glass Railing at Upper Pool Terrace

- PROPERTY EAST BORDER - FRONTAGE**
- Retain and Repair Existing Rock Wall
 - Planting 5ft Yew Hedge and Strip of Lavender and Perennials

- PROPERTY NORTH BORDER**
- Retain and Shape Existing Bamboo Hedge at North as Screening
 - Planting Informal Natural Planting Together with South Planting
 - Frame Upper Rock Garden

- GARDEN PATHWAY**
- Circulation and Access Stepped Pathway
 - In Garden towards Green House, Pond and House
 - Enhance the Upper Garden Experience

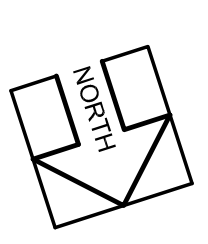
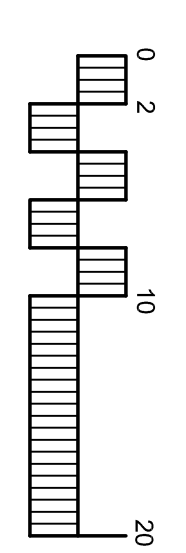
- KITCHEN TERRACE**
- BBQ and Socializing Terrace
 - With Stone Retaining Walls Stepping Down
 - Retain and Shape Bamboo Hedge adjacent to Kitchen Terrace as Screening
 - Planting: More Aromatic Kitchen herbs, Cascading Shrubs and Vines
 - Paving: Concrete Pavers On Pedestals

- SECONDARY SERVICE ACCESS TO GARAGE**
- Stepping Stone Pathway To The Entrance
 - With Water hose Area close to Secondary Entrance
 - Planting: Small Trees, Understory Shrubs and Groundcover
 - Paving: Stepping Stones

- DRIVEWAY**
- Paving: Precast Concrete Unit Pavers

- EXISTING ROCK WALLS**
- Retain Existing Rock Wall
 - Retain Existing Rock Wall at front Property Edge to Match Existing
 - Planting 5ft Yew Hedge with Low Shrubs and Perennials
 - And a Corner Tree

- MAIN ENTRANCE**
- Highlighted By a Continuous Wooden Arbor with Climbing Vines
 - Entrance to House/Driveway Defined By Arbor Rock Posts
 - Main Entrance to House Further Enhanced By Two Rows of Syrax japonicus (Japanese Snowball) Trees
 - Main Entrance Paving: Precast Concrete Paving Slab With Pebble Strips Between Pavers (Set in Concrete Surface)



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MAIBC

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FAX/SIMILE: (604) 923-3671
www.gbynsky.ca

Caplan Residence
4753 Pilot House Road
West Vancouver, B.C.
PROJECT

LANDSCAPE
CONCEPT PLAN
SHEET

SEPARATE SITE
PLANNING SUBMITTED
AUG 12/14
NOV 05/14
REVISED SITE PLAN OCT 28/14

CONSULTANT

DRAWN AEC

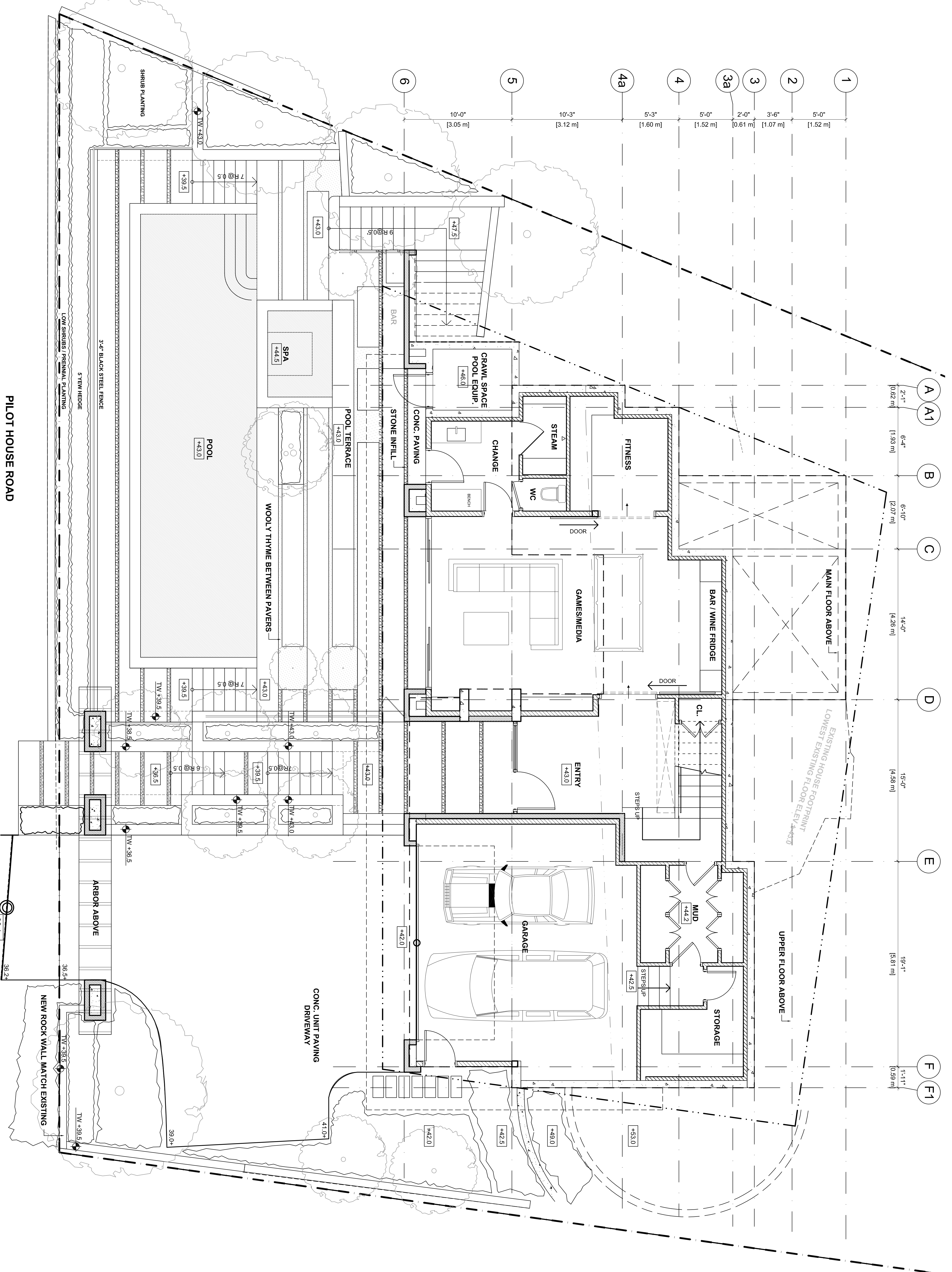
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DATE 12. AUG. 2014

