LEGAL DESCRIPTION:
LOT 4 BLOCK 6
DISTRICT LOT 866 GROUP 1 NWD PLAN 10574

PID: 008-424-250

CIVIC ADDRESS:
534 BALLANTREE ROAD, WEST VANCOUVER, BC

Address	534 Ballantree Rd., West Vancouver					
Zoning	RS-3					
	Allowed Basic Zoning Provisions		Allowed Zoning Provisions for High Performance Buildings Step Code Level 4 (120.29)		Proposed	
	imp	met	imp	met	imp	met
Lot Area	14,695	1,365.2	14,695	1,365.2		
Site Width	100.91	30.76	100.91	30.76		
Site Coverage	4,585	425.9	4,585	425.9	3,022	280.8
FAR	5,349	496.9	5,349	496.9	5,160	479.3
Upper Level					2,565	238.3
Main Level					2,990	277.8
Including Garage					440	40.9
Basement Total					2,990	277.8
Basement Excluded from FAR calculations (top of floor above <0.9m)					2,735	254.1
Basement Partially Included in FAR calculations					255	23.7
FAR Included 17.49%					45	4.1
FAR Excluded 82.51%					210.4	19.5
Total Area					5,810	539.8
Front Yard Setback	29.86	9.10	29.36	8.95	29.86	9.10
Side Yard Setback Minimum	9.84	3.00	9.35	2.85	17.76	5.41
Combined Side Yard Setback	25.23	7.69	24.24	7.39	45.58	13.89
Setback	15.38	4.69	14.89	4.54	27.82	8.48
Rear yard Setback	29.86	9.10	29.36	8.95	**14.14**	**4.31**
Max Building Height	25.00	7.62	25.50	7.77	25.00	7.62
Highest Building Face	22.00	6.71	22.50	6.86	22.50	6.86

Basement Exclusion

Average Grade	1048.50
Main Level	1050.25
Basement	1040.25
Exclusion	82.51

Natural Average Grade Calculations

E1	E2	1052.10	+	1051.90	/	2	X 23.06 =	24,259.1
E2	E3	1051.90	+	1052.10	/	2	X 6.08 =	6,396.2
E3	E4	1052.10	+	1052.10	/	2	X 5.48 =	5,765.5
E4	E5	1052.10	+	1052.10	/	2	X 2.00 =	2,104.2
E5	E6	1052.10	+	1051.50	/	2	X 14.15 =	14,883.0
E6	E7	1051.50	+	1051.60	/	2	X 1.33 =	1,398.6
E7	E8	1051.60	+	1049.30	/	2	X 17.02 =	17,878.7
E8	S1	1049.30	+	1050.30	/	2	X 13.49 =	14,161.8
S1	S2	1050.30	+	1046.20	/	2	X 14.83 =	15,545.5
S2	S3	1046.20	+	1046.40	/	2	X 17.63 =	18,446.3
S3	S4	1046.40	+	1042.10	/	2	X 14.92 =	15,580.2
S4	S5	1042.10	+	1046.10	/	2	X 27.25 =	28,451.7
S5	W1	1046.10	+	1048.10	/	2	X 15.68 =	16,418.5
W1	W2	1048.10	+	1050.30	/	2	X 21.27 =	22,316.5
W2	W3	1050.30	+	1050.70	/	2	X 6.21 =	6,523.6
W3	W4	1050.70	+	1051.40	/	2	X 14.54 =	15,282.3
W4	W5	1051.40	+	1051.80	/	2	X 8.10 =	8,518.0
W5	W6	1051.80	+	1052.30	/	2	X 20.10 =	21,146.2
W6	W7	1052.30	+	1051.60	/	2	X 7.00 =	7,363.7
W7	W8	1051.60	+	1053.30	/	2	X 9.56 =	10,061.4
W8	W9	1053.30	+	1056.50	/	2	X 7.30 =	7,700.8
W9	E1	1056.50	+	1052.10	/	2	X 19.98 =	21,064.9
							286.98	301,266.5
							1049.78	

Finished Average Grade Calculations

E1	E2	1050.25	+	1050.25	/	2	X 23.06 =	24,218.8
E2	E3	1050.25	+	1049.75	/	2	X 6.08 =	6,384.0
E3	E4	1049.75	+	1049.75	/	2	X 5.48 =	5,752.6
E4	E5	1049.75	+	1049.75	/	2	X 2.00 =	2,099.5
E5	E6	1049.75	+	1049.75	/	2	X 14.15 =	14,854.0
E6	E7	1049.75	+	1049.75	/	2	X 1.33 =	1,396.2
E7	E8	1049.75	+	1049.75	/	2	X 17.02 =	17,866.7
E8	S1	1049.75	+	1049.75	/	2	X 13.49 =	14,161.1
S1	S2	1049.75	+	1049.75	/	2	X 14.83 =	15,567.8
S2	S3	1049.75	+	1049.75	/	2	X 17.63 =	18,507.1
S3	S4	1049.75	+	1039.75	/	2	X 14.92 =	15,587.7
S4	S5	1039.75	+	1039.75	/	2	X 27.25 =	28,333.2
S5	W1	1046.00	+	1049.75	/	2	X 15.68 =	16,430.7
W1	W2	1049.75	+	1049.75	/	2	X 21.27 =	22,328.2
W2	W3	1049.75	+	1049.75	/	2	X 6.21 =	6,518.9
W3	W4	1049.75	+	1049.75	/	2	X 14.54 =	15,263.4
W4	W5	1049.75	+	1049.75	/	2	X 8.10 =	8,503.0
W5	W6	1049.75	+	1049.75	/	2	X 20.10 =	21,100.0
W6	W7	1049.75	+	1049.75	/	2	X 7.00 =	7,348.3
W7	W8	1049.75	+	1049.75	/	2	X 9.56 =	10,035.6
W8	W9	1049.75	+	1049.75	/	2	X 7.30 =	7,663.2
W9	E1	1049.75	+	1050.25	/	2	X 19.98 =	20,979.0
							286.98	300,898.8
							1048.50	

1 Site Plan
1/8" = 1'-0"

GENERAL NOTES

LUMBER
See Structural Notes for details.

CONCRETE
See Structural Notes for details.

GENERAL
1. General Contractor to check and verify all drawings, dimensions, and elevations before commencing work. Report any discrepancy to the Designer.
2. Drawings are not to be scaled.
3. Construction methods and technologies to confirm requirements of BCBC 2018.
4. Materials to be use in strict accordance with manufacturer's recommendations.
5. Tree removal to be confirmed by local authorities.
6. General Contractor shell pass all necessary inspections.

