



## District of West Vancouver Development Permit No. 21-180

**CURRENT OWNER:** DAN FENG CHEN

**THIS DEVELOPMENT PERMIT APPLIES TO:**

**CIVIC ADDRESS:** 835 SENTINEL DRIVE

**DESCRIPTION:** 010-371-311  
LOT 10 BLOCK 6 DISTRICT LOTS 1048 & 1049 PLAN 7695  
(the 'LANDS')

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**1. This Development Permit:**

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as Development Permit Area to ensure that detached secondary suites meet a high quality of building and landscape design, and are compatible both with the principal dwelling on the lot, and the built form character of the local neighbourhood and subject to Guidelines BF-B3.1 specified in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

**2. The following requirements and conditions shall apply to the Lands:**

- 2.1 Building, structures, landscaping and site development shall take place in accordance with the attached Schedule A and Schedule B.
- 2.2 The trees and hedges located along the common property lines shared with the subject property shall be retained and protected during construction and site works. Any proposed alteration or removal of these trees is at the discretion of the Director of Planning and Development Services and any request of this nature must be submitted in writing to the Director.
- 2.3 Landscaping of the Lands shall be installed at the cost of the Owner in accordance with the attached Schedule B.

**3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner shall:**

- (a) provide and implement a plan for traffic management during construction, to the satisfaction of the District's Manager of Land Development;
- (b) install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer;
- (c) submit a "Sediment and Erosion Control Plan" to the District's Environmental Protection Officer for approval, and the owner shall be responsible for maintaining, repairing and implementing the Sediment Control Measures; and

- (d) submit a "Stormwater Management Plan" to the to the satisfaction of the District's Manager of Land Development.

#### **4.0 Security for Landscaping**

- 4.1 Prior to Building Permit application and as security for the due and proper completion of the landscaping as set forth in Section 2.0 of this Development Permit, the Owner shall:
- (a) provide security in the amount of \$5,000 to the District in the form of a cheque; and
  - (b) maintain the security for a minimum of one year after completion of the landscaping, and not prior to the date on which the District authorizes in writing the release of the security.
- 4.2 After a one-year period, upon receipt of a letter from the project's landscape contractor or consultant of record that the Landscaping Works have been installed substantially in accordance with Schedule B, that any variations to the Landscaping Works are clearly identified, and stating that a final review has been completed, including provision of the date when this final review was completed on, the District will release the Warranty Deposit.
- 4.3 In the event that the landscaping is not completed or trees retained as provided for in this Permit, the District may, at its option, enter upon, carry out and complete the landscaping or tree replacement so as to satisfy the terms of the Development Permit, and recover the costs of doing so from the security deposited, including the costs of administration and supervision.

#### **5.0 Prior to Occupancy Permit issuance:**

- 5.1 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

- 6.0** This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES APPROVED THIS DEVELOPMENT PERMIT ON JUNE 29, 2023.



David Hawkins, Acting Director of Planning and Development Services

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

**FOR THE PURPOSES OF SECTION 6.0, THIS PERMIT IS ISSUED ON** June 29, 2023.

Schedules:

A – Coach House Architectural and Landscape Plan, prepared by Vancouver Building Design,  
date stamped June 12, 2023

B – Landscape Plan date stamped June 16, 2023

**SCHEDULE A to  
DP 21-180**



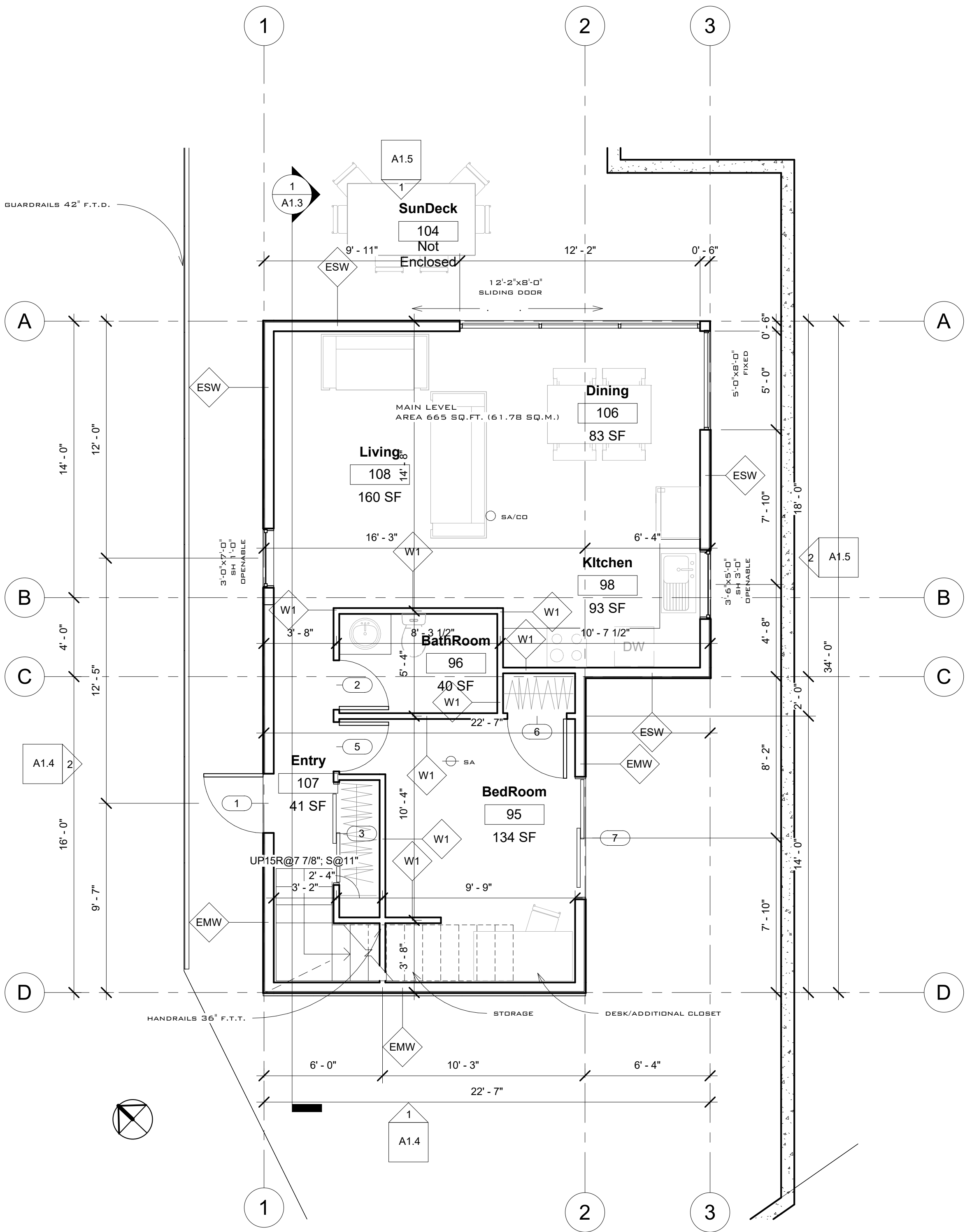
4623 Mountain Hwy, North Vancouver, BC, V7K 2K7  
goman@vancouverbuildingdesign.com  
778.995.3005

