



District of West Vancouver

Development Permit No. 22-085

CURRENT OWNER: Theodoros Malapanis
Tania Palliardi

THIS DEVELOPMENT PERMIT APPLIES TO:

CIVIC ADDRESS: 2272 JEFFERSON AVENUE

LEGAL DESCRIPTION: 005-117-259
THE WEST 1/2 OF LOT 11 WEST 1/2 OF BLOCK 3
DISTRICT LOT 554 PLAN 4821
(the 'Lands')

1.0 This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as Development Permit Area to ensure that detached secondary suites meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form character of the local neighborhood and subject to Guidelines BF-B3.1 specified in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

2.0 The following requirements and conditions shall apply to the Lands:

- 2.1 Building, structures, landscaping and site development shall take place in accordance with the attached **Schedule A**.
- 2.2 Sprinklers must be installed in all areas as required under the Fire Protection and Emergency Response Bylaw No. 4366, 2004.
- 2.3 Provide confirmation that the deck on the existing single family house has been reduced (i.e. cut back) to ensure that the required separation distance is met between the house and detached secondary suite (coach house).

3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner shall:

- 3.1 provide and implement a plan for traffic management during construction, to the satisfaction of the District's Manager of Land Development.
- 3.2 install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.

- 3.3 submit a “Sediment and Erosion Control Plan” to the District’s Environmental Protection Officer for approval, and the owner shall be responsible for maintaining, repairing and implementing the Sediment Control Measures.

4.0 Prior to Occupancy Permit issuance:

- 4.1 Prior to final occupancy the applicant must submit documentation demonstrating that the “as-built” development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

- 5.0** This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE ACTING DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES APPROVED THIS DEVELOPMENT PERMIT ON April 21, 2023.



Michelle McGuire, Acting Director of Planning and Development Services

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 5.0, THIS PERMIT IS ISSUED ON

Schedule:

A – Coach House Architectural and Landscape Plan, prepared by Narjes Miri, dated February 28, 2023