VENTILATION
1. Uniformly distribute ventilation to flat and vaulted roofs to 1/150 of insulated ceiling area. Venting is required to be two-way.
2. Min. 2 x 2 cross-purlins to flat, vaulted ceilings, and decks over living areas to conform to #9.19.1.2.
3. Provide min. 2 ½" clearance between roof sheathing and insulation #9.19.1.3. Provide min. 1" clearance between insulation and top of roof joists.
4. Ventilate attics to 1/300 of insulated ceiling area.
5. Roof vents must be uniformly distributed with a minimum of 25% at base and 25% in rooftop.
6. Provide attic hatch of 3.4sf in area with no dimensions less than 1'10"
7. Submit Mechanical Ventilation/Air Conditioning design and letter of supervision by Professional Engineer, certified HRAI or HVC Technician.
8. Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per #9.32.3.3.

STAIRS
1. Straight stair: Rise min. 5" max. 7.87" Run min. 8.25" max. 14"
2. Maximum 1" nosing on stair treads.
3. Minimum headroom is 6'-5" from a line through nosings, measured vertically.
4. Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
5. Primary stair minimum width 2'-10".
6. Handrail req'd. on interior stairs with three or more risers.
7. Handrail as a guard is to be between 36" and 42".

CHIMNEY & FIREPLACES
1. Minimum 2" clearance between chimney and combustible framing.
2. Minimum 4" clearance between fireplace and combustible framing.
3. Hard wired C.O. detectors are required in each bedroom or within 5 meters of each bedroom door in conformance with #9.32.4.2

GUARDRAILS
1. Guardrails to be a minimum 42" exterior and 36" interior height.
2. No member facilitating climbing permitted from 5.5" to 36" above the floor or walking surface (in all guards).
3. Maximum 4" opening in all stair, deck and balcony guards (interior and exterior).
4. All glass guards to have top cap unless approved by Prof. Engineer.
5. A minimum of 36" in height is permitted for decks within 5'-11" of grade.
6. Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
7. Guard required where the adjacent surface within 4'-0" m of the walking surface has a slope of more than 1 in 2.

GLAZING
1. Glass in windows and doors to be double-glazed.
2. Glass in entrance, shower and sliding doors, and windows within 8" of floors and within 36" of deadbolts are all to be safety glass.
3. Sidelights 20"+ in width are to be safety glass.
4. Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.
5. The bottom of an openable window in a bedroom is not to exceed 4'-11" above the floor, and have a min. opening width of 15" with an area of 3.75sf, unless the house is sprinklered.
6. Windows over stairs, ramps and landings that extend to less than 36" above the surface shall be protected with guards or be non-openable and designed to #4.1.5.15.
7. Window wells are to be 22" minimum width when required as a bedroom egress.
8. Bedroom windows required as exits must maintain the required opening during an emergency without the need for additional support in conformance with #9.7.1.2.2.a.
9. Where a protective enclosure is installed over a window well, it shall be openable from the inside without the use of keys, tools, or special knowledge.

MOISTURE PROTECTION
1. Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%.
2. Provide flashing at all wall-roof junctions, including parapets for solid guards on decks.
3. Rainscreen assembly required for all buildings, with a minimum capillary break of 3/8".
4. All platforms are roofs.
5. All roofs must slope 1 in 50 away from walls, this includes parapet walls surrounding decks.
6. 6" clearance required between deck membranes & floor.

MISCELLANEOUS
1. Lino or equal required to bathroom floors.
2. Waterproof wallboard required as tile base around tubs and showers.
3. 5/8" Drywall required to ceiling members at 24" o.c.
4. Provide 8" clearance between grade and siding.
5. Damp-proofing slabs, including crawl spaces, are to be 6 mil "UV" poly.
6. Furnace and laundry room door width of 2'-8" min.
7. N.R.P. hinges required for outswing exterior doors.
8. Hardwired and interconnected smoke alarms required on every floor level differing by 36", within 16'-4" of bedroom doors, and within 50'-0" of each other.
9. A 5LB A.B.C. dry chemical fire extinguisher is required @ kitchen area.
10. Heating and air conditioning equipment must be secured to the building to resist overturning and displacement.
11. Doors between garage and dwelling are to be a self-closing and weather-stripped solid core door.

VANCOUVER BUILDING DESIGN

1096 West 3rd Street, North Vancouver, BC, V7P 3J6
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778.995.3005

www.vancouverbuildingdesign.com

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No.	Description	Date
1	Revision 1	Date 1