SHEET **A1.3**

BENCH MARK
TOP OF ARBORWEDD WUTON
FIRE HYDRANT
ELEVATION 38.28 FEET

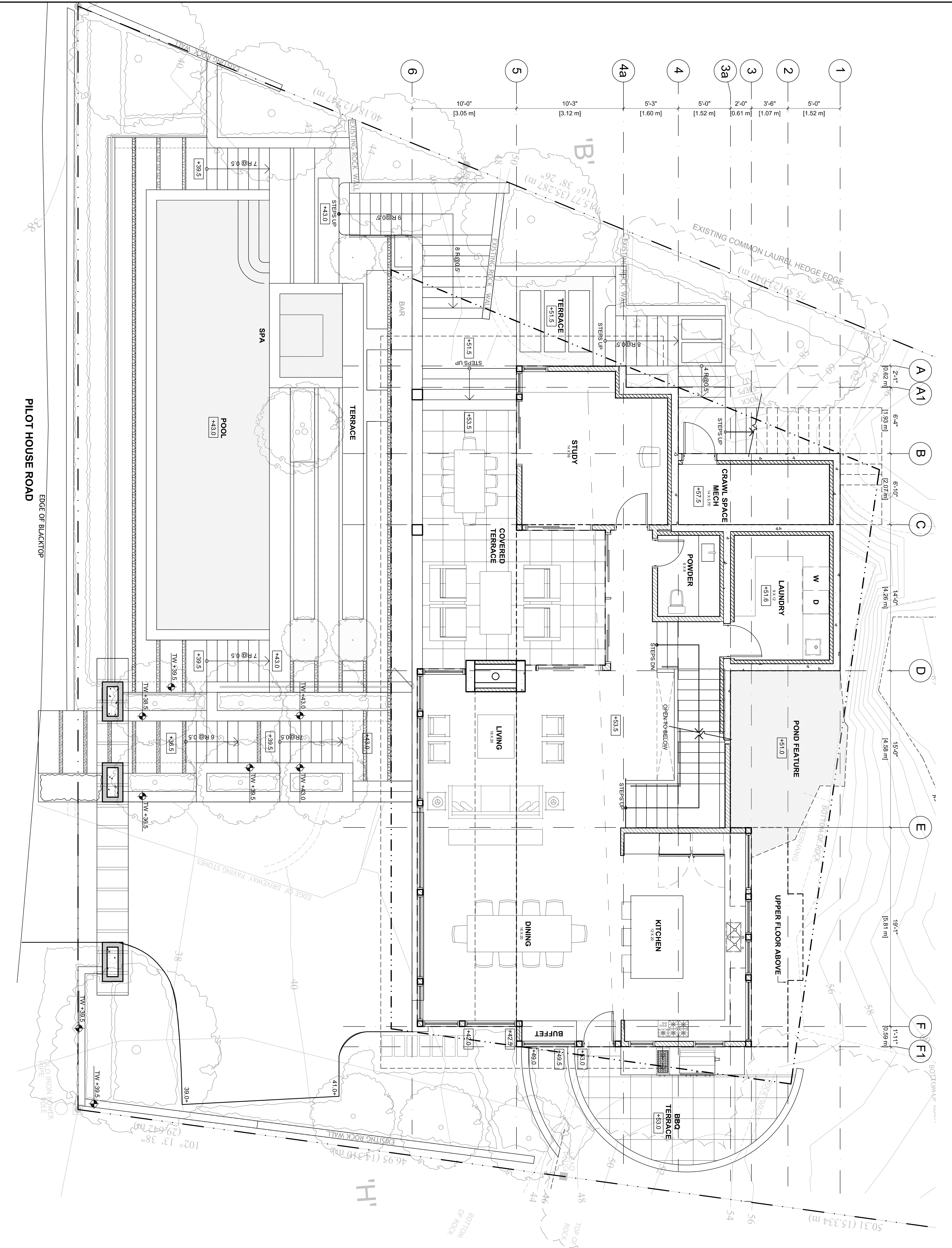
PILOT HOUSE ROAD



PILOT HOUSE ROAD

<p>PROJECT TITLE CAPLAN RESIDENCE 4753 PILOT HOUSE ROAD WEST VANCOUVER</p>	<p>CLIENT HL YNSKY + DAVIS ARCHITECTS INC. 2439 BELLEVUE AVENUE WEST VANCOUVER, B.C. V7V 1E1 WWW.HLYNSKY.COM • TELEPHONE (604) 525-3831</p>	<p>DATE 6/3/2015</p> <p>ISSUED FOR L.C.A.C. REVIEW</p> <p>DATE 6/3/2015</p> <p>SCALE 1/4" = 1'-0"</p> <p>DATE 12/08/2014</p>	<p>0 2 10 20</p> <p>NORTH</p>
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A2.1



EDGE OF BLACKTOP
PILOT HOUSE ROAD

PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

SHEET TITLE
MAIN FLOOR PLAN

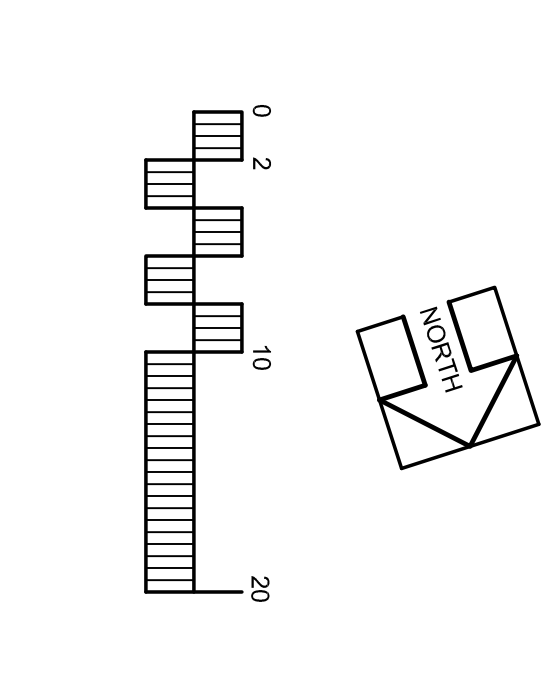
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7/20/2014

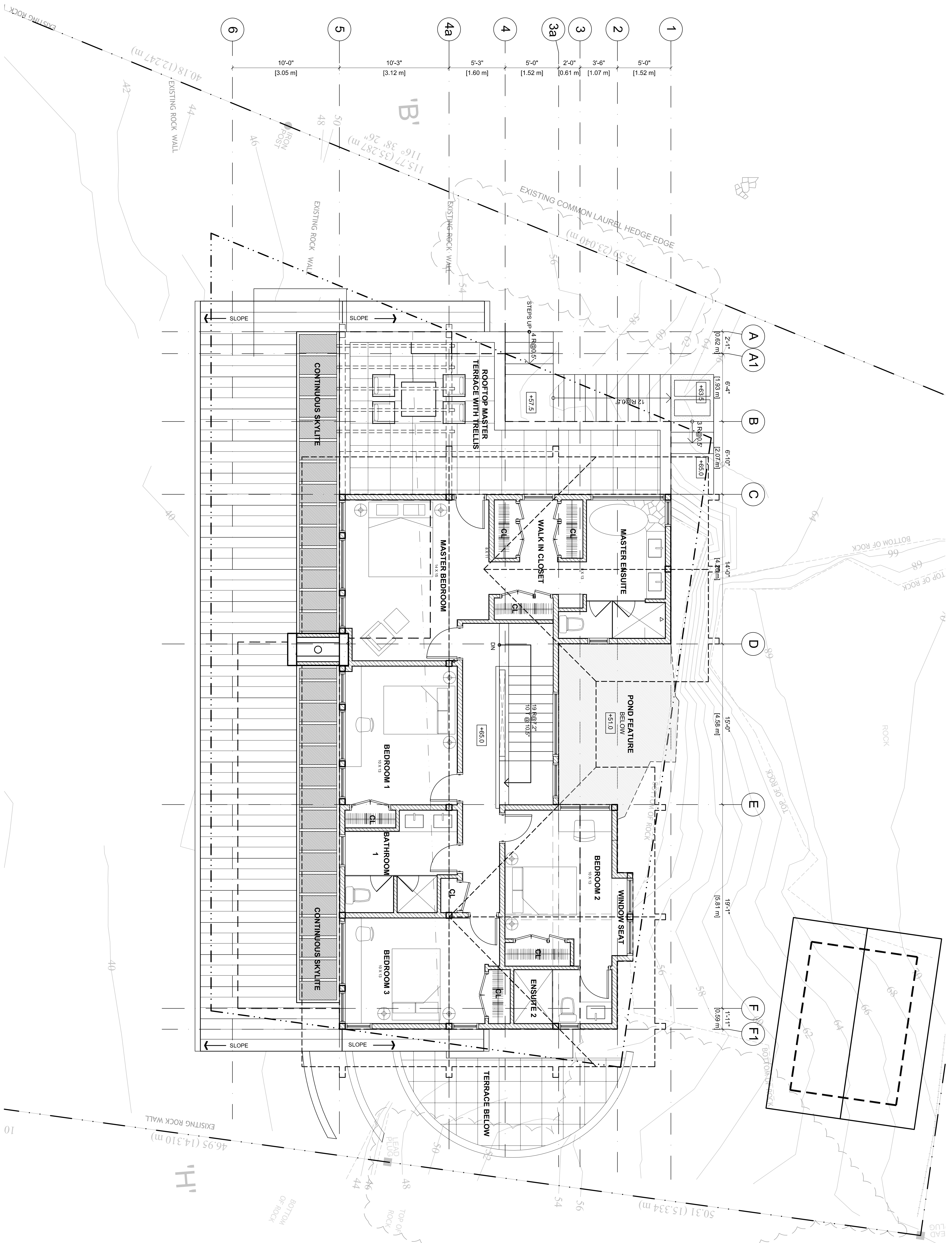
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1/4" = 1'-0"

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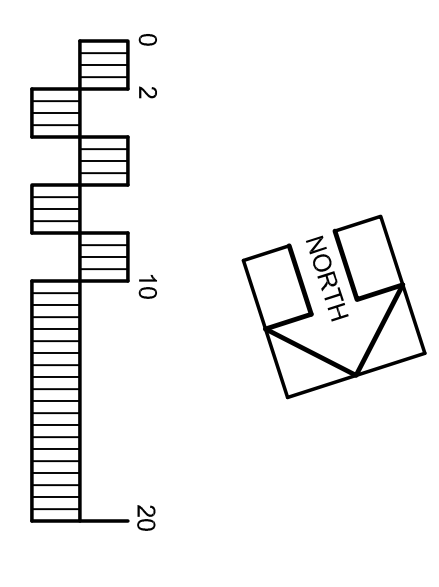
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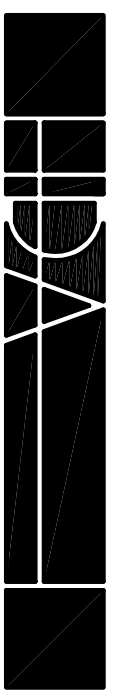