www.vancouverbuildingdesign.com

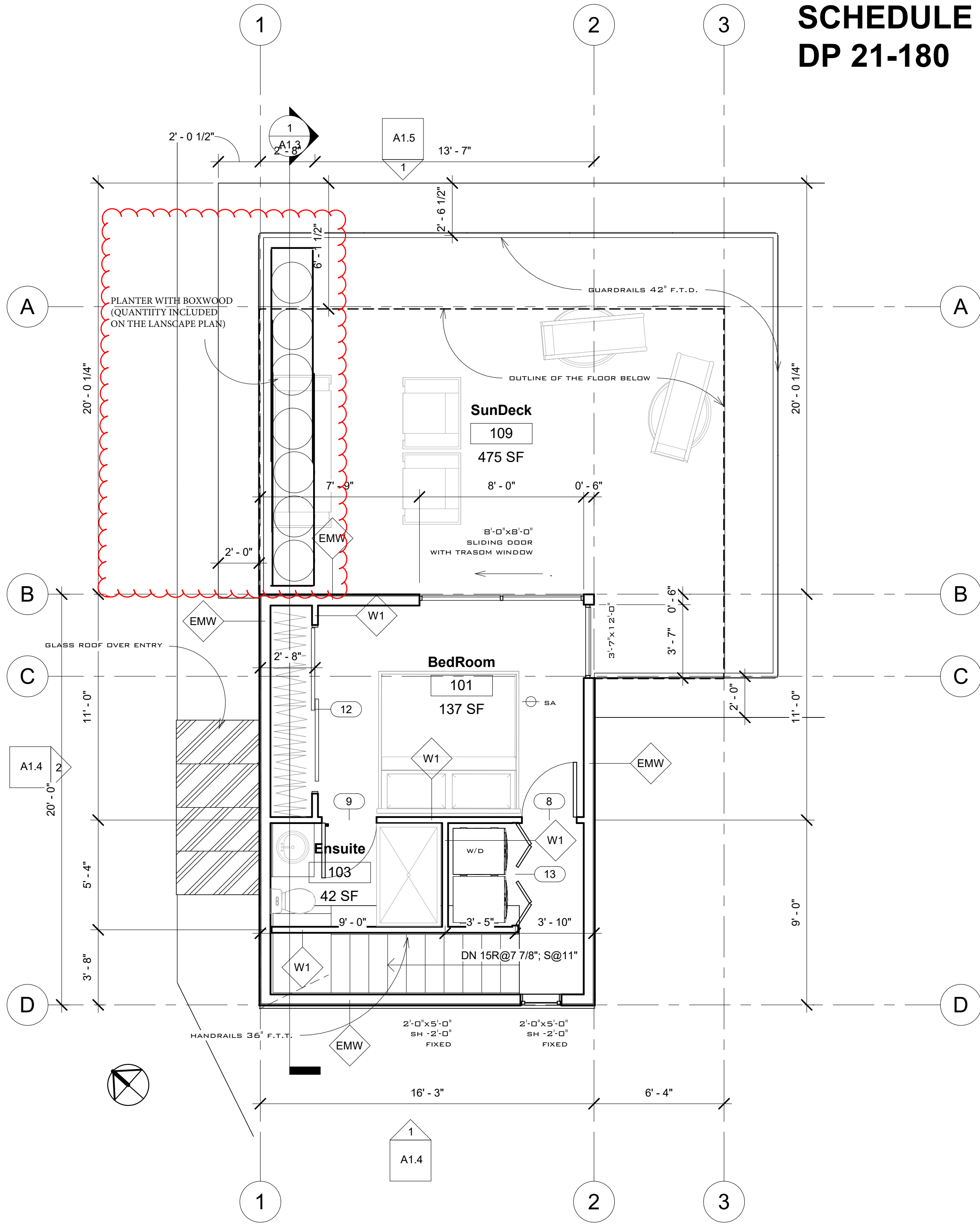
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Assume all dimensions are correct. Do not scale these drawings. All dimensions are to the outside of the concrete wall, exterior sheathing and interior framing

**PLANNING & DEVELOPMENT SERVICES  
RECEIVED JUNE 12, 2023**



1 Main Level  
1/4" = 1'-0"



2 Upper Level  
1/4" = 1'-0"

**GENERAL NOTES**

**LUMBER**

SEE STRUCTURAL NOTES FOR DETAILS.

**CONCRETE**

SEE STRUCTURAL NOTES FOR DETAILS.

**GENERAL**

- GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS, DIMENSIONS, AND ELEVATIONS BEFORE COMMENCING WORK. REPORT ANY DISCREPANCY TO THE DESIGNER.
- DRAWINGS ARE NOT TO BE SCALED.
- CONSTRUCTION METHODS AND TECHNOLOGIES TO CONFIRM REQUIREMENTS OF CBC 2018.
- MATERIALS TO BE USED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TREE REMOVAL TO BE CONFIRMED BY LOCAL AUTHORITIES.
- GENERAL CONTRACTOR SHALL PASS ALL NECESSARY INSPECTIONS.

**INSULATION**

- INSULATION WHERE SUBJECT TO MECHANICAL DAMAGE IS TO BE COVERED AS PER #9.25.2.3.(7) WITH DRYWALL OR EQUIVALENT (E.G. CRAWL STORAGE AREAS).
- MINIMUM INSULATION VALUES R20 WALLS, R38 FOR FLAT OR VAULTED CEILINGS, AND R40 FOR ATTIC SPACES.
- CEILING AND WALLS TO HAVE 5 MIL UV POLY FULLY CAULKED AS PER #9.25.
- R10 RIGID INSULATION REQUIRED AROUND UNHEATED SLABS ON GRADE; 20" VERTICAL OR HORIZONTAL FROM BOTTOM EDGE OF SLAB.
- R12 RIGID INSULATION REQUIRED UNDER ENTIRE SLAB AREA AND A THERMAL BREAK AT THE EXTERIOR WALLS FOR SLABS WITH RADIANT HEATING.

**STAIRS**

- STRAIGHT STAIR: RISE MIN. 5" MAX. 7.87" RUN MIN. 0.25" MAX. 1.4"
- MAXIMUM 1" NOSING ON STAIR TREADS.
- MINIMUM HEADROOM IS 6'-5" FROM A LINE THROUGH NOSINGS, MEASURED VERTICALLY.
- HANDRAILS TO BE BETWEEN 30" TO 38" FROM A LINE, MEASURED VERTICALLY, THROUGH NOSING.
- WINDERS TO CONFORM TO 9.0.4.5.
- PRIMARY STAIR MINIMUM WIDTH 2'-10"
- STAIRS 4'-3" IN WIDTH OR GREATER REQUIRE 2 HANDRAILS.
- HANDRAIL REQ'D. ON INTERIOR STAIRS WITH THREE OR MORE RISERS, AND EXTERIOR STAIRS WITH FOUR OR MORE RISERS.
- HANDRAIL AS A GUARD IS TO BE BETWEEN 36" AND 38"

**GUARDRAILS**

- GUARDRAILS TO BE A MINIMUM 42" EXTERIOR AND 36" INTERIOR HEIGHT.
- NO MEMBER FACILITATING CLIMBING PERMITTED FROM 5'-5" TO 36" ABOVE THE FLOOR OR WALKING SURFACE (IN ALL GUARDS).
- MAXIMUM 4" OPENING IN ALL STAIR, DECK AND BALCONY GUARDS (INTERIOR AND EXTERIOR).
- ALL GLASS GUARDS TO HAVE TOP CAP UNLESS APPROVED BY PROF. ENGINEER.
- A MINIMUM OF 36" IN HEIGHT IS PERMITTED FOR DECKS WITHIN 5'-11" OF GRADE.
- GUARD REQUIRED TO ALL DROPS EXCEEDING 24" WHERE ACCESS IS PROVIDED (E.G. WINDOW WELLS).
- GUARD REQUIRED WHERE THE ADJACENT SURFACE WITHIN 4'-0" M OF THE WALKING SURFACE HAS A SLOPE OF MORE THAN 1 IN 2.