New SFD House

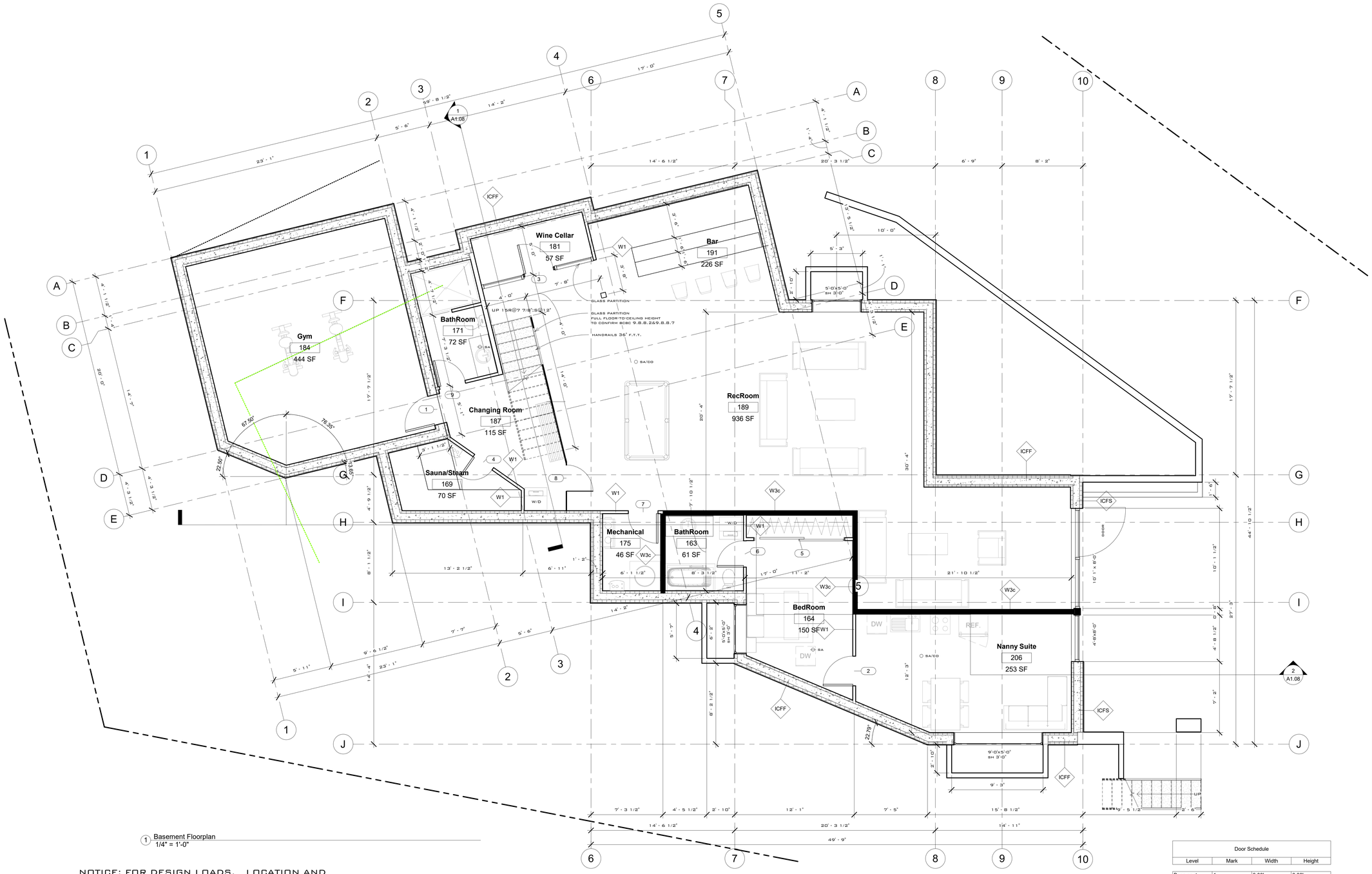
534 Ballantree Rd, West Vancouver

Site Plan/ Zoning Analisys/ General Notes

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.01

Scale 1/8" = 1'-0"



1 Basement Floorplan
1/4" = 1'-0"

NOTICE: FOR DESIGN LOADS, LOCATION AND DETAILS OF STRUCTURAL ELEMENTS, INCLUDING: LOAD-BEARING WALLS, SHEAR WALLS, FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, JOISTS AND LINTELS SEE STRUCTURAL SET OF DRAWINGS AND NOTES.

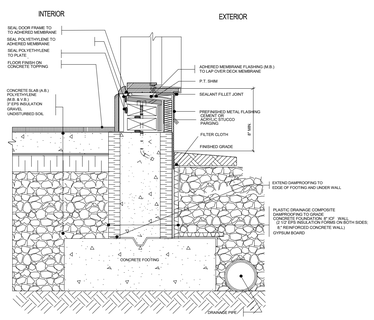
<ICFF> Foundation ICF Wall
- 1/2" Gypsum Wallboard Inside
- 3" EPS Rigid Insulation
- 8" Concrete
- 3" EPS Rigid Insulation
- 2 Coats Bitum Damp Proofing
- Drainage Board Outside

<ICFS> Exterior ICF Siding Wall
- Siding
- Strapping
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

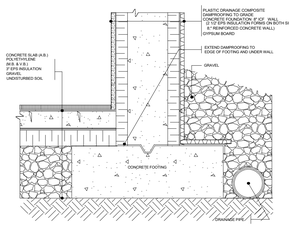
<W1> Typical Interior Wall :
- 2" x 4" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<LBW> Typical Interior Load Bearing Wall :
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<W3c> Interior 3/4Hr Fire Separation Wall :
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- Safe'n'Sound Insulation
- Resilient Channel on one side
- 1/2" Type-X Gypsum Wall Board on Each Side



2 DOOR SILL/FOUNDATION WALL/S.o.G.
1"=1'-0"



3 BASE OF FOUNDATION WALL/S.o.G.
1"=1'-0"

Door Schedule

Level	Mark	Width	Height
Basement	1	3.00'	8.00'
Basement	2	3.00'	8.00'
Basement	3	3.00'	8.00'
Basement	4	2.33'	7.00'
Basement	5	9.00'	7.00'
Basement	6	2.67'	8.00'
Basement	7	3.00'	8.00'
Basement	8	2.67'	8.00'
Basement	9	2.67'	8.00'
Main Level	10	18.00'	9.00'
Main Level	11	2.67'	8.00'
Main Level	12	3.00'	8.00'
Main Level	13	3.00'	8.00'
Main Level	14	4.00'	9.50'
Main Level	15	2.67'	8.00'
Main Level	16	2.67'	8.00'
Main Level	17	2.67'	8.00'
Main Level	18	2.67'	8.00'
Main Level	19	2.67'	8.00'
Main Level	20	2.83'	8.00'
Upper Level	21	2.83'	8.00'
Upper Level	22	3.00'	8.00'
Upper Level	23	3.00'	8.00'
Upper Level	24	2.67'	8.00'
Upper Level	25	3.00'	8.00'
Upper Level	26	2.67'	8.00'
Upper Level	27	2.67'	8.00'
Upper Level	28	2.83'	8.00'
Upper Level	29	2.67'	8.00'
Upper Level	30	2.67'	8.00'
Upper Level	31	5.00'	7.00'
Upper Level	32	2.83'	8.00'
Upper Level	33	2.83'	8.00'
Upper Level	34	2.67'	8.00'
Upper Level	35	5.00'	7.00'