VIEW FROM DRIVEWAY TO THE COACH HOUSE

2272 JEFFERSON COACH HOUSE

2272 JEFFERSON
WEST VANCOUVER, BC



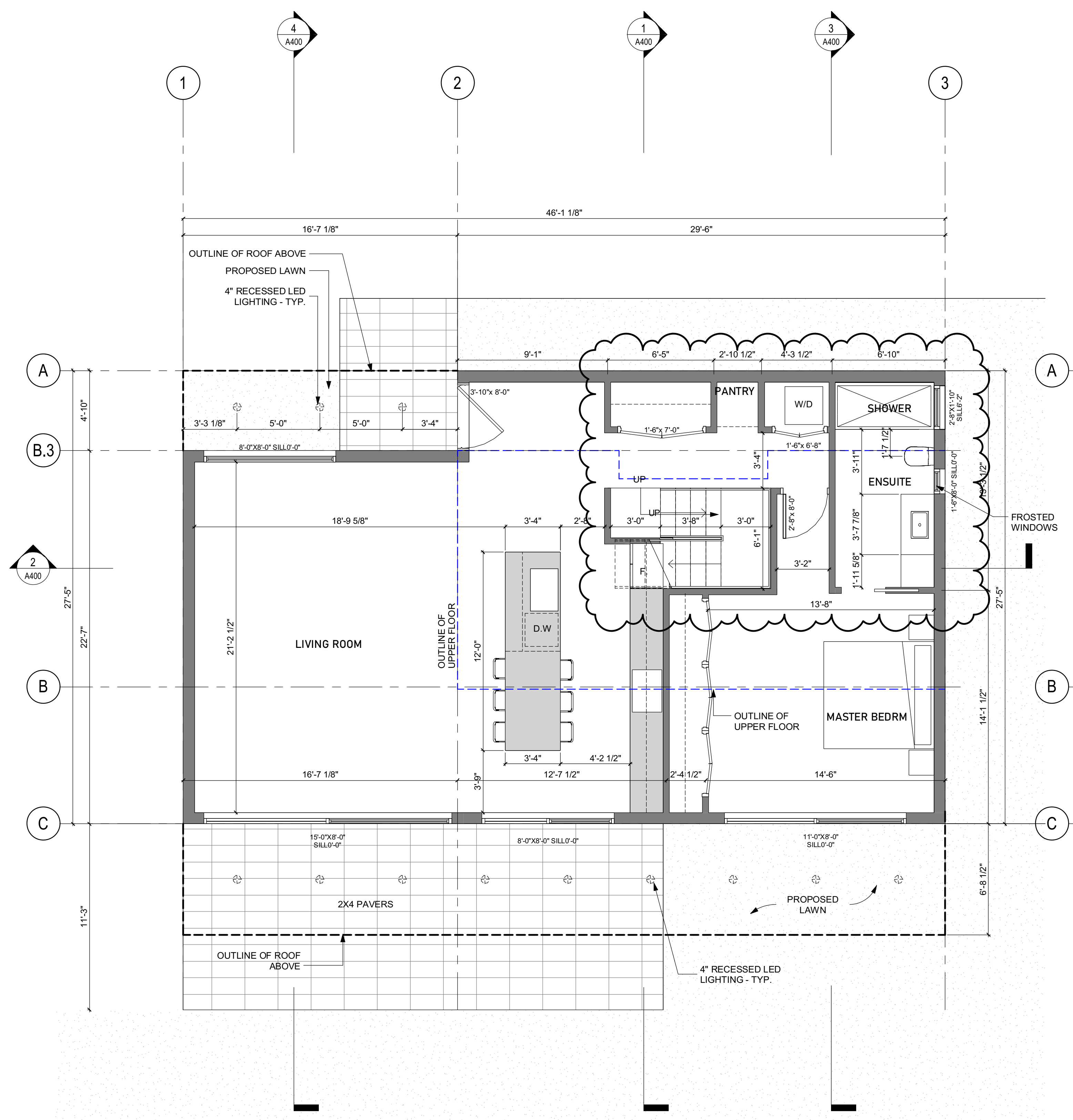
VIEW FROM SOUTH WEST CORNER TO THE COACH HOUSE



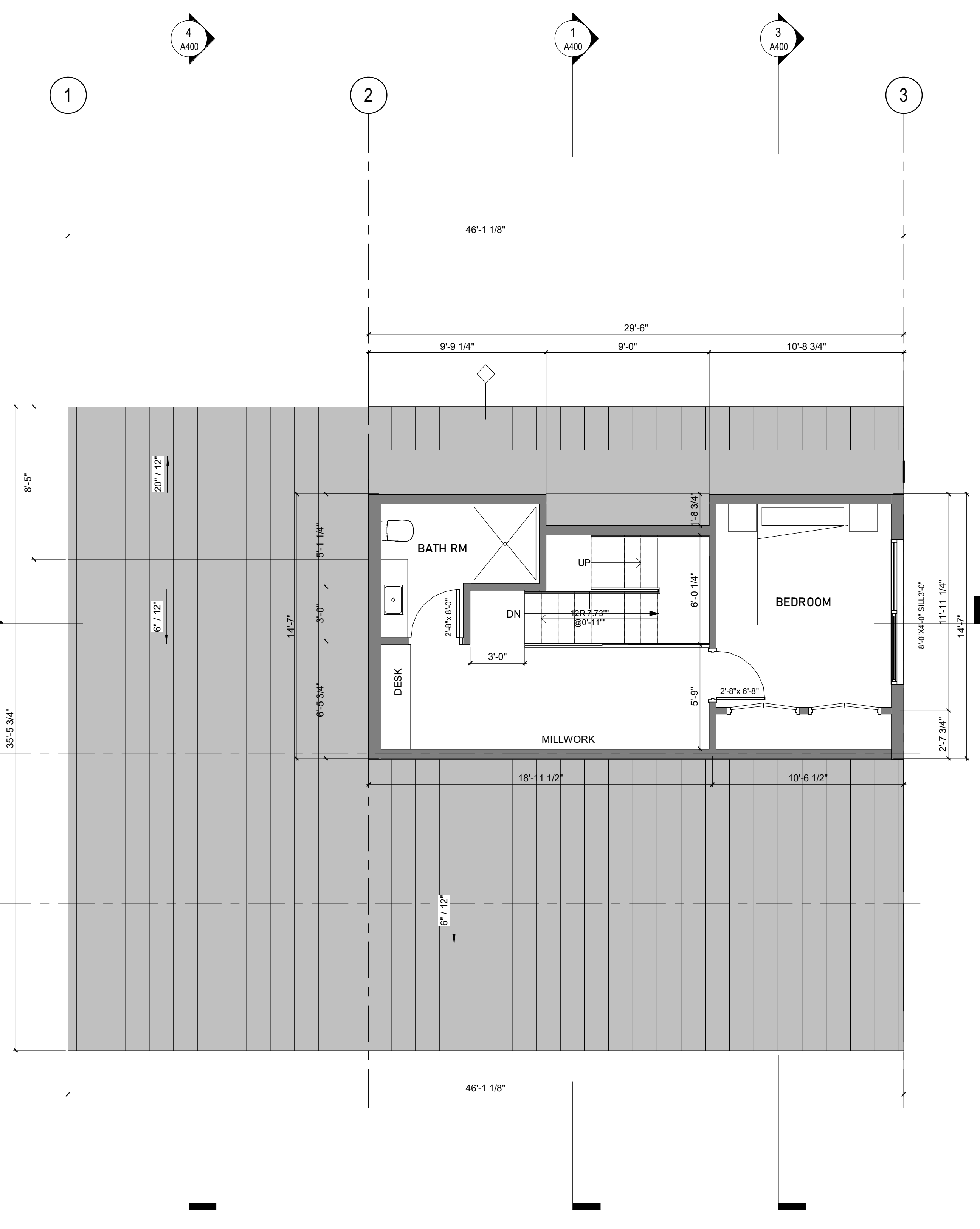
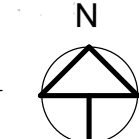
VIEW FROM SOUTH EAST CORNER TO THE COACH HOUSE