○ CEDAR
○ CEDAR



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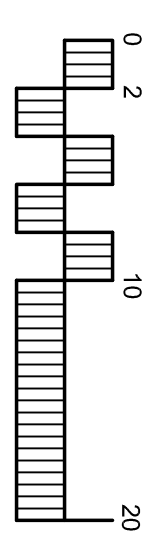
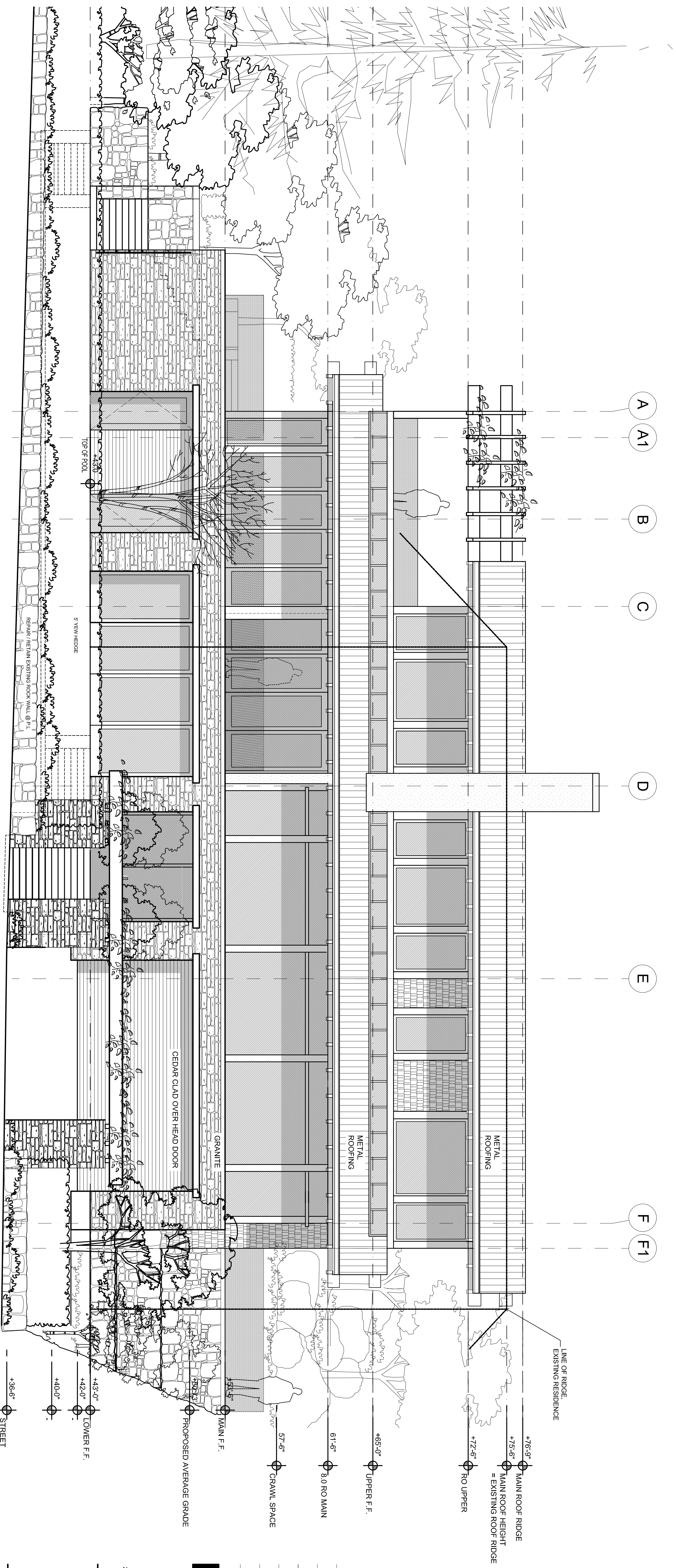
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PROJECT TITLE
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WEST VANCOUVER

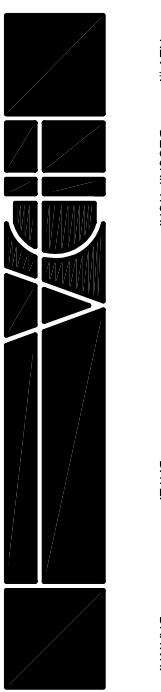
SHEET TITLE
UPPER FLOOR PLAN

DRAWN: AEC
SCALE: 1/4" = 1'-0"
DATE: 12/08/2014

A2.3



PROJECT TITLE
 CAPLAN RESIDENCE
 4753 PILOT HOUSE ROAD
 WEST VANCOUVER



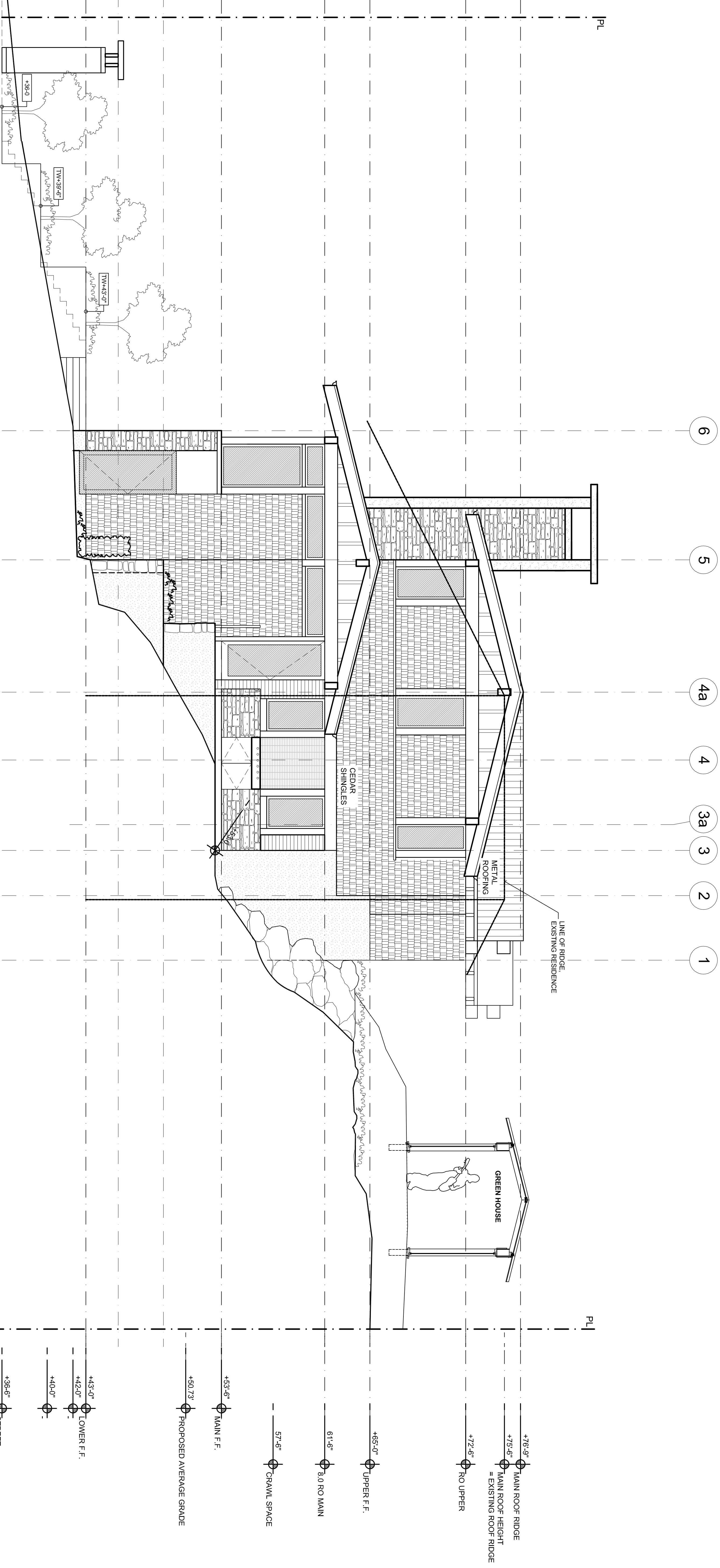
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REV#	DESCRIPTION	DATE	DRAWN
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SHEET TITLE
 EAST ELEVATION