VANCOUVER BUILDING DESIGN

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No.	Description	Date

New SFD House

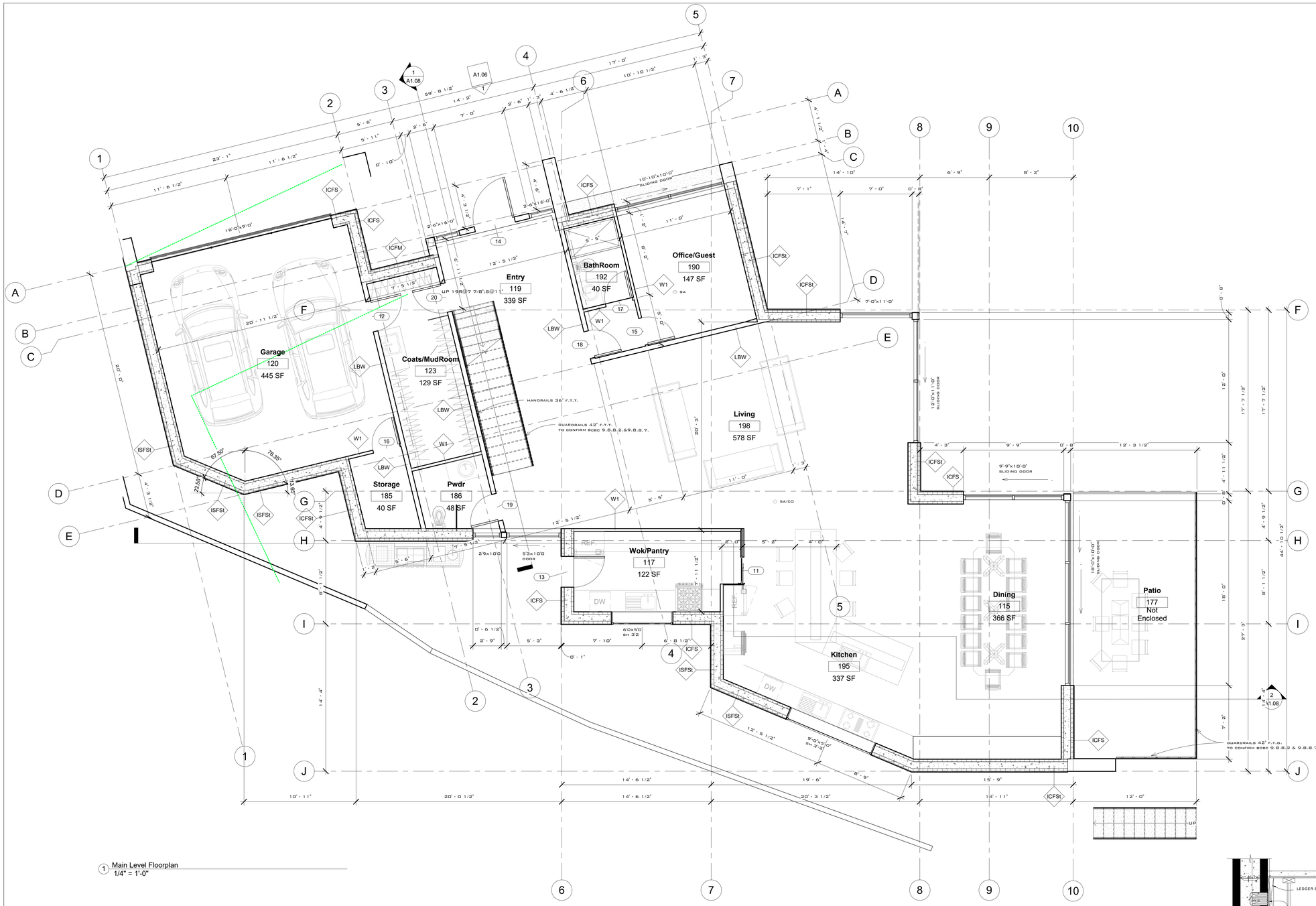
534 Ballantree Rd, West Vancouver

Basement Floorplan

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.02

Scale 1/4" = 1'-0"



1 Main Level Floorplan
1/4" = 1'-0"

NOTICE: FOR DESIGN LOADS, LOCATION AND DETAILS OF STRUCTURAL ELEMENTS, INCLUDING: LOAD-BEARING WALLS, SHEAR WALLS, FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, JOISTS AND LINTELS SEE STRUCTURAL SET OF DRAWINGS AND NOTES.

<ICFS> Exterior ICF Siding Wall

- Siding
- Strapping
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<ICFM> Exterior ICF Masonry Wall

- Stone Veneer
- Scratch Coat on Masonry Mesh
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<ICFSt> Exterior ICF Stucco Wall

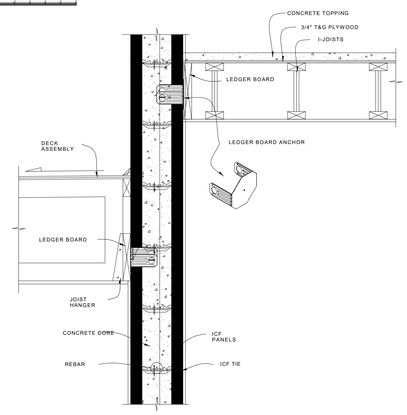
- Acrylic Stucco
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<SW1> Typical Interior Wall :

- 2" x 4" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<LBW> Typical Interior Load Bearing Wall :

- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side



2 TYPICAL ICF ASSEMBLY
1"=1'-0"

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No.	Description	Date

New SFD House

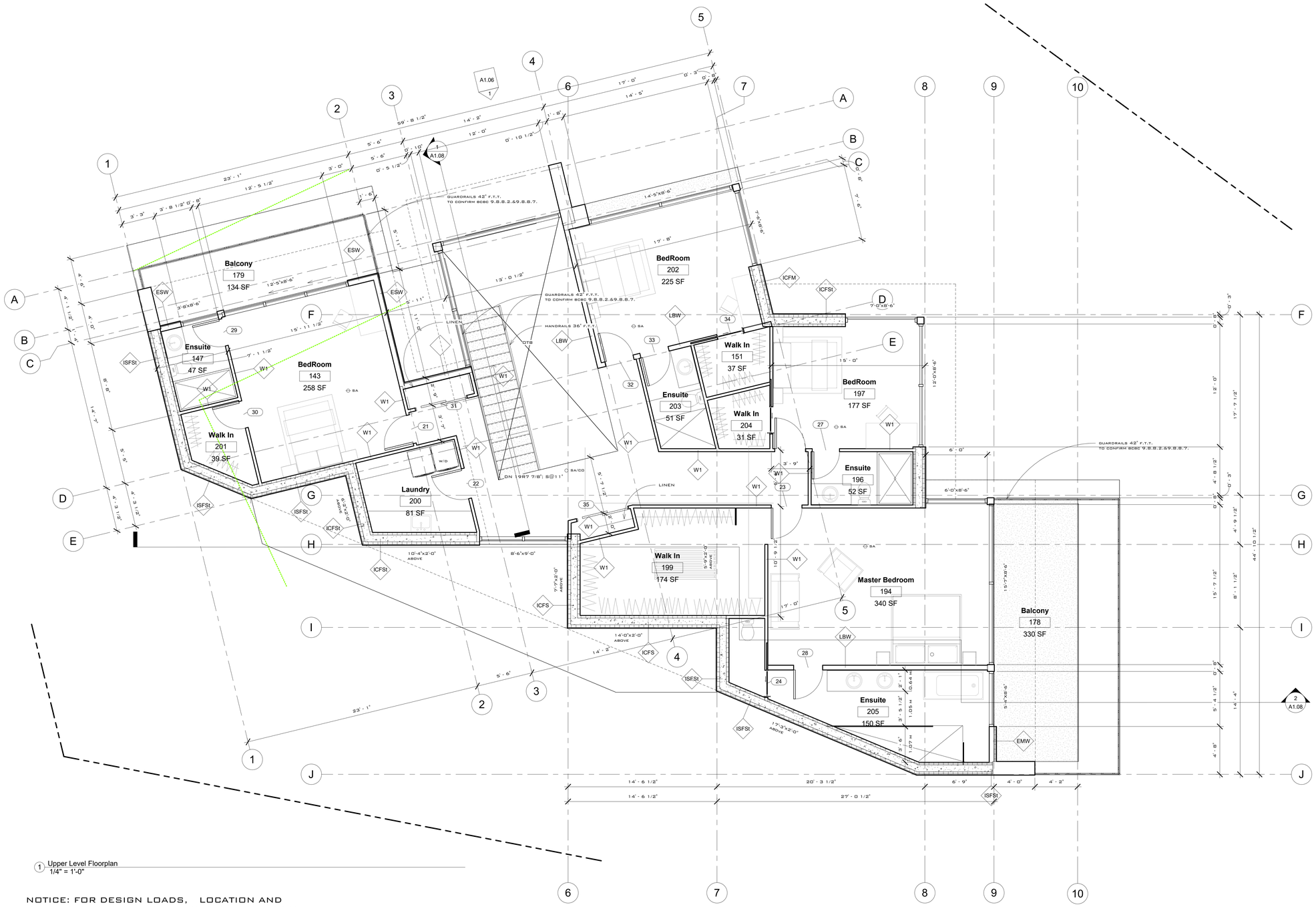
534 Ballantree Rd, West Vancouver

Main Level Floorplan

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.03

Scale 1/4" = 1'-0"