**GLAZING**

- GLASS IN WINDOWS AND DOORS TO BE DOUBLE-GLAZED.
- GLASS IN ENTRANCE, SHOWER AND SLIDING DOORS, AND WINDOWS WITHIN 8' OF FLOORS AND WITHIN 36" OF DEADBOLTS ARE ALL TO BE SAFETY GLASS.
- SPACINGS 20" IN WIDTH ARE TO BE SAFETY GLASS.
- WINDOWS IN WALLS ENCLING SHOWER OR TUBS ARE TO BE SAFETY GLASS AND BE LOCATED ABOVE THE WATERPROOF WALL FINISH HEIGHT.
- WINDOWS OVER STAIRS, RAMPS AND LANDINGS THAT EXTEND TO LESS THAN 36" ABOVE THE SURFACE SHALL BE PROTECTED WITH GUARDS OR BE NON-OPENABLE AND DESIGNED TO #4.1.5.15.

**MOISTURE PROTECTION**

- PROVIDE FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES. ALL FLASHING TO SLOPE AWAY FROM THE BUILDING A MINIMUM OF 6%.
- PROVIDE FLASHING AT ALL WALL-ROOF JUNCTIONS, INCLUDING PARAPETS FOR SOLID GUARDS ON DECKS.
- RAINSCREEN ASSEMBLY REQUIRED FOR ALL BUILDINGS, WITH A MINIMUM CAPILLARY BREAK OF 3/8".
- ALL PLATFORMS ARE ROOFS.
- ALL ROOFS MUST SLOPE 1 IN 50 AWAY FROM WALLS. THIS INCLUDES PARAPET WALLS SURROUNDING DECKS.
- 6" CLEARANCE REQUIRED BETWEEN DECK MEMBRANES & FLOOR.

**MISCELLANEOUS**

- 1.0 LINO OR EQUAL REQUIRED TO BATHROOM FLOORS.
- WATERPROOF WALLBOARD REQUIRED AS TILE BARE AROUND TUBS AND SHOWERS.
- 5" DRYWALL REQUIRED TO CEILING MEMBERS AT 2'4" O.C.
- PROVIDE 8" CLEARANCE BETWEEN GRADE AND SIDING.
- DAMP-PROOFING SLABS, INCLUDING CRAWL SPACES, ARE TO BE 5 MIL UV POLY.
- N.R.P. HINGES REQUIRED FOR OUTSWING EXTERIOR DOORS.
- HARDWIRED AND INTERCONNECTED SMOKE ALARMS REQUIRED ON EVERY FLOOR LEVEL DIFFERING BY 36", WITHIN 16'-4" OF BEDROOM DOORS, AND WITHIN 50'-0" OF EACH OTHER.
- A 5LB A.B.C. DRY CHEMICAL FIRE EXTINGUISHER IS REQUIRED @ KITCHEN AREA.

NOTICE: FOR DESIGN LOADS, LOCATION AND DETAILS OF STRUCTURAL ELEMENTS, INCLUDING: LOAD-BEARING WALLS, SHEAR WALLS, FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, JOISTS AND LINTELS SEE STRUCTURAL SET OF DRAWINGS AND NOTES.

Door Schedule			
Mark	Width	Height	Level
1	3' - 0"	8' - 0"	Main Level
2	2' - 6"	7' - 0"	Main Level
3	5' - 0"	7' - 0"	Main Level
5	2' - 6"	7' - 0"	Main Level
6	3' - 0"	7' - 0"	Main Level
7	6' - 0"	8' - 0"	Main Level
8	2' - 8"	7' - 0"	Upper Level
9	2' - 8"	7' - 0"	Upper Level
12	8' - 0"	7' - 0"	Upper Level
13	5' - 0"	7' - 0"	Upper Level

**New Coach House**

835 Sentinel Drive, West Vancouver,  
BC

Floorplans/ General Notes

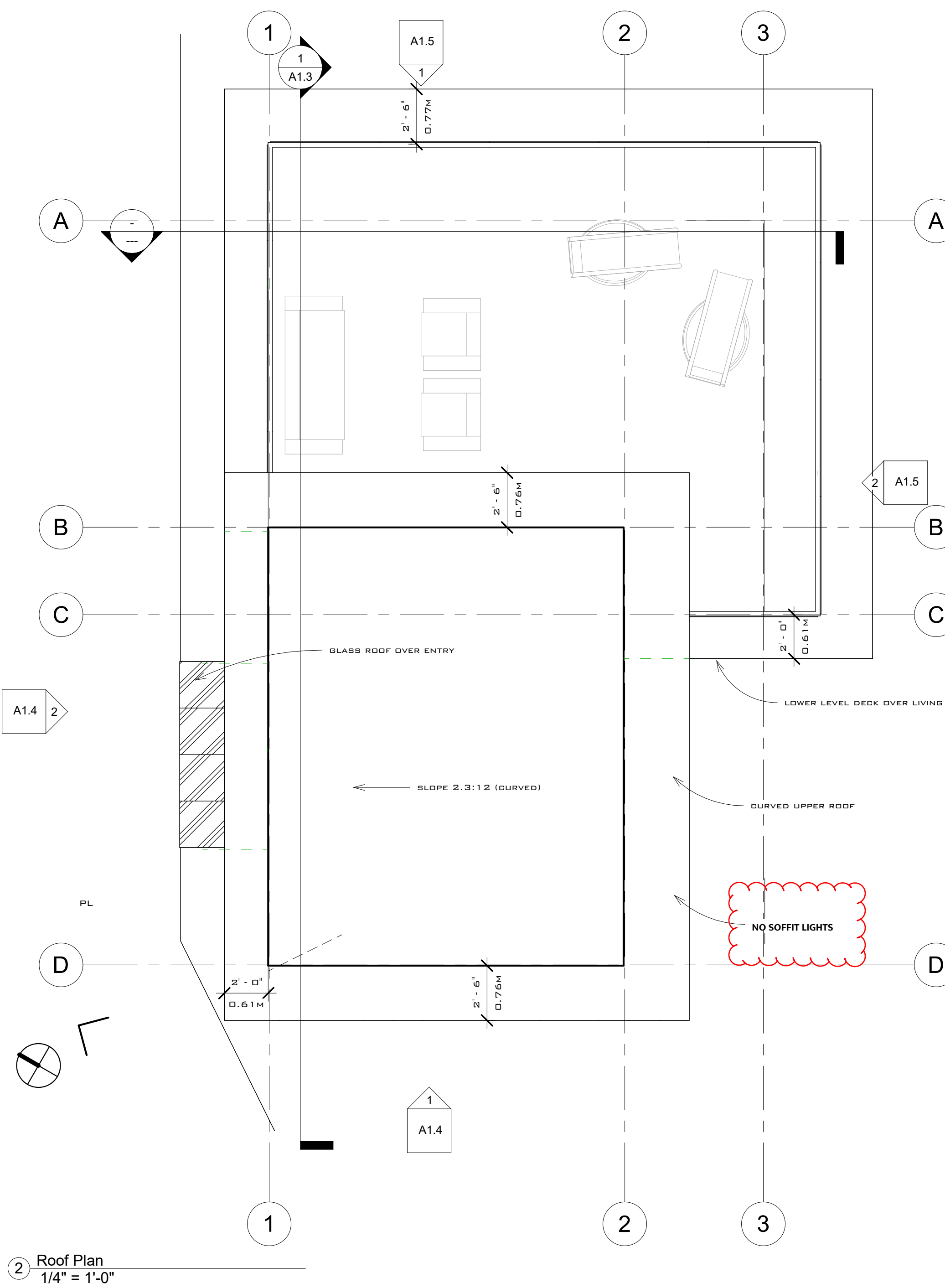
Project Number	NA
Date	22Jul22
Drawn By	I.Goman
Checked By	NA