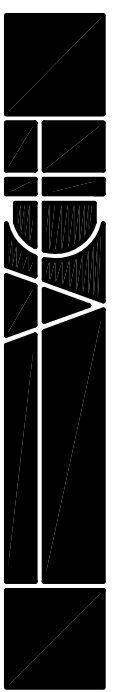
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 DATE 12/08/2014

A3.1



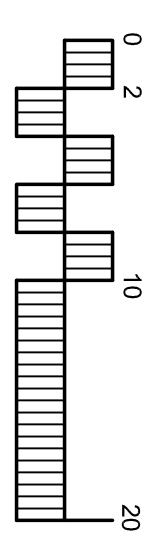
CEDAR CLAD OVER HEAD DOOR

REV#	DESCRIPTION	DATE	DRAWN
△	ISSUED FOR L.C.A.C. REVIEW	6/23/2015	AEC
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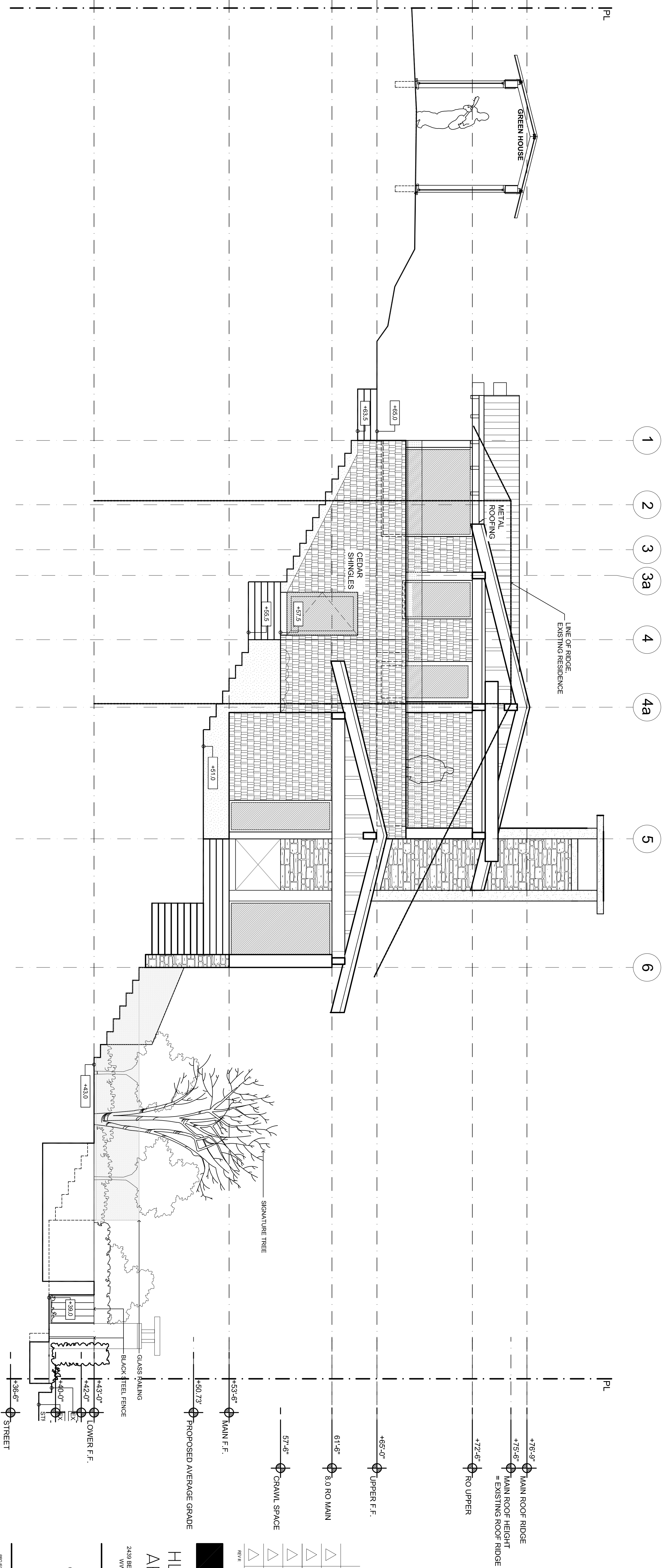


PROJECT TITLE
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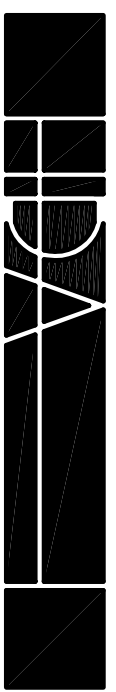
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A3.2

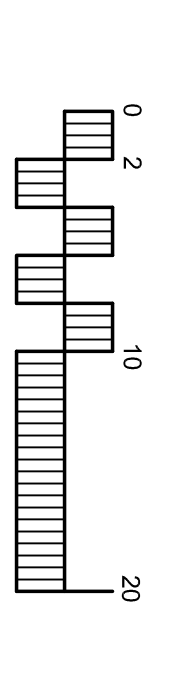


REV#	DESCRIPTION	DATE	BY/CHK
Δ	ISSUED FOR L.C.A.C. REVIEW	6/3/2015	AEC
Δ			
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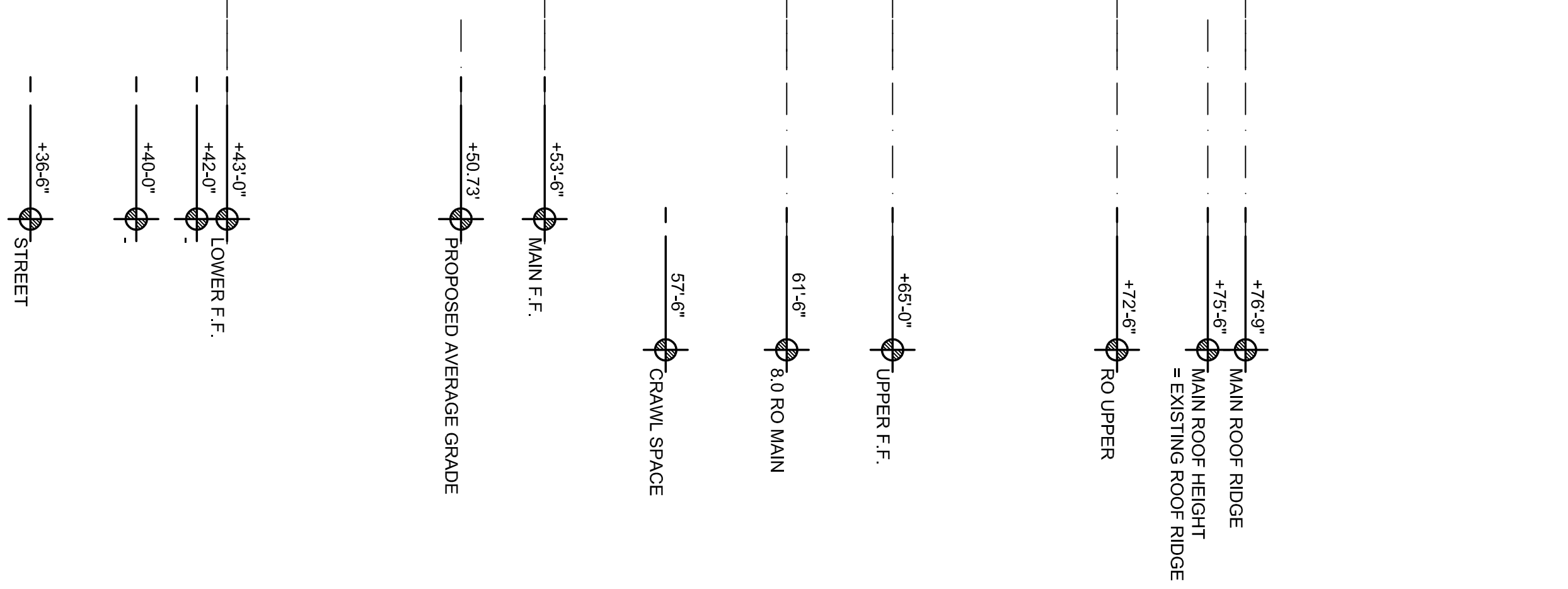
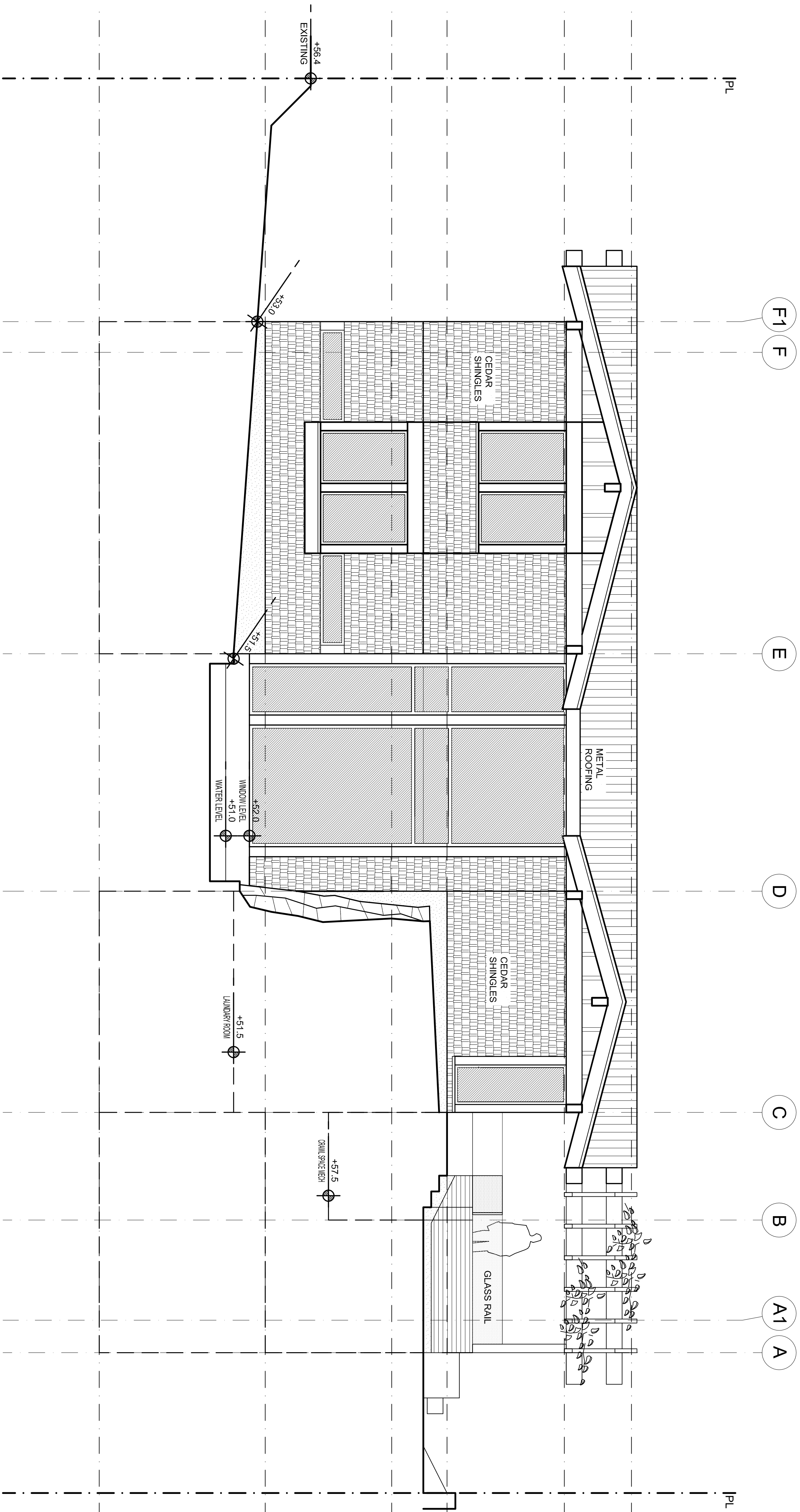