No.	Description	Date
2	ISSUED FOR DP	22.03.22
4	ISSUED FOR DP-RESUBMISSION	22.12.06
5	ISSUED FOR DP-RESUBMISSION	22.01.31
6	ISSUED FOR DP-RESUBMISSION	23.02.28

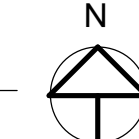
Project number	2135
Date	2021 11 15
Drawn by	NM
Checked by	Checker



① MAIN FLOOR PLAN
 1/4" = 1'-0"



② UPPER FLOOR PLAN - 410 SF
 1/4" = 1'-0"



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No.	Description	Date
2	ISSUED FOR DP	22.03.22
3	ISSUED FOR DP-RESUBMISSION	22.12.06
6	ISSUED FOR DP-RESUBMISSION	23.02.28

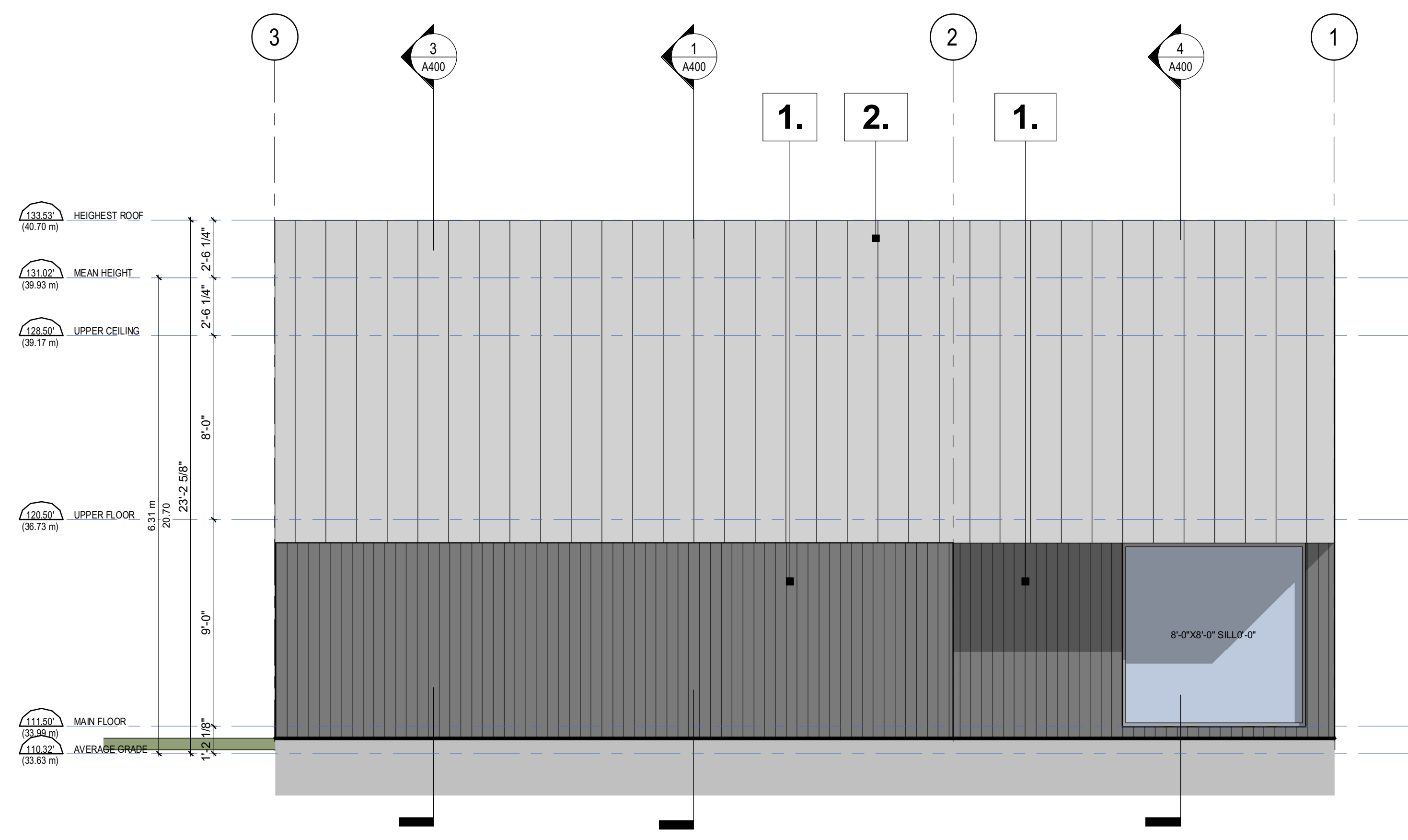