1 Upper Level Floorplan
1/4" = 1'-0"

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<ICFS> Exterior ICF Siding Wall

- Siding
- Strapping
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<ICFM> Exterior ICF Masonry Wall

- Stone Veneer
- Scratch Coat on Masonry Mesh
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<ICFST> Exterior ICF Stucco Wall

- Acrylic Stucco
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<W1> Typical Interior Wall :

- 2" x 4" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<LBW> Typical Interior Load Bearing Wall :

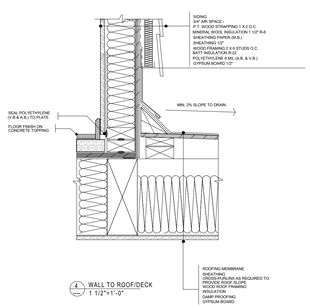
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<EMW> Exterior Masonry Wall

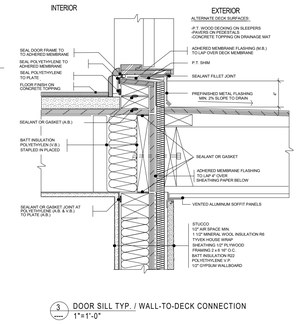
- Natural Stone Veneer
- 1.0 mm Rain Screen Masonry Mesh
- Tyvek HouseWrap Membrane
- 1/2" Plywood Sheathing
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate
- R-22 Insulation
- 6 MIL Poly on Warm Side of Insulation
- 1/2" Gypsum Wallboard

<EBW> Exterior Siding Wall

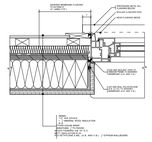
- Siding
- 1.0 mm min. Strapping
- Tyvek HouseWrap Membrane
- 1/2" Plywood Sheathing
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate
- R-22 Insulation
- 6 MIL Poly on Warm Side of Insulation
- 1/2" Gypsum Wallboard



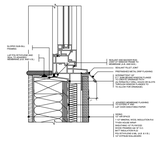
4 WALL TO ROOF/DECK
1 1/2"=1'-0"



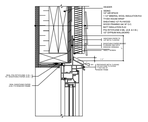
3 DOOR SILL TYP. / WALL-TO-DECK CONNECTION
1"=1'-0"



5 DOOR/WINDOW JAMB TYP.
1 1/2"=1'-0"



6 WINDOW SEAL TYP.
1 1/2"=1'-0"



7 WINDOW/DOOR HEAD TYP.
1 1/2"=1'-0"

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No.	Description	Date

New SFD House

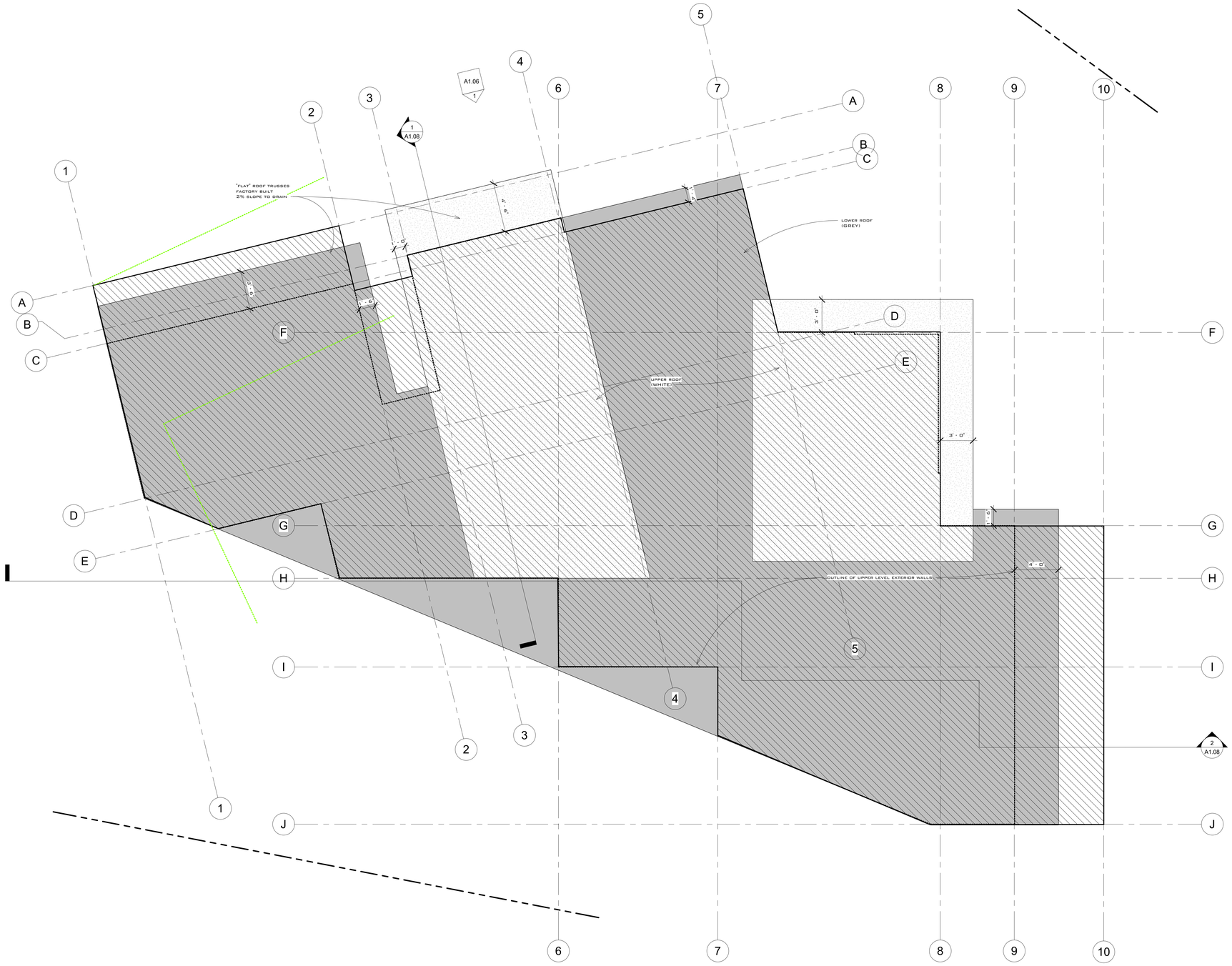
534 Ballantree Rd, West Vancouver

Upper Level Floorplan

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.04

Scale 1/4" = 1'-0"