PROJECT TITLE
CAPLAN RESIDENCE
 4753 PILOT HOUSE ROAD
 WEST VANCOUVER

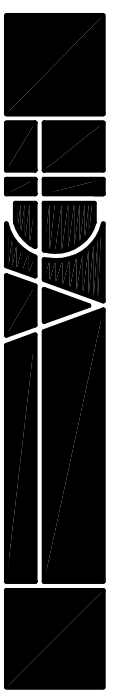
SHEET TITLE
SOUTH ELEVATION

DRAWN AEC
 SCALE 1/4" = 1'-0"
 DATE 12/08/2014

A3.3

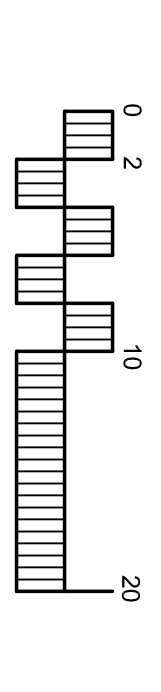


REV#	DESCRIPTION	DATE	BY/CHK
Δ	ISSUED FOR L.C.A.C. REVIEW	6/3/2015	AEC
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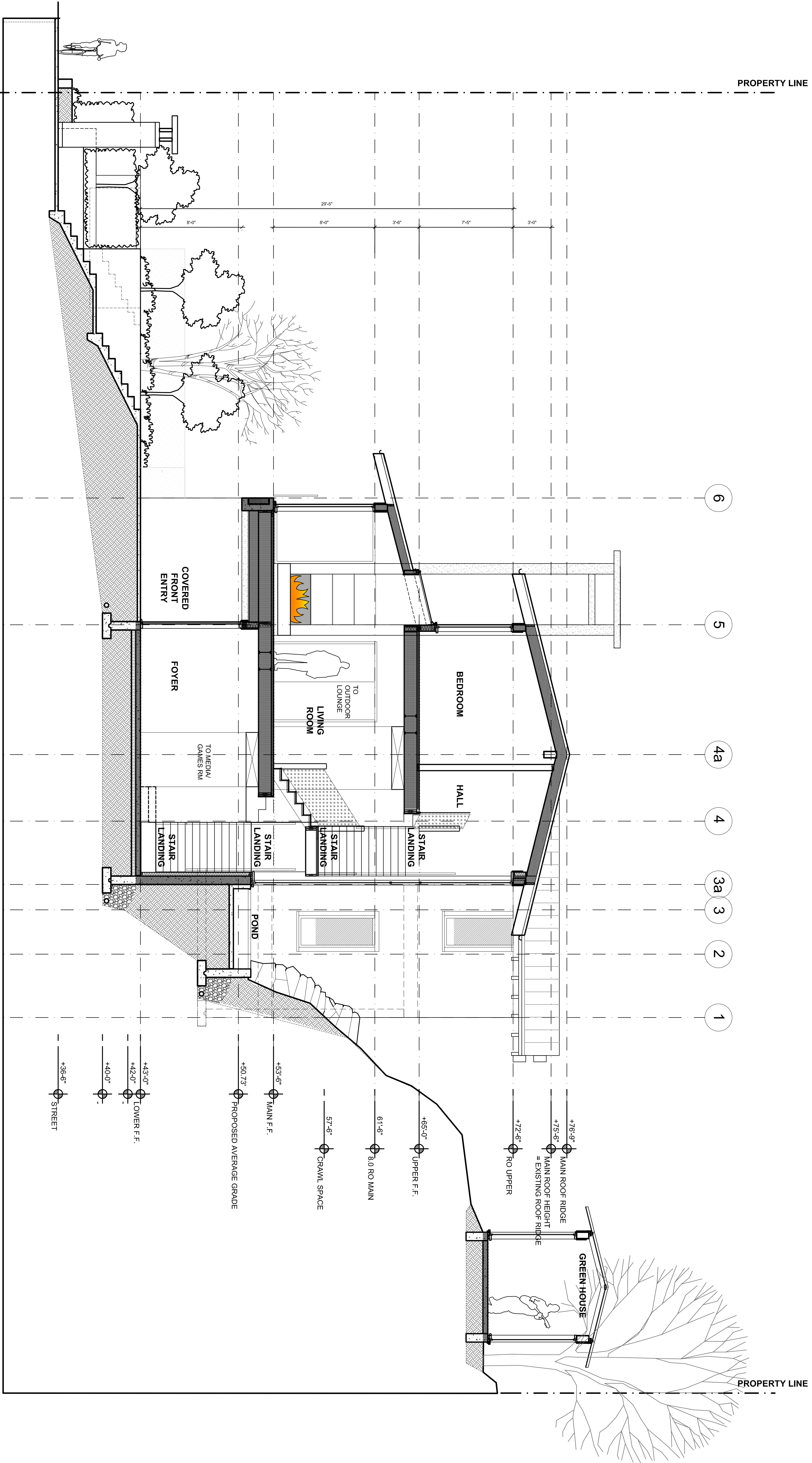
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PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