2272 JEFFERSON
 WEST VANCOUVER, BC

FLOOR PLANS

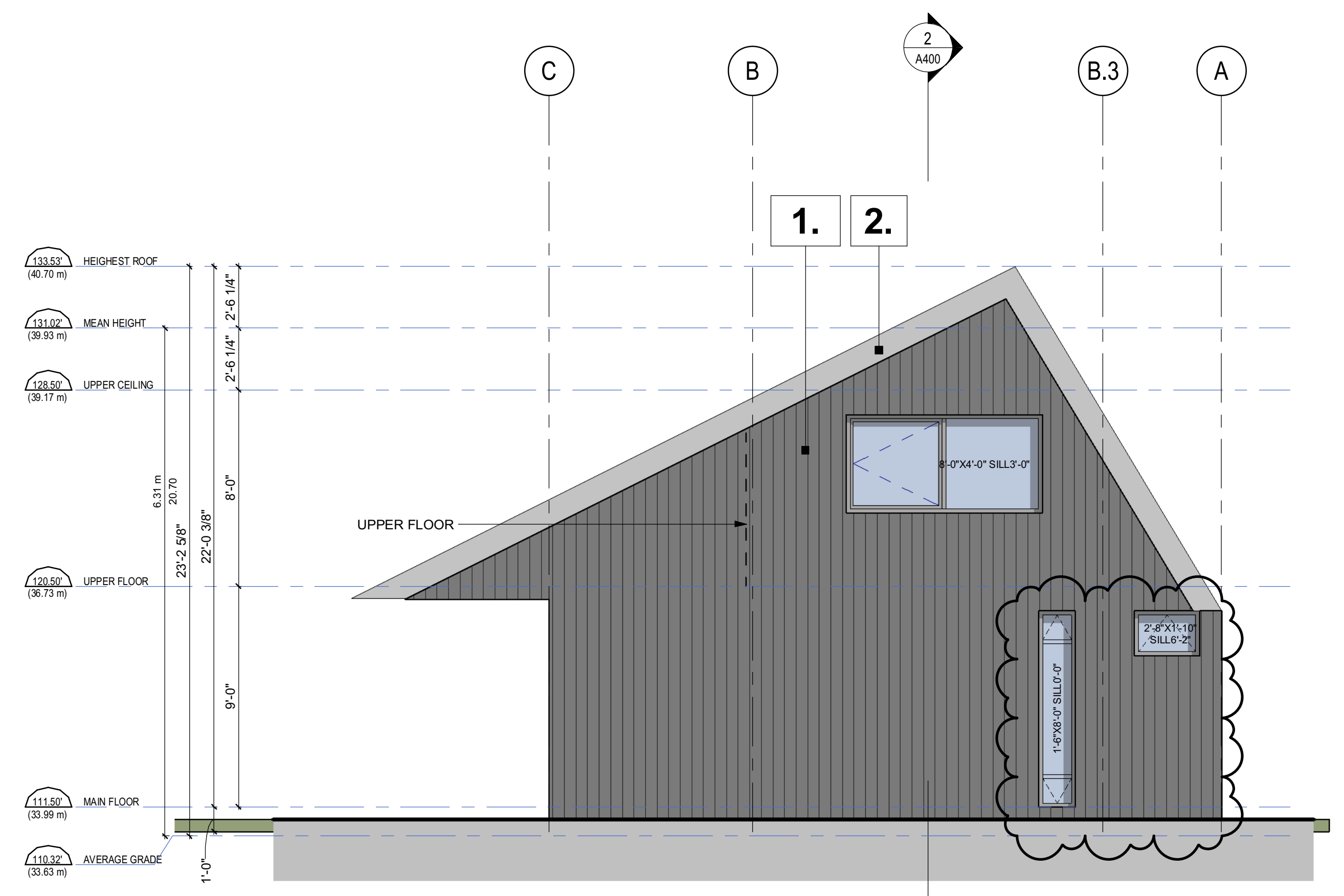
Project number	2135
Date	2021 11 15
Drawn by	NM
Checked by	Checker

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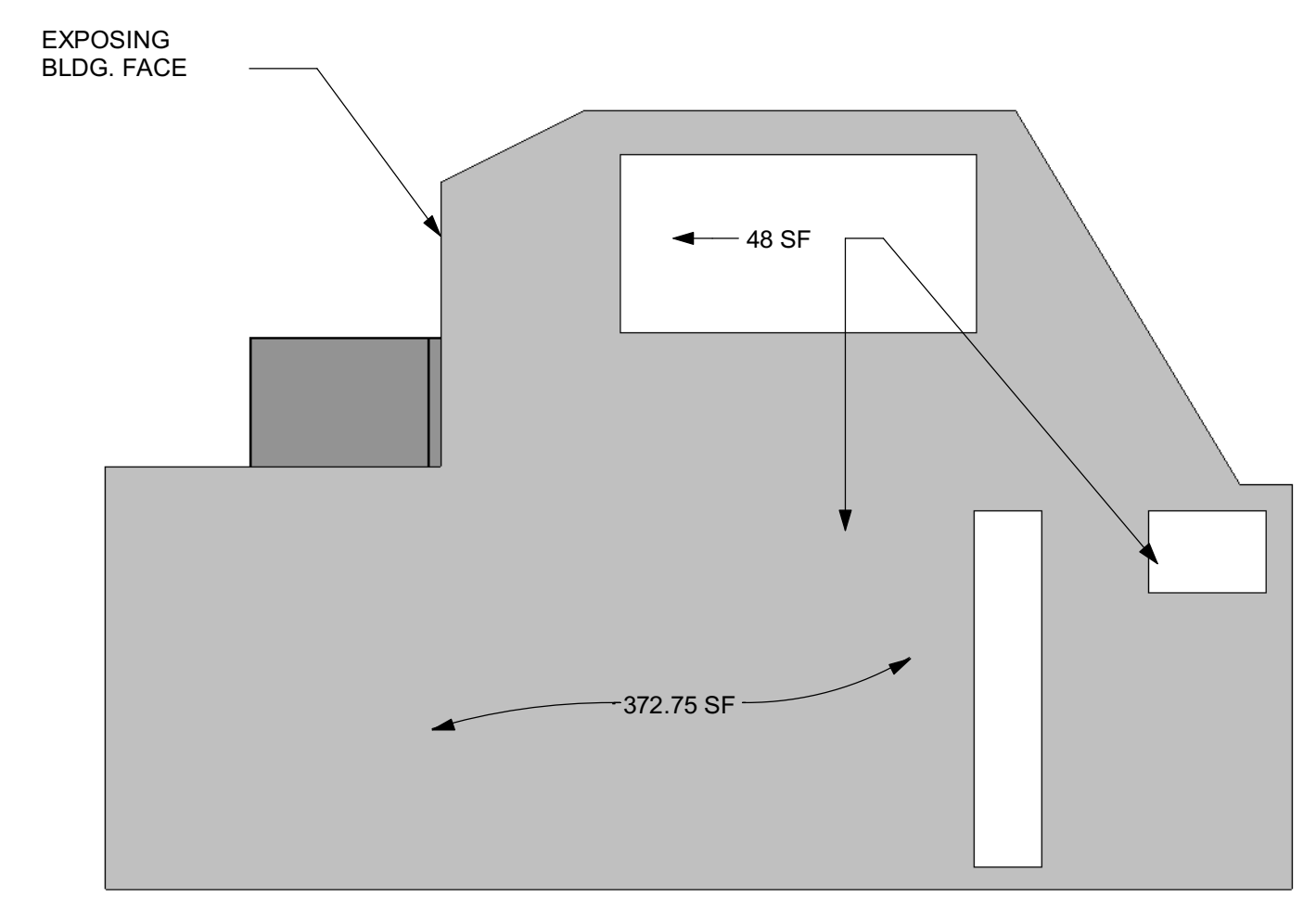
Scale 1/4" = 1'-0"