**A1.2**

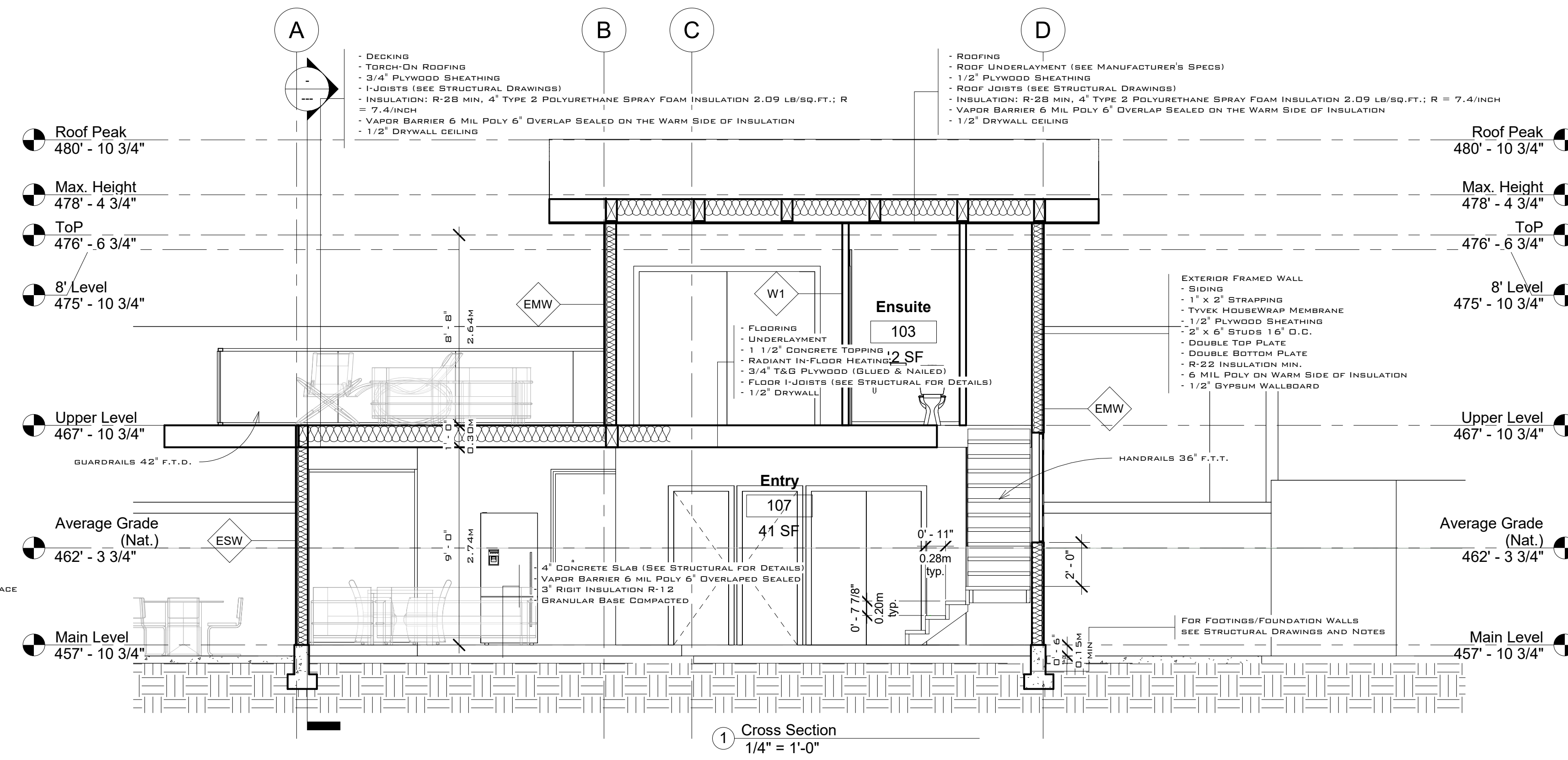
Scale 1/4" = 1'-0"

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2 Roof Plan  
 1/4" = 1'-0"



1 Cross Section  
 1/4" = 1'-0"

Roof Peak  
480' - 10 3/4"  
 Max. Height  
478' - 4 3/4"  
 ToP  
476' - 6 3/4"  
 8' Level  
475' - 10 3/4"  
 Upper Level  
467' - 10 3/4"  
 Average Grade (Nat.)  
462' - 3 3/4"  
 Main Level  
457' - 10 3/4"

Roof Peak  
480' - 10 3/4"  
 Max. Height  
478' - 4 3/4"  
 ToP  
476' - 6 3/4"  
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**EMW EXTERIOR MASONRY WALL :**

- NATURAL STONE TILE
- 10 HR RAIN SCREEN MASONRY MESH
- TYVEK HOUSEWRAP MEMBRANE
- 1/2" PLYWOOD SHEATHING
- 2' x 6' STUDS 16' O.C.
- DOUBLE TOP PLATE
- DOUBLE BOTTOM PLATE
- R-22 INSULATION
- 6 MIL POLY ON WARM SIDE OF INSULATION
- 1/2" GYPSUM WALLBOARD

**ESW EXTERIOR SIDING WALL :**

- HARDYBOARD HORIZONTAL SIDING (OPTIONAL LONGBOARD ALUMINUM SIDING)
- 1" x 4" STRAPPING
- TYVEK HOUSEWRAP MEMBRANE
- 1/2" PLYWOOD SHEATHING
- 2' x 6' STUDS 16' O.C.
- DOUBLE TOP PLATE
- DOUBLE BOTTOM PLATE
- R-22 INSULATION
- 6 MIL POLY ON WARM SIDE OF INSULATION
- 1/2" GYPSUM WALLBOARD

**WI TYPICAL INTERIOR WALL :**

- 2' x 4" STUDS 16' O.C.
- DOUBLE TOP PLATE
- DOUBLE BOTTOM PLATE FOR CONCRETE TOPPING
- 1/2" GYPSUM WALL BOARD ON EACH SIDE

**LBW TYPICAL INTERIOR LOAD BEARING WALL :**

- 2' x 6" STUDS 16' O.C.
- DOUBLE TOP PLATE
- DOUBLE BOTTOM PLATE FOR CONCRETE TOPPING
- 1/2" GYPSUM WALL BOARD ON EACH SIDE

**TYPICAL ROOF ASSEMBLY :**

- TORCH-ON ROOFING
- 1/2" PLYWOOD SHEATHING
- ROOF JOISTS (SEE STRUCTURAL NOTES AND SHOP DRAWINGS)
- INSULATION R-28 MIN., 4" TYPE 2 POLYURETHANE SPRAY FOAM INSULATION 2.09 LB/SQ.FT.; R=7.4/INCH
- VAPOR BARRIER 6 MIL POLY 6" OVERLAP SEALED
- 1/2" DRYWALL CEILING