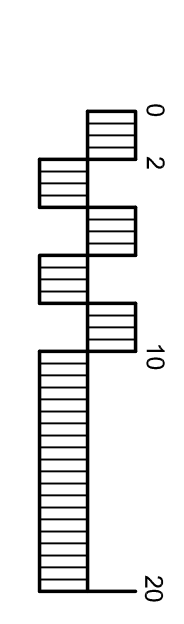
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SCALE 1/4" = 1'-0"
DATE 12/08/2014

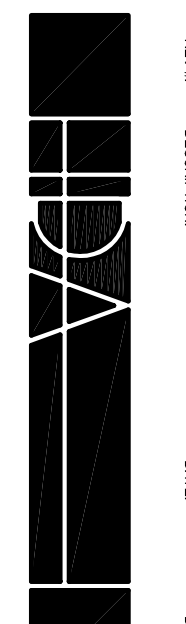


SECTION A-A
1/4" = 1'-0"

+78'-9"
 MAIN ROOF RIDGE
 +75'-6"
 MAIN ROOF HEIGHT
 = EXISTING ROOF RIDGE
 +72'-6"
 RO UPPER
 +66'-0"
 UPPER F.F.
 61'-6"
 8.0' RO MAIN
 57'-6"
 CRAWL SPACE
 +53'-6"
 MAIN F.F.
 +50.73'
 PROPOSED AVERAGE GRADE
 +43'-0"
 LOWER F.F.
 +42'-0"
 +40'-0"
 +36'-6"
 STREET



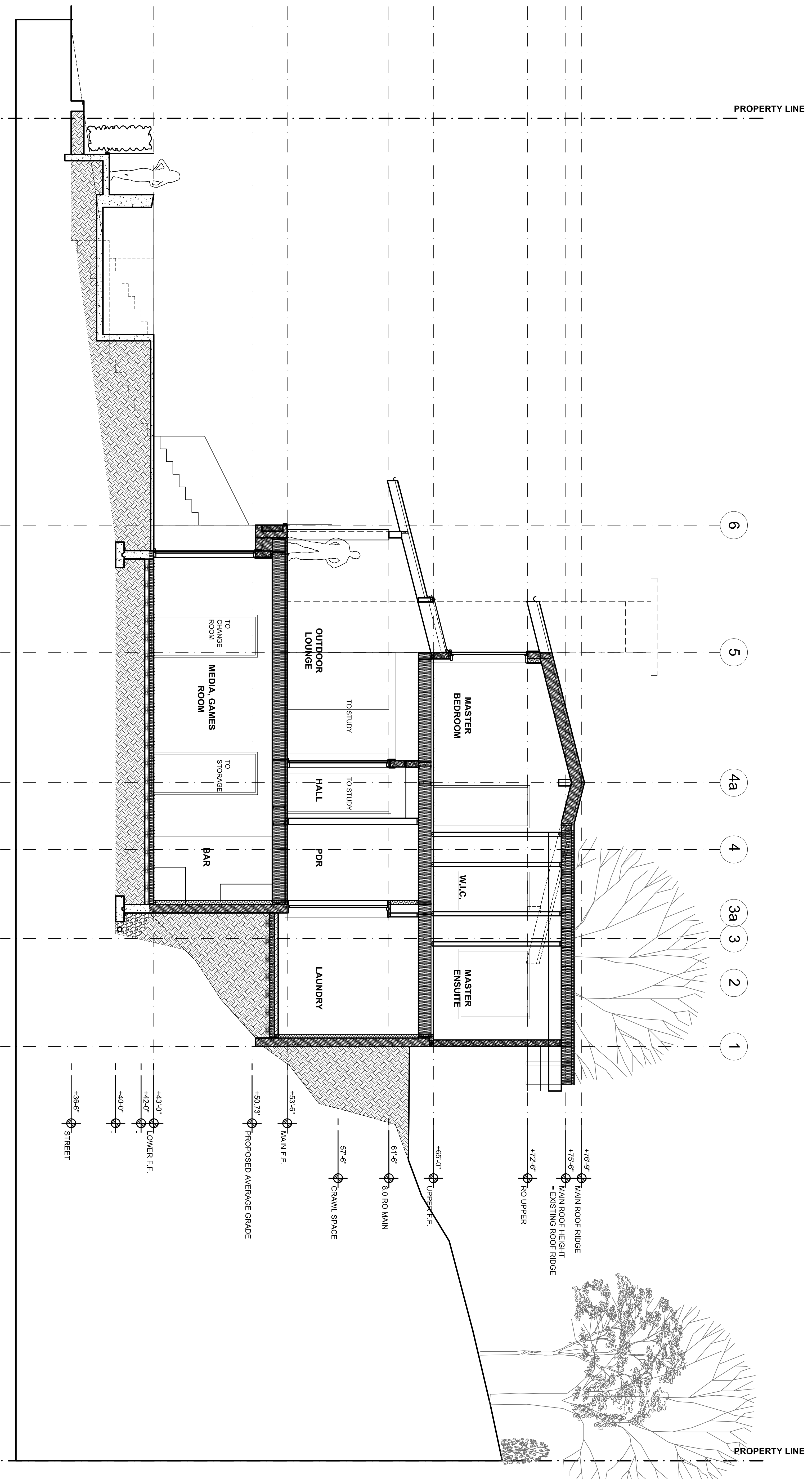
PROJECT TITLE
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 4753 PILOT HOUSE ROAD
 WEST VANCOUVER
 SHEET TITLE
 SECTION A-A



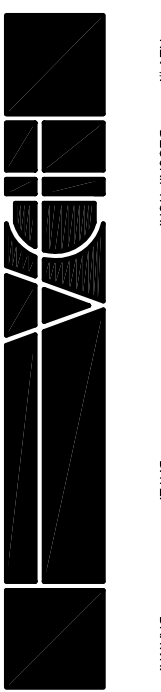
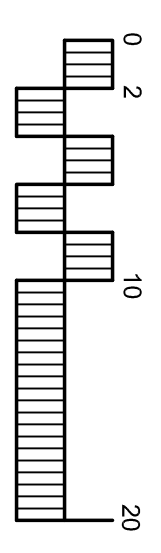
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REV#	DESCRIPTION	DATE	BY/CHK
Δ	ISSUED FOR L.C.A.C. REVIEW	6/3/2015	AEC
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DRAWN AEC
 SCALE 1/4" = 1'-0"
 DATE 12/08/2014
A4.1



SECTION B-B
1/4" = 1'-0"



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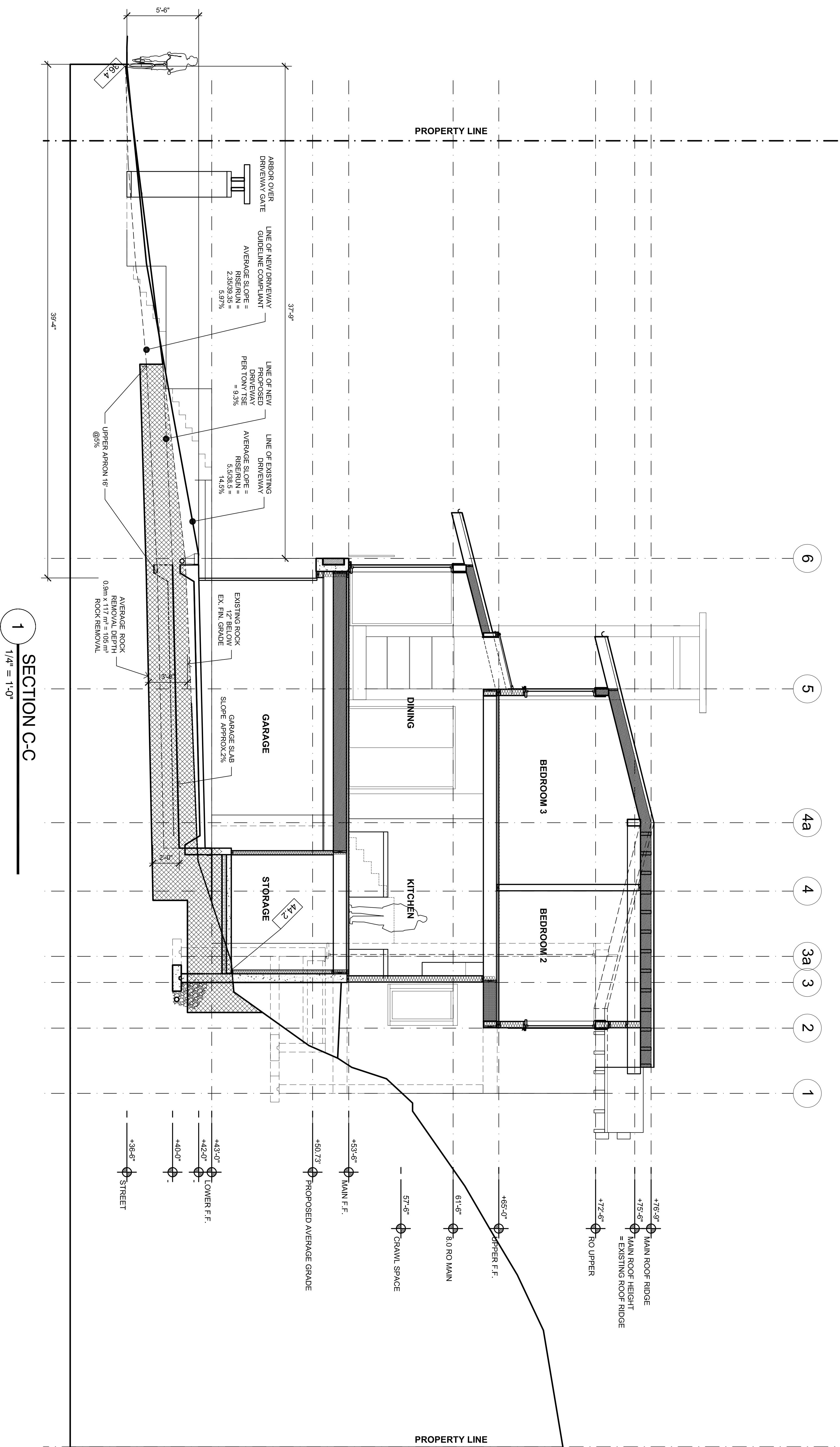
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REF.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	12/08/2014	AEC
2	REVISED PER I.C.A. COMMENTS	12/08/2014	AEC