1 Roof Plan
1/4" = 1'-0"

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No.	Description	Date

New SFD House

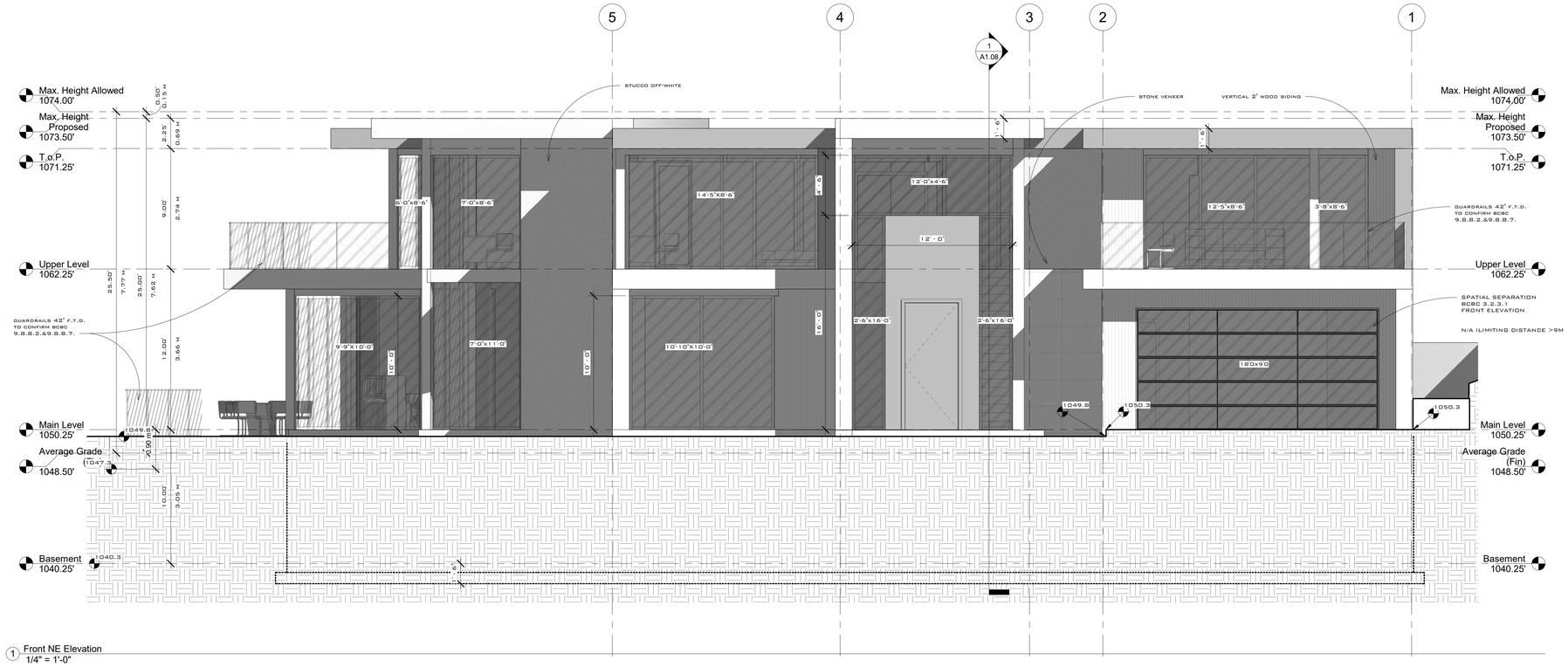
534 Ballantree Rd, West Vancouver

Roof Plan

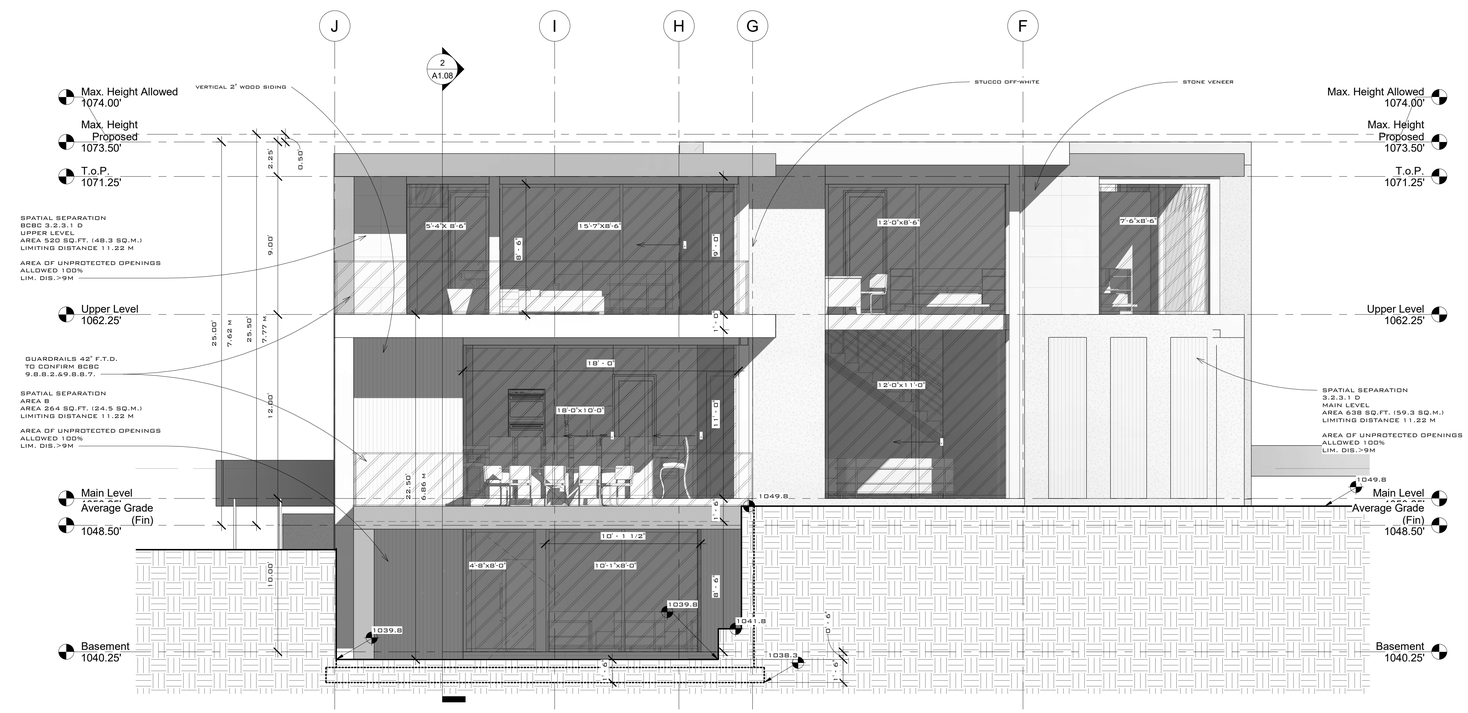
Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.05