② NORTH ELEVATION
 1/4" = 1'-0"



① EAST ELEVATION
 1/4" = 1'-0"



Exposing Building Face - BCBC 2018- 9.10.15.4

EAST ELEVATION				
AREA OF EXPOSING BUILDING FACE	34.6	sqm	373	sqft
LIMITING DISTANCE	2.2	m	7.3	ft
MAX. ALLOWED PERCENTAGE OF UNPROTECTED OPENING IN EXTERIOR WALLS	14.39			
MAX. ALLOWED AREA OF UNPROTECTED OPENING IN EXTERIOR WALLS	5.0	sqm	53.6	sqft
PROVIDED PERCENTAGE	12.89			
AREA OF PROVIDED UNPROTECTED OPENING IN EXTERIOR WALL	4.5	sqm	48.0	sqft

Exposing Building Face - BCBC 2018- 9.10.15.4

NORTH ELEVATION				
AREA OF EXPOSING BUILDING FACE	66.1	sqm	712	sqft
LIMITING DISTANCE	4.6	m	15.0	ft
MAX. ALLOWED PERCENTAGE OF UNPROTECTED OPENING IN EXTERIOR WALLS	19.83			
MAX. ALLOWED AREA OF UNPROTECTED OPENING IN EXTERIOR WALLS	13.1	sqm	141.1	sqft
PROVIDED PERCENTAGE	8.43			
AREA OF PROVIDED UNPROTECTED OPENING IN EXTERIOR WALL	5.6	sqm	60.0	sqft

MATERIAL LEGEND

1. BLEND-STAINED TONGE & GROOVE CEDAR

2. STANDING STEAM METAL ROOFING

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No.	Description	Date
1	ISSUED FOR DP REVIEW	22.03.17
2	ISSUED FOR DP	22.03.22
4	ISSUED FOR DP-RESUBMISSION	22.12.06
5	ISSUED FOR DP-RESUBMISSION	23.02.08
6	ISSUED FOR DP-RESUBMISSION	23.02.28

2272 JEFFERSON
 WEST VANCOUVER, BC

ELEVATIONS

Project number	2135
Date	2021 11 15
Drawn by	Author
Checked by	Checker

A300

Scale 1/4" = 1'-0"