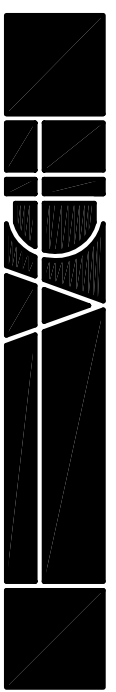
PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

SHEET TITLE
SECTION B-B

DRAWN AEC
SCALE 1/4" = 1'-0"
DATE 12/08/2014

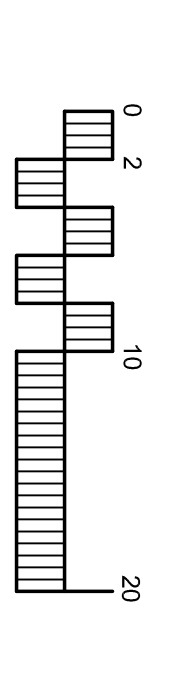


REV#	DESCRIPTION	DATE	DRAWN
Δ	ISSUED FOR L.C.A.C. REVIEW	6/3/2015	AEC
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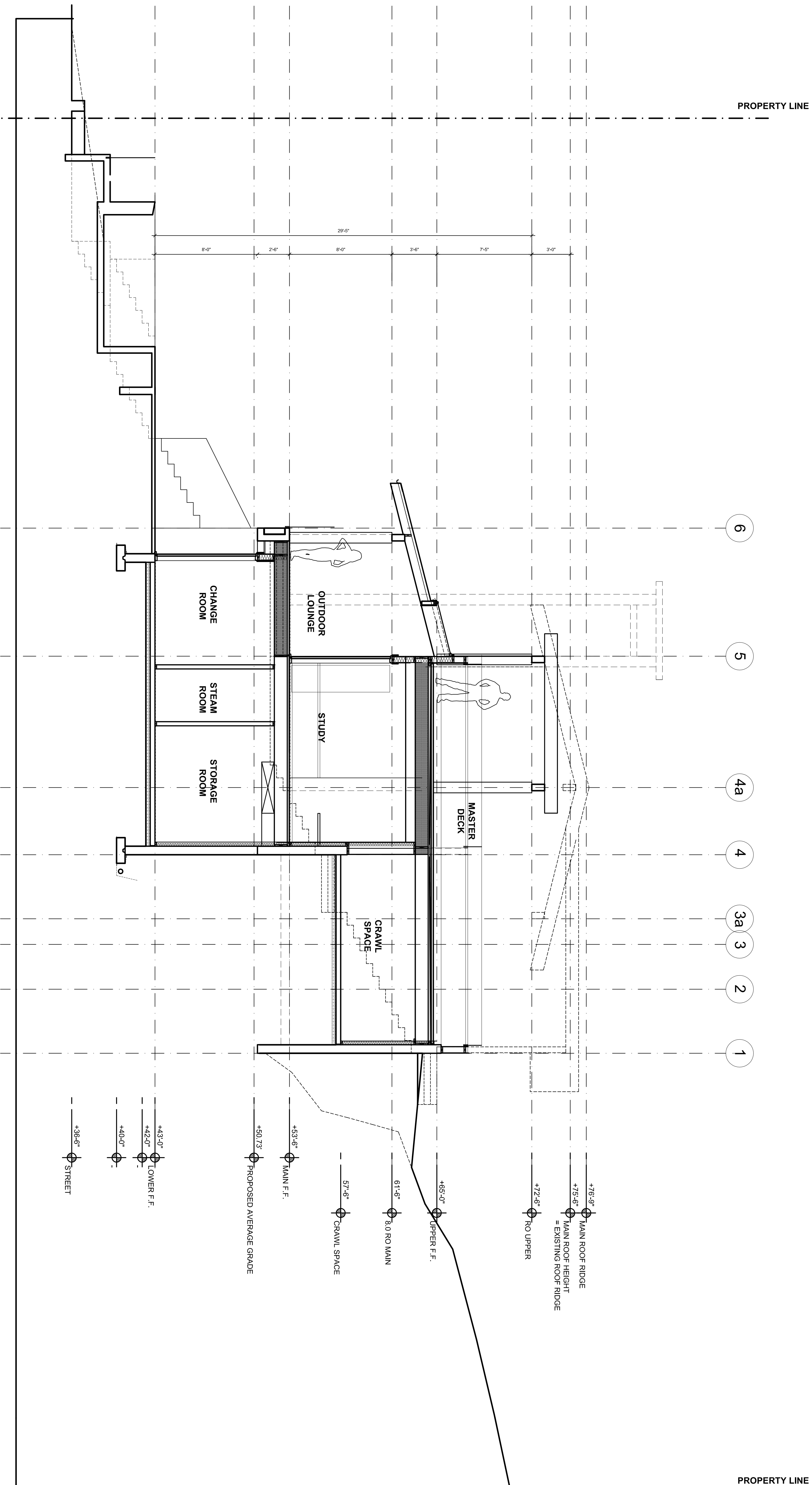


PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

SHEET TITLE
SECTION C-C

DRAWN: AEC
SCALE: 1/4" = 1'-0"
DATE: 12/08/2014

A4.3



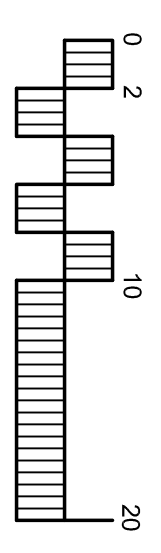
SECTION D-D
1/4" = 1'-0"