Scale 1/4" = 1'-0"



1 Front NE Elevation
1/4" = 1'-0"



2 Left SE Elevation
1/4" = 1'-0"

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No.	Description	Date

New SFD House

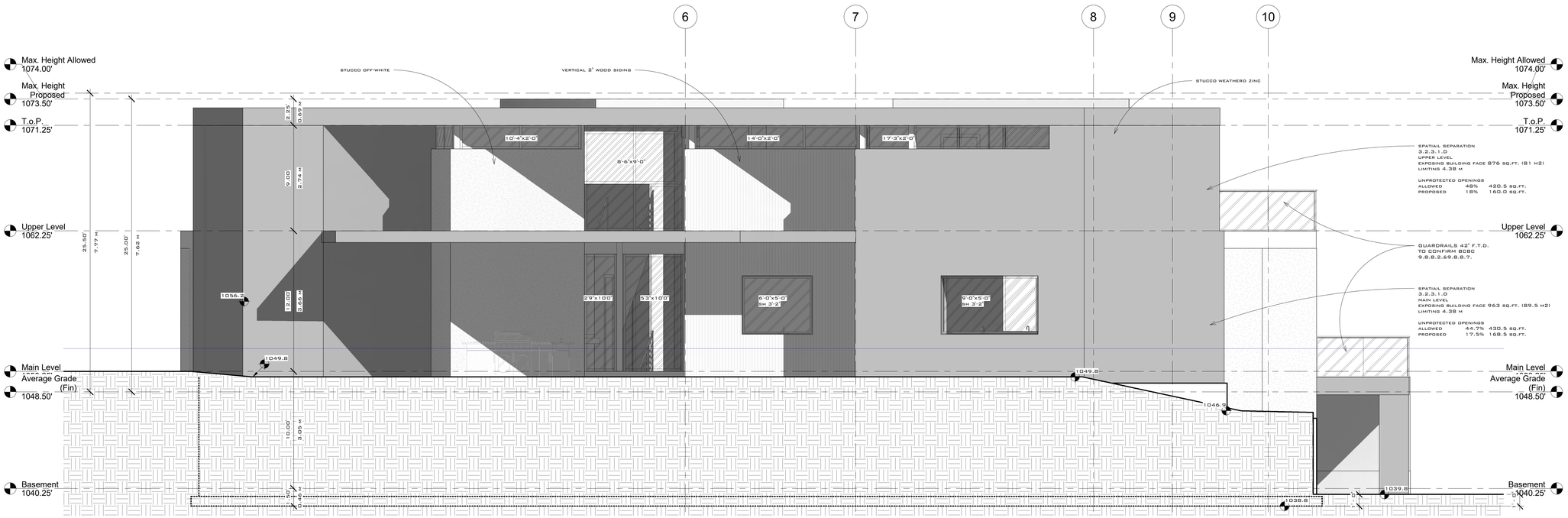
534 Ballantree Rd, West Vancouver

Front & Left Elevations

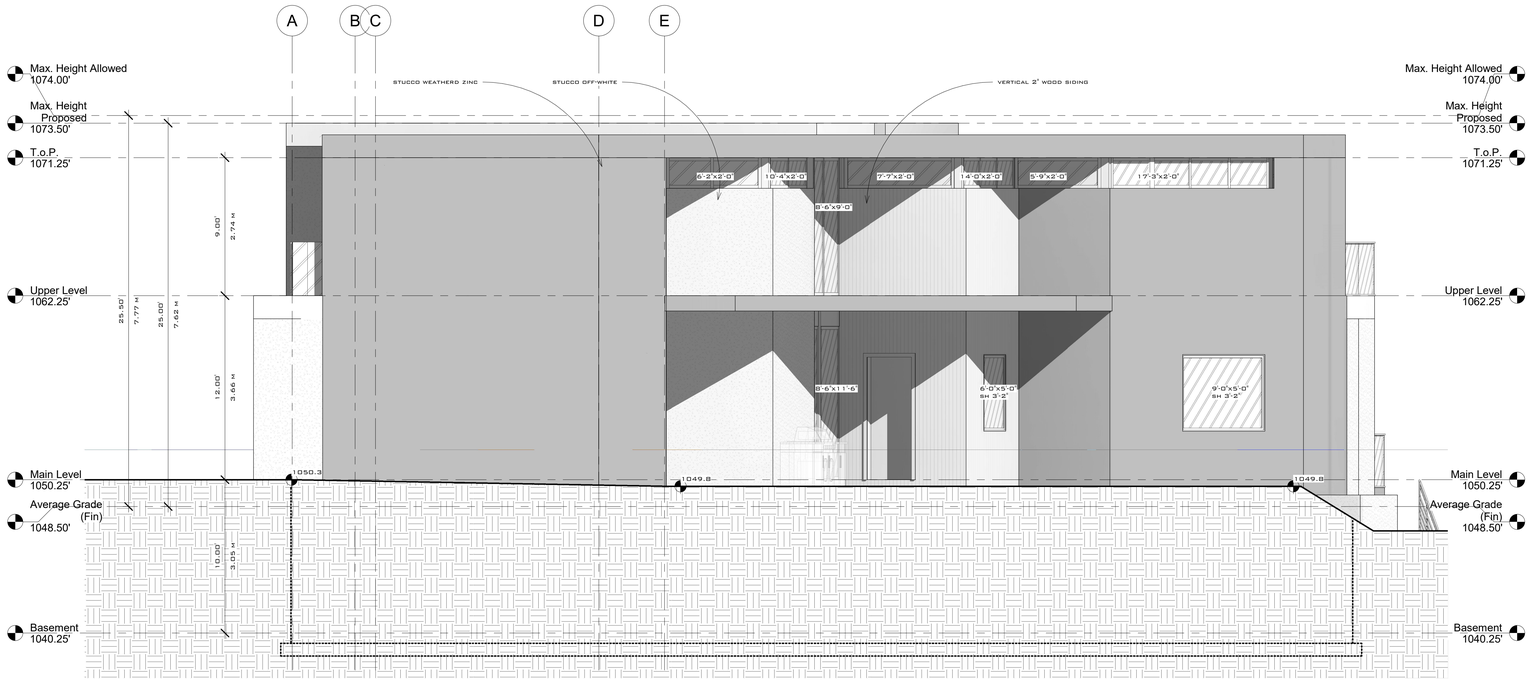
Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.06

Scale 1/4" = 1'-0"



1 Rear SW Elevation
1/4" = 1'-0"



2 Right NW Elevation
1/4" = 1'-0"

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No.	Description	Date

New SFD House

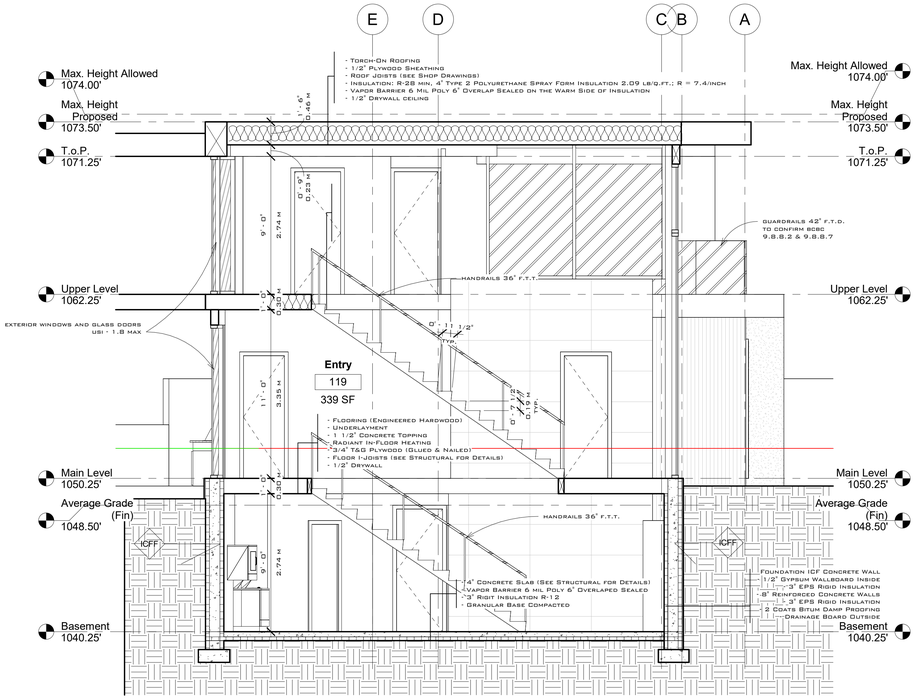
534 Ballantree Rd, West Vancouver

Rear & Right Elevations

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.07

Scale 1/4" = 1'-0"



1 Section Through Stairs
1/4" = 1'-0"

NOTICE: FOR DESIGN LOADS, LOCATION AND DETAILS OF STRUCTURAL ELEMENTS, INCLUDING: LOAD-BEARING WALLS, SHEAR WALLS, FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, JOISTS AND LINTELS SEE STRUCTURAL SET OF DRAWINGS AND NOTES.

<ICFF> Foundation ICF Wall
- 1/2" Gypsum Wallboard Inside
- 3" EPS Rigid Insulation
- 8" Concrete
- 3" EPS Rigid Insulation
- 2 Coats Bitum Damp Proofing
- Drainage Board Outside

<ICFS> Exterior ICF Siding Wall
- Siding
- Strapping
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<ICFM> Exterior ICF Masonry Wall
- Stone Veneer
- Scratch Coat on Masonry Mesh
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<ICFSt> Exterior ICF Stucco Wall
- Acrylic Stucco
- 3" EPS Rigid Insulation
- 8" Reinforced Concrete
- 3" EPS Rigid Insulation
- 1/2" Gypsum Wallboard

<W1> Typical Interior Wall :
- 2" x 4" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<LBW> Typical Interior Load Bearing Wall :
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- 1/2" Gypsum Wall Board on Each Side

<W3c> Interior 3/4Hr Fire Separation Wall :
- 2" x 6" Studs 16" O.C.
- Double Top Plate
- Double Bottom Plate for Concrete Topping
- Safe'n'Sound Insulation
- Resilient Channel on one side
- 1/2" Type-X Gypsum Wall Board on Each Side

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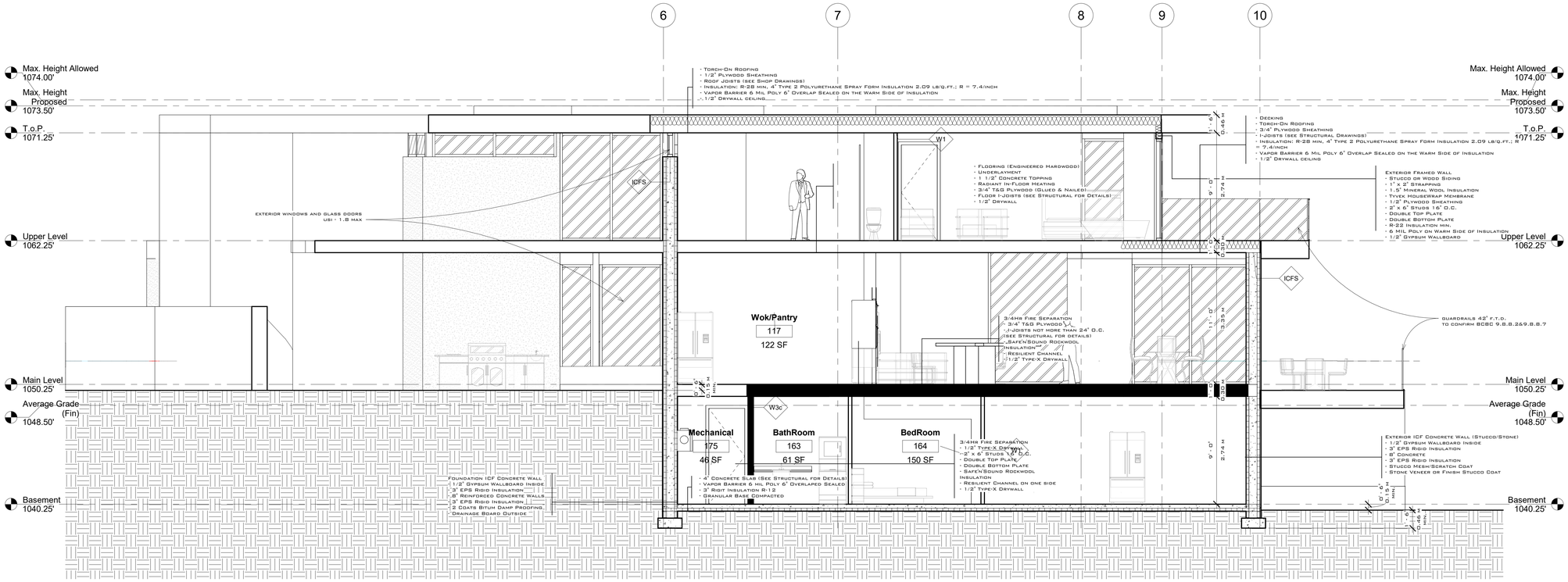
No.	Description	Date



2 Building Cross-Section
1/4" = 1'-0"

New SFD House

534 Ballantree Rd, West Vancouver

Cross Sections

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.08

Scale 1/4" = 1'-0"

7 3D View Front 1

8 3D View Front 3

3 3D View Driveway

1 3D View Front 2

2 3D View Side 3

5 3D View Side 2

6 3D View Side 1

4 3D View Rear

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No.	Description	Date

New SFD House

534 Ballantree Rd, West Vancouver

3D Views

Project Number	NA
Date	14Apr23
Drawn By	I.Goman
Checked By	NA

A1.09

Scale