**TYPICAL DECK OVER LIVING SPACE ASSEMBLY :**

- DECKING
- TORCH-ON ROOFING
- 1/2" PLYWOOD SHEATHING
- ROOF JOISTS (SEE STRUCTURAL NOTES AND SHOP DRAWINGS)
- INSULATION R-28 MIN., 4" TYPE 2 POLYURETHANE SPRAY FOAM INSULATION 2.09 LB/SQ.FT.; R=7.4/INCH
- VAPOR BARRIER 6 MIL POLY 6" OVERLAP SEALED
- 1/2" DRYWALL CEILING

No.	Description	Date

**New Coach House**

835 Sentinel Drive, West Vancouver,  
 BC

**Roof Plan / Building Cross Section / Assemblies**

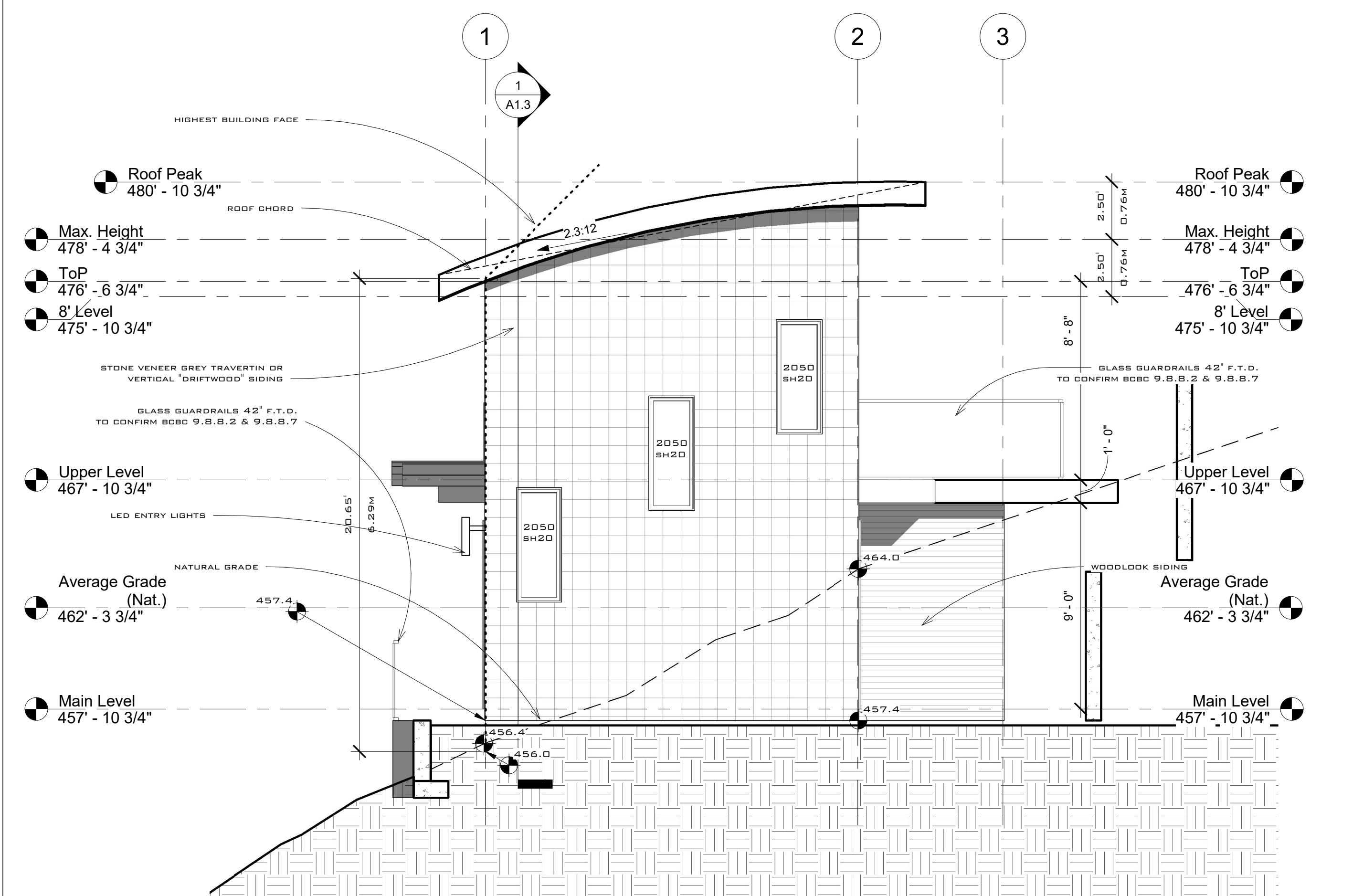
Project Number	NA
Date	22Jul22
Drawn By	I.Goman
Checked By	NA

**A1.3**

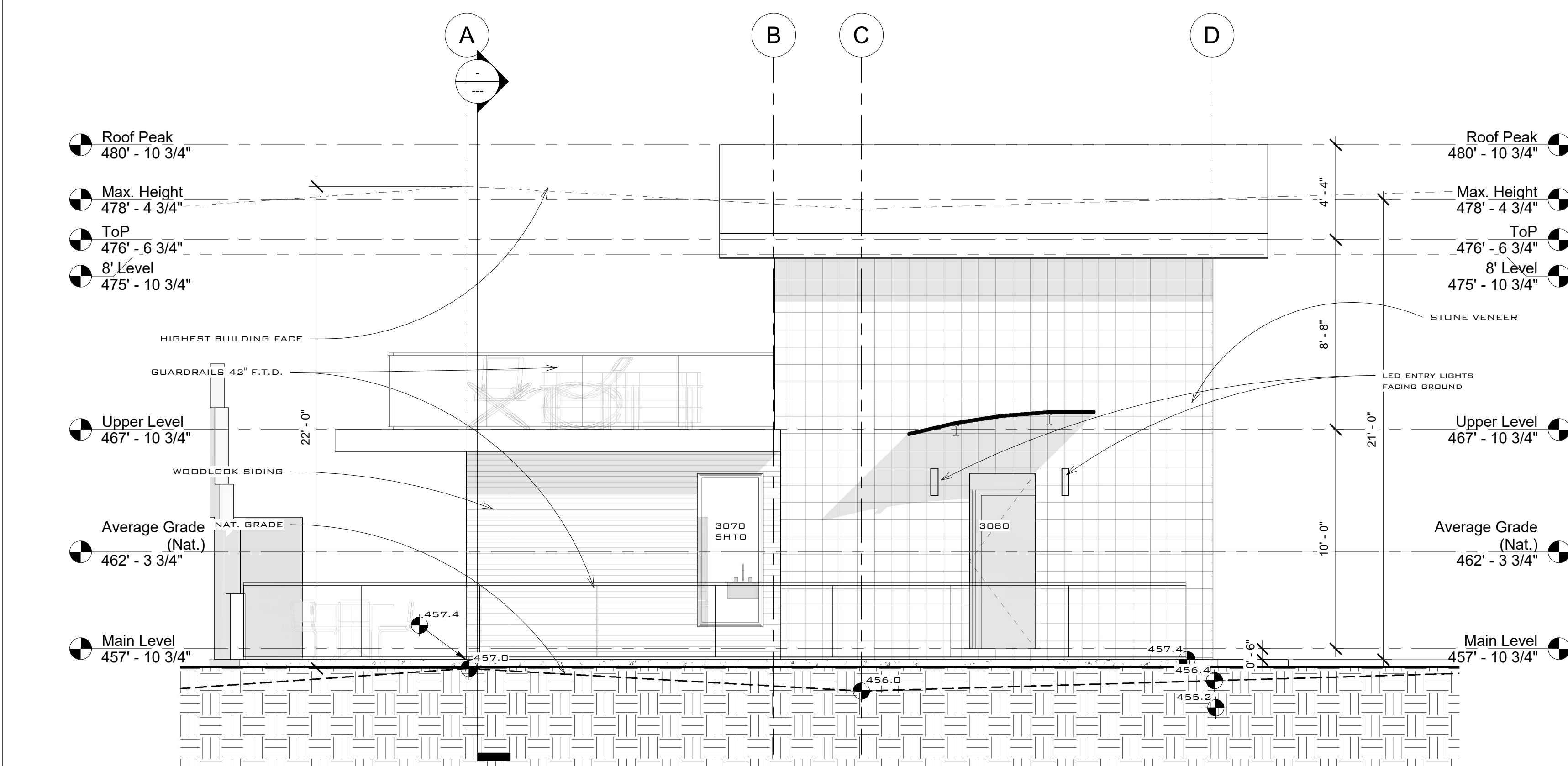
Scale 1/4" = 1'-0"

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① Front Elevation  
1/4" = 1'-0"



② Left Elevation  
1/4" = 1'-0"

No.	Description	Date

**New Coach House**

835 Sentinel Drive, West Vancouver, BC

**Front & Left Elevations**

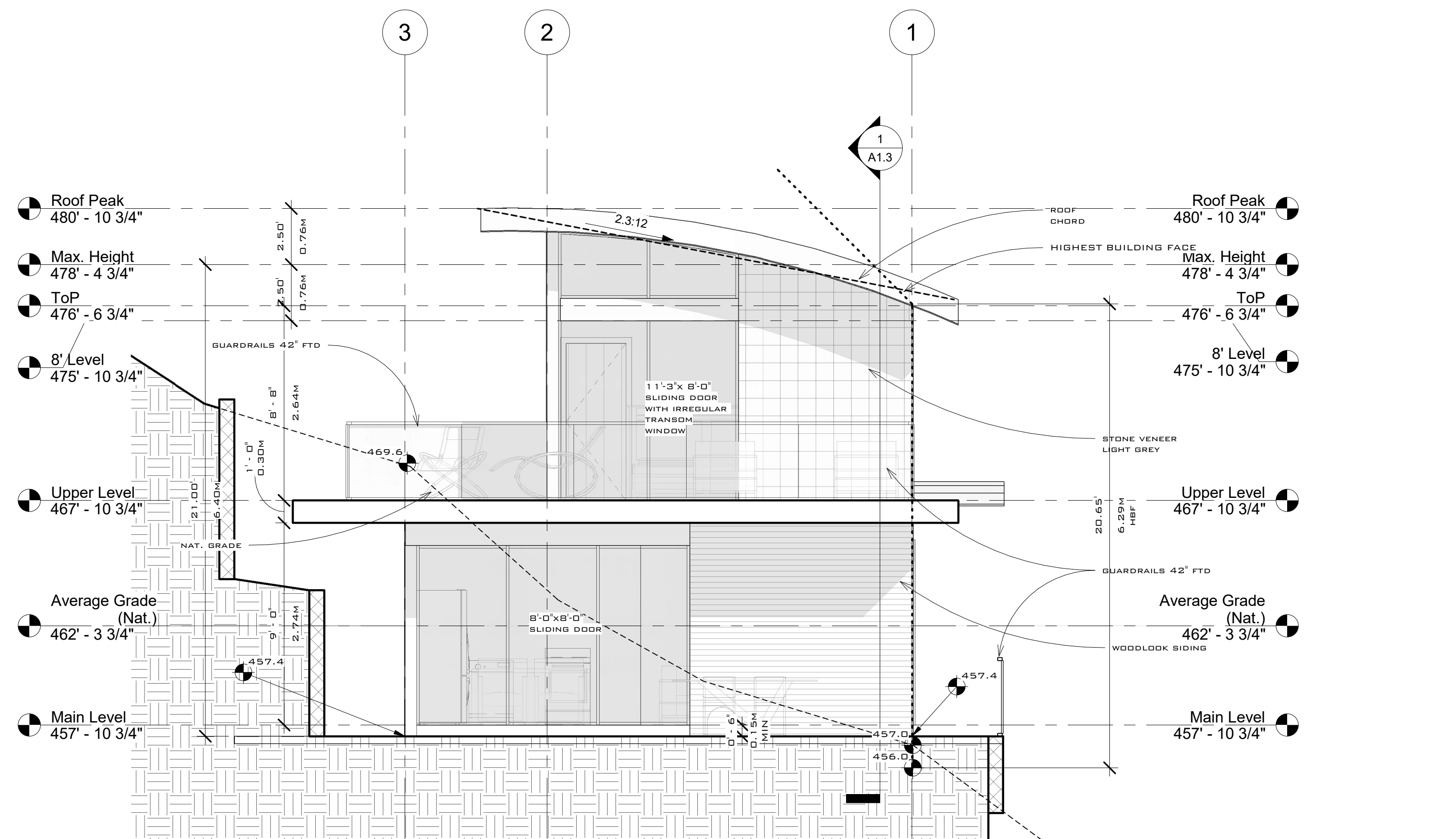
Project Number	NA
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Drawn By	I.Goman
Checked By	NA

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Scale 1/4" = 1'-0"

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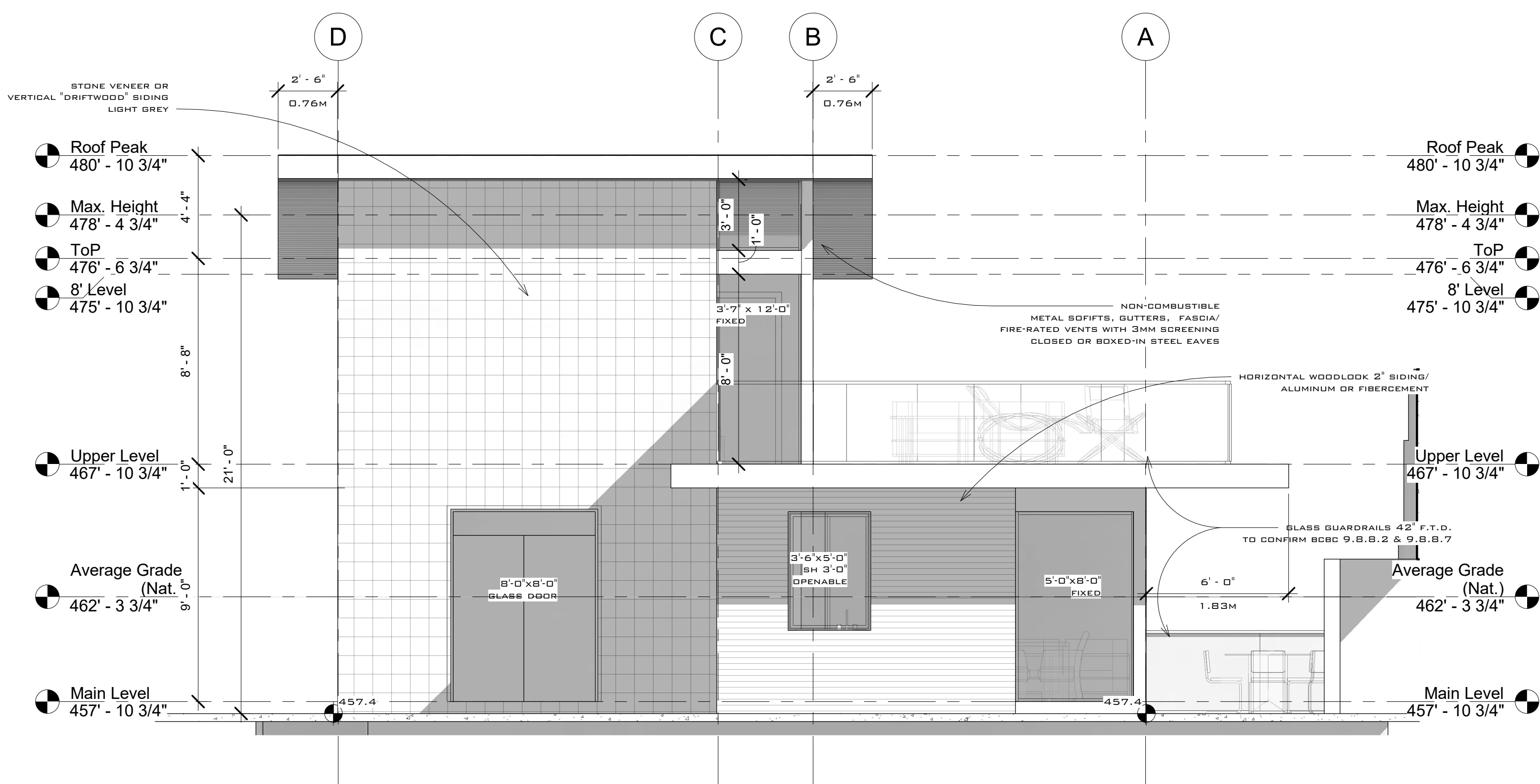
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Spatial Separation Calculations Rear Elevation

EXPOSING BUILDING FACE	396 SF = 36.8 M <sup>2</sup>
LIMITING DISTANCE	3.18 M
UNPROTECTED OPENINGS	
ALLOWED BCBC 3.2.3.1 (D)	48% 190.1 SQ.FT.
PROPOSED	48% 190.0 SQ.FT.

1 Rear Elevation  
1/4" = 1'-0"



Spatial Separation Calculations Right Elevation

EXPOSING BUILDING FACE	583 SF = 54 M <sup>2</sup>
LIMITING DISTANCE	8.84 M
N/A	> 100%

2 Right Elevation  
1/4" = 1'-0"

No.	Description	Date

New Coach House  
835 Sentinel Drive, West Vancouver, BC

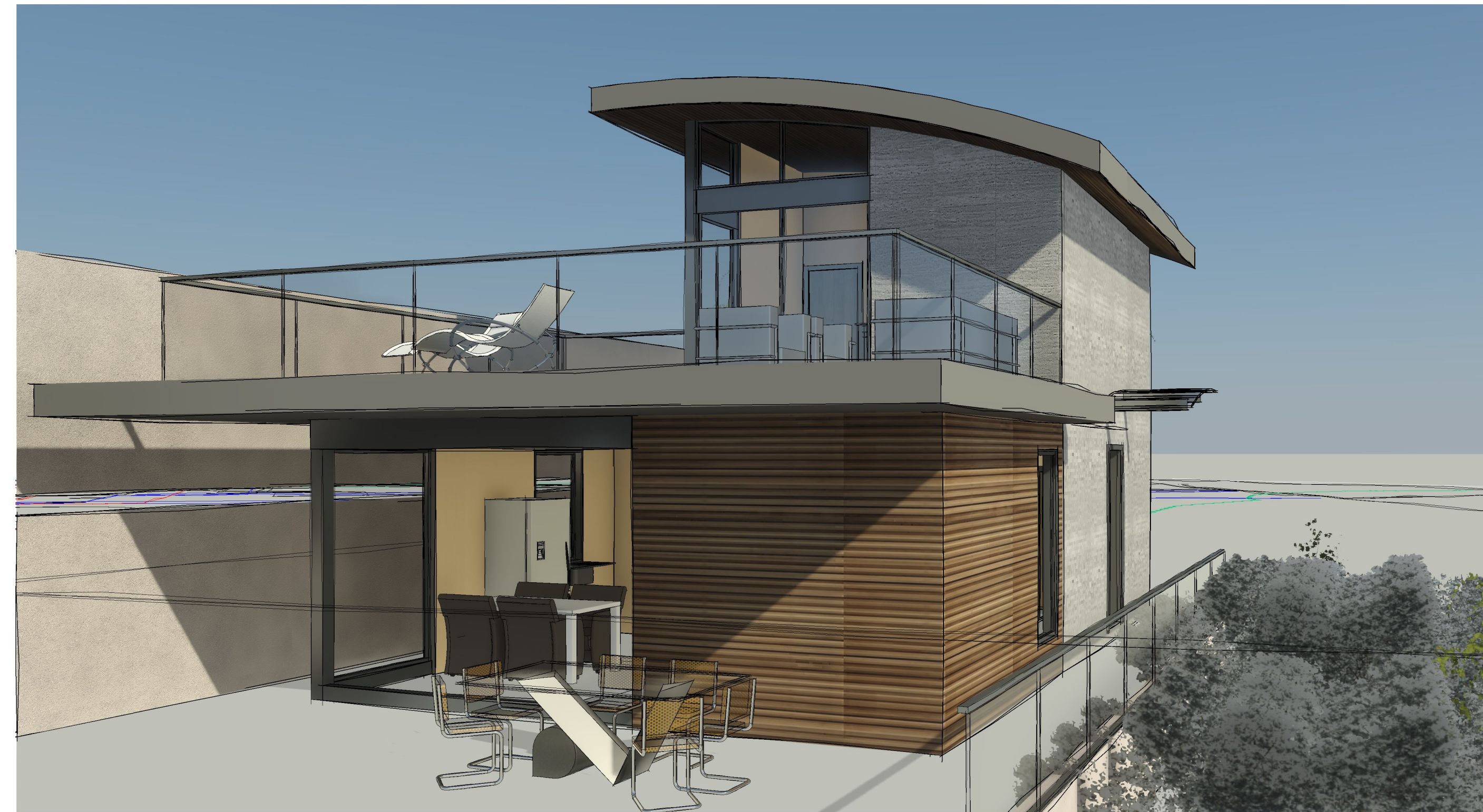
Rear & Right Elevations

Project Number	NA
Date	22Jul22
Drawn By	I.Goman
Checked By	NA

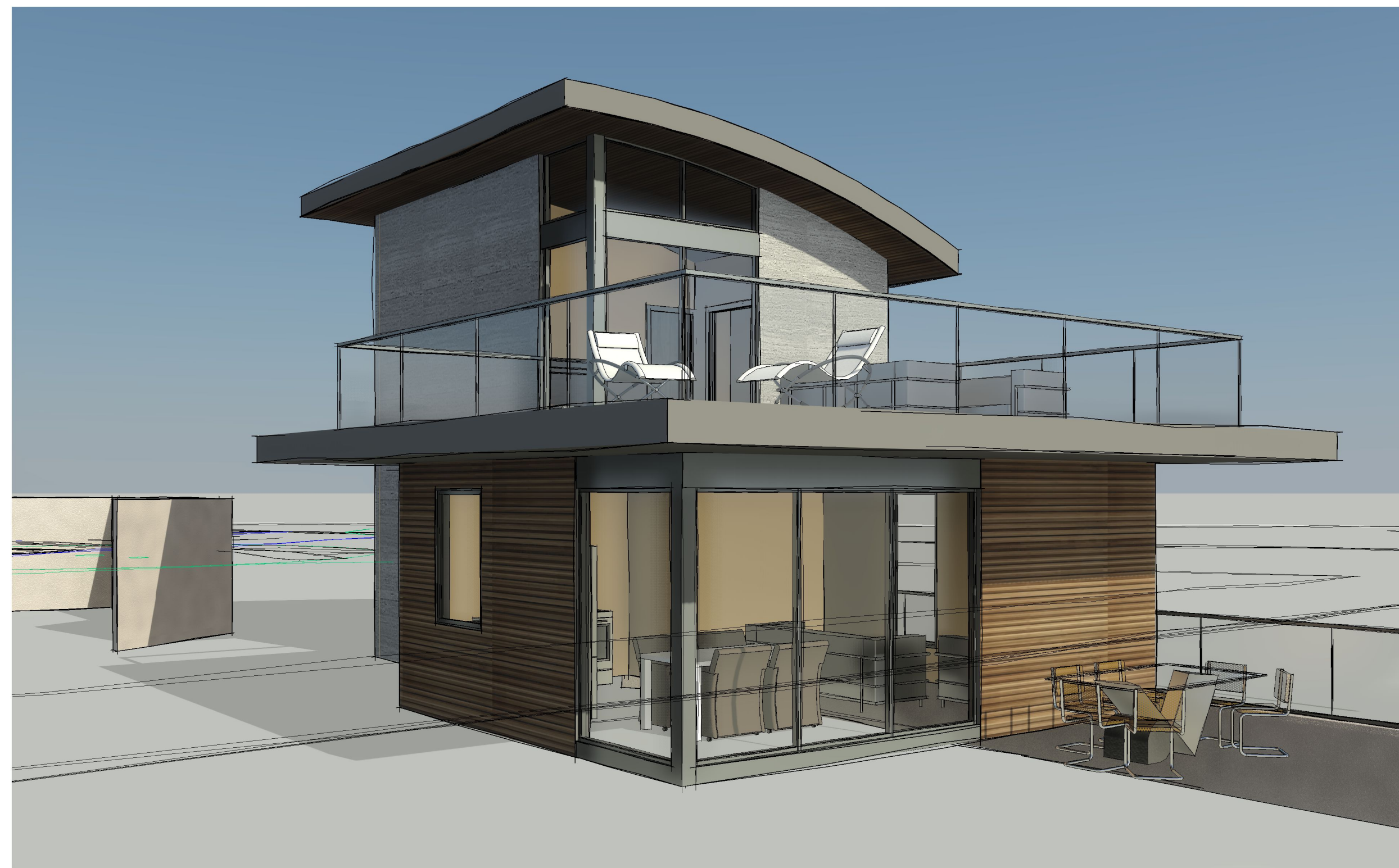
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Scale 1/4" = 1'-0"



① 3D View 1



② 3D View 2



③ 3D View 3



④ 3D View 4

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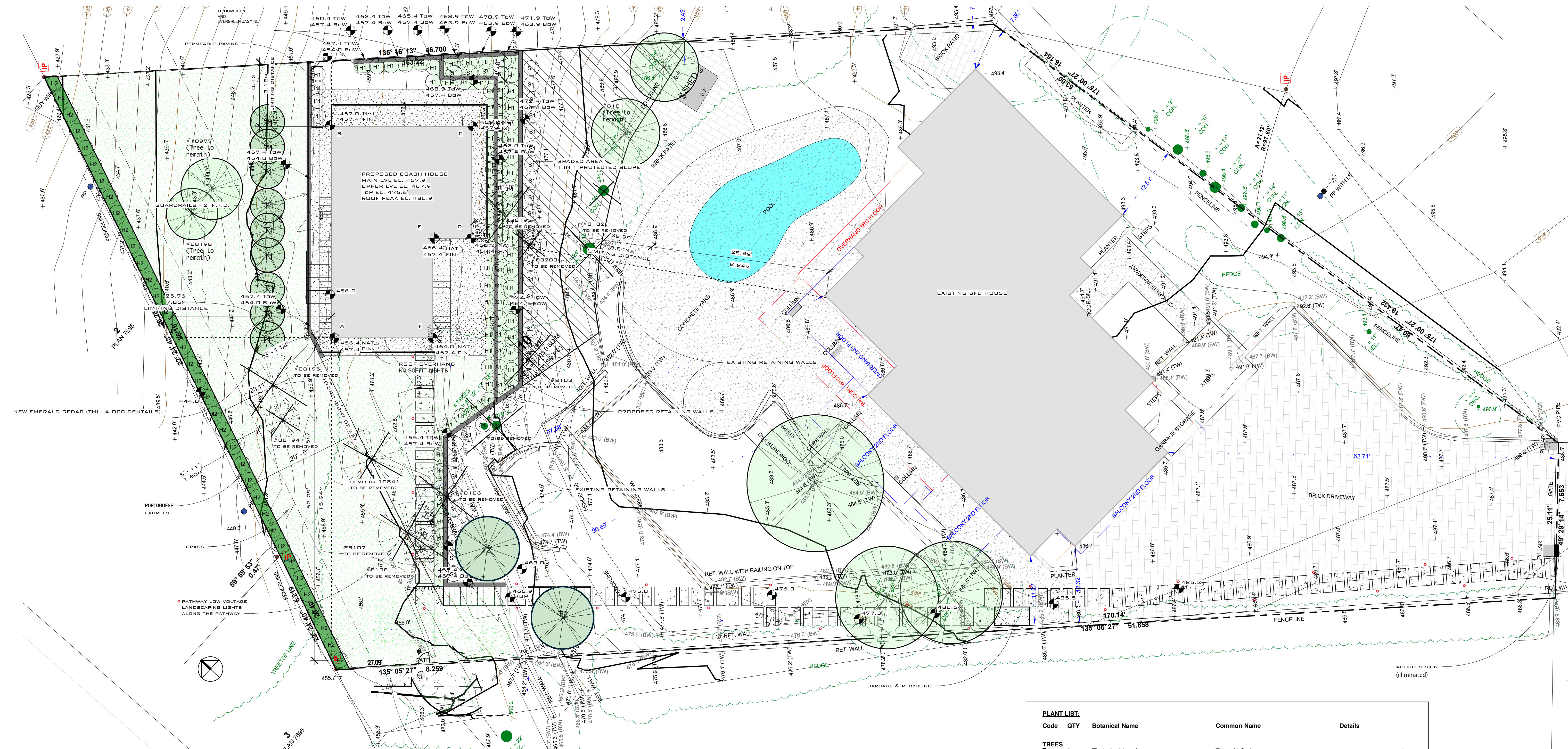
**3D Views**

Project Number	NA
Date	22Jul22
Drawn By	I.Goman
Checked By	NA

**A1.6**

Scale





NOTES	
REVISION	NO.

PLANNING & DEVELOPMENT SERVICES  
RECEIVED JUNE 16, 2023

PLANT LIST:				
Code	QTY	Botanical Name	Common Name	Details
<b>TREES</b>				
T1	9	Thuja Occidentals	Emerald Cedar	6' Height 4'o.c. Type DS
T2	2	Acer Griseum	Red Stem Vine Maple	7' Height
<b>HEDGING</b>				
H1	78	Buxus microphylla 'Green Beauty'	Green Beauty Boxwood	1'-0" o.c. / 1' HIGH
H2	36	Prunus lusitanica	Portuguese Laurel	3'-6" o.c. / 7' HIGH
<b>SHRUBS</b>				
S1	57	Trachelospermum Jasminoides	Star Jasmine	1' o.c. / 8' (climbing)

PROJECT  
835 Sentinel Drive,  
West Vancouver, BC

TITLE  
Landscape Plan

DRAWN	REVIEWED
Author	Checker
DATE	09/28/21
SCALE	1/8" = 1'-0"
PROJECT:	
DRAWING NO.	

1 Landscape Plan  
1/8" = 1'-0"