REV#	DESCRIPTION	DATE	DRAWN
Δ	ISSUED FOR L.C.A.C. REVIEW	6/3/2015	AEC



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PROJECT TITLE
CAPLAN RESIDENCE
4753 PILOT HOUSE ROAD
WEST VANCOUVER

SHEET TITLE
SECTION D-D

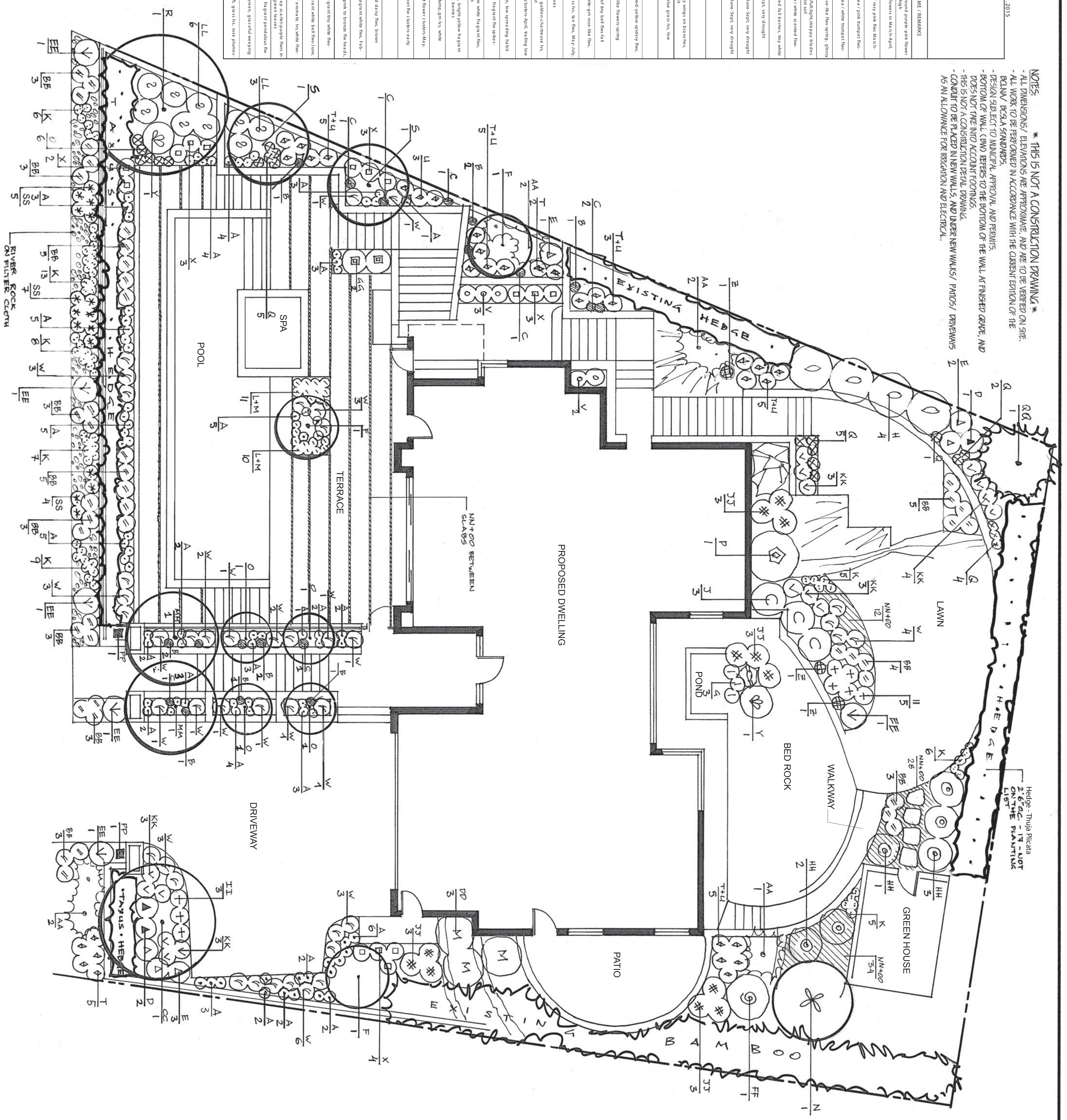
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SCALE: 1/4" = 1'-0"
DATE: 12/08/2014

A4.4

PLANT LIST # 2188 CAPLAN RESIDENCE 18.02.2015

KEY	BOTANICAL NAME	QTY.	SIZE	SPACING	TYPE	EXP.	COMMON NAME / REMARKS
A	Allium giza num	78	1 gal	12"oc	P	5	Flowering Onion / rose, round purple pink flower
B	Hadis caucasicus	10	10"cm	18"oc	P	5	White Rock cress / white flowers in March-April
C	Hadis caucasicus	9	1 gal	12-18"oc	P	5	Red Rock Cress / mass of rosy pink flow March-April
D	Kaheka japonica	3	2 gal	20"	ES	5	White variegated Anemone / pink summer flow
E	Kaheka japonica	6	2 gal	20"oc	ES	5	White variegated Anemone / white summer flow
F	Camellia japonica	3	3 gal	7"oc	ES	5	Camellia / large bright rose-like flower, glossy leaves
G	Caraxaceae	3	1 gal	18-24"	GR	5	Marigold / large bright orange-like flower, glossy leaves
H	Chrysopsis	4	3 gal	40"oc	ES	5	Marigold / large bright orange-like flower, glossy leaves
J	Camotaster dammeri	3	4"oc	4"oc	EG	5	Red-tipped Coneflower / red fall berries, grey white flowers
K	Parosoma	59	1 gal	12-24"oc	P	5	Parosoma / yellow flowers, very drought
L	Parosoma	11	1 gal	12-24"oc	P	5	Parosoma / yellow flowers, very drought
M	Polypogonum	10	1 gal	12-24"oc	P	5	Polypogonum / yellow flowers, very drought
N	Polypogonum	1	3 gal	per plan	ESH	5	Polypogonum / yellow flowers, very drought
O	Edgeworthia	4	3 gal	5"oc	ES	5	Winter Daffodil
P	Eurostium	1	3 gal	3"oc	OS	5	Blue Fescue / grass, blue flowers, very drought
Q	Festuca	23	1 gal	16"oc	GR	5	Blue Fescue / grass, blue flowers, very drought
R	Fig tree	1	2'-cal	per plan	OT	5	Fig tree
S	Hama mellea	2	7 gal	per plan	OS	5	White, Heart / ribbon-like red-yellow spidery flow
T	Hebe	16	1 gal	18"oc	ES	5	Hebe / green / small bell-like flowers spring
U	Hebe	17	1 gal	18"oc	ES	5	Hebe / green / small bell-like flowers spring
V	Hebe	1	1 gal	18-24"oc	ES	5	Hebe / green / small bell-like flowers spring
W	Hebe	41	1 gal	18-24"oc	GR	5	Hebe / green / small bell-like flowers spring
X	Hebe	14	1 gal	12-18"oc	P	5	Hebe / green / small bell-like flowers spring
Y	Hebe	2	1 gal	3"oc	P	5	Hebe / green / small bell-like flowers spring
Z	Hebe	3	4"oc	12-18"oc	ES	5	Hebe / green / small bell-like flowers spring
AA	Juniperus	7	2 gal	3"oc	ES	5	Juniperus / blue-green, low spreading habit
BB	Lavandula	43	1 gal	18-24"oc	ES	5	English lavender / purple fragrant flow, spikes
CC	Magdolia	1	2'-cal	per plan	ET	5	Orange Grape / glow like, bright yellow fragrant flow
DD	Malva	3	3 gal	4"oc	ES	5	Malva / pink, bright yellow fragrant flow
EE	Mikis	6	1 gal	36"oc	GR	5	Malva / pink, bright yellow fragrant flow
FF	Rhododendron	1	3 gal	4"oc	ES	5	Rhododendron / pink, bright yellow fragrant flow
GG	Rhododendron	2	3 gal	3"oc	ES	5	Rhododendron / pink, bright yellow fragrant flow
HH	Rosa	6	1 gal	18-24"oc	P	5	Rosa / pink, bright yellow fragrant flow
II	Rhododendron	8	1 gal	18-24"oc	P	5	Rhododendron / pink, bright yellow fragrant flow
JJ	Sarcococca	12	3 gal	2"oc	ES	5	Fragrant Sarcococca / fragrant white flow, red berries
KK	Sedum	16	1 gal	18-24"oc	P	5	Shiny Sedum / large pink to bronze flow, red berries
LL	Sedum	9	3 gal	4"oc	ES	5	Shiny Sedum / large pink to bronze flow, red berries
MM	Syringa	2	2'-cal	per plan	OT	5	Prunella / purple flowers, fragrant flow
NN	Thymus	130	4"gal	12-18"oc	ES	5	Thymus / purple flowers, fragrant flow
OO	Thymus	134	10"cm	18"oc	ES	5	Thymus / purple flowers, fragrant flow
PP	Wisteria	2	2 gal	per plan	DV	5	Chinese Wisteria / mauve fragrant pendulous flow
QQ	Chamaecyparis	1	7 gal	per plan	CT	5	Chamaecyparis / green, fragrant flow
SS	Penstemon	16	1 gal	12-18"oc	GR	5	Penstemon / purple flowers, fragrant flow

NOTES: * THIS IS NOT A CONSTRUCTION DRAWING. * ALL DIMENSIONS / ELEVATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BCNA / BCNA STANDARDS. BOTTOM OF WALL (B.W.) REFERS TO THE BOTTOM OF THE WALL AT FINISHED GRADE. AND DOES NOT REFER TO ACCOUNT FOOTINGS. THIS IS NOT A CONSTRUCTION DETAIL DRAWING. CONDUIT TO BE PLACED IN NEW WALLS, AND UNDER NEW WALKS / PATIOS / DRIVEWAYS AS AN ALLOWANCE FOR REGULATION AND ELECTRICAL.



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CLIENT:
CAPLAN
RESIDENCE
4753 PILOT HOUSE
RD. W. VANCOUVER

TITLE:
LANDSCAPE
DESIGN
PLANTING PLAN

SCALE: 1"=10'
3/16"=1'-0"

DESIGNED BY: E.V.

DATE: 16/02/2015

REVISIONS: Feb. 23, 2015

DRAWN BY: E.V.

DRAWING #: 2188

SHEET: 1 OF 1

NORTH: