

**SHEET INDEX**  
 ARCHITECTURAL

**PLANNING**

DESIGN RATIONALE A-001  
 OCP COMPLIANCE A-002  
 SITE CONTEXT A-003  
 SITE PLANNING ANALYSIS A-004  
 SITE PLANNING ANALYSIS A-005  
 SITE PLANNING ANALYSIS A-006  
 SITE PLANNING ANALYSIS A-007  
 SITE PLANNING ANALYSIS A-008  
 VIEW IMPACT ANALYSIS A-009  
 SHADOW ANALYSIS A-010  
 SHADOW ANALYSIS A-011  
 SURVEY PLAN A-012

**OVERALL SITE**

SITE PLAN A-100  
 GRADES & SETBACKS A-101  
 FLOOR PLAN - LOWER LEVEL A-102  
 FLOOR PLAN - MAIN LEVEL A-103  
 FLOOR PLAN - UPPER LEVEL A-104  
 ROOF PLAN A-105  
 SITE SECTIONS A-200  
 SITE SECTIONS A-201  
 PRECEDENT IMAGES A-400  
 GARBAGE ENCLOSURE A-500  
 SIGNAGE A-501

**BUILDING EAST - COMMERCIAL**

GRADING PLAN A-600  
 FLOOR PLAN - LOWER LEVEL A-601  
 FLOOR PLAN - MAIN LEVEL A-602  
 ROOF PLAN A-603  
 EXTERIOR ELEVATIONS A-630  
 EXTERIOR ELEVATIONS A-631  
 SPATIAL SEPARATION A-632  
 PERSPECTIVE VIEWS A-640  
 MATERIAL BOARD A-641  
 OFFICE ENTRY A-650

**BUILDING WEST - RESIDENTIAL**

GRADING PLAN A-700  
 FLOOR PLAN - LOWER LEVEL A-701  
 FLOOR PLAN - MAIN LEVEL A-702  
 FLOOR PLAN - UPPER LEVEL A-703  
 ROOF PLAN A-704  
 EXTERIOR ELEVATIONS A-730  
 EXTERIOR ELEVATIONS A-731  
 SPATIAL SEPARATION A-732  
 PERSPECTIVE VIEWS A-740  
 MATERIAL BOARD A-741  
 ENLARGED PLANS A-750  
 ENLARGED PLANS A-751

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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**COVER**

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
DRAWING NO.	<b>A-000</b>	SCALE	AS NOTED
		REVISION	<b>05</b>

**LIST OF CONTACTS**

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**OWNER**

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 tsukadatom@gmail.com

**PROJECT LOCATION**

**CIVIC ADDRESS**

2221 - 2229 FOLKESTONE WAY,  
 WEST VANCOUVER, BC

**LEGAL ADDRESS**

LOT 3, BLOCK 17, DISTRICT LOT 783, PLAN 15565



## DESIGN RATIONALE

The existing Salmon House restaurant and attached ancillary office building is nearing end-of-life, clocking in at more than 4 decades of continual use. The Ownership group seeks to replace the existing building to serve as a restaurant to continue on operations of this local neighbourhood restaurant.

The proposal also seeks to gently densify the site through the addition of an 8-unit townhouse building where the restaurant once stood. The new restaurant will be shifted east closer to the existing entry.

The proposal is low-rise, planned and massed to fit within the confines of the existing residential neighbourhood and its urban pattern of development. The project also seeks to comply with all aspects of the OCP guidelines that apply to the subject site: BF C-8, 'Local Commercial Sites'.



RESTAURANT - NW



TOWNHOME - NW



RESTAURANT - NE



TOWNHOME - SOUTH



RESTAURANT - SE

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 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**DESIGN RATIONALE**

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
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# OCP COMPLIANCE

PERTINENT ASPECTS OF OCP GUIDELINE BF C-8:	ARCHITECTURAL RESPONSE:
Encourage compatible development of local commercial sites within their residential settings.	The project is a commercial redevelopment with a residential component.
1a. Respect the residential scale and character through appropriate siting and design.	The project is comprised of two low-rise buildings organized similarly to local mid-rise buildings in terms of location, scale, and architectural character.
2a&b. Construct new buildings to a maximum height of three storeys at any point; Design buildings and structures to have a low, unobtrusive scale.	The new buildings are two and three storeys respectively at their highest perceived points. Large and extensive landscape setbacks and screens at the site's perimeter are preserved and enhanced with minimal affect on existing sightlines from neighbouring buildings.
2c. Face ground floor commercial space toward the street and provide high pedestrian accessibility.	Local street systems are arterial in nature and are not particularly pedestrian intensive. The commercial entires engage the surface parking area (with accessible parking) and on-street parking along Skilift Road.
2d. Express commercial entrances through the use of building volume.	The restaurant entry is defined through an undulation in the building footprint to create a foyer; this adjunct features a different, lower roof line with weather protection canopy.
2e. Discourage the use of unarticulated blank walls and large, undifferentiated expanses of metal, glass or concrete when visible from public areas.	The two visible frontages along Skilift Road feature shortened structural bays with changes in form, material, and roof line in general. These frontages are held back from Skilift Road with a deep, dense, mature landscape groundcover setback, and differ in elevation from the public street by approximately 1 storey in elevation.
2f. Minimize the impact of on-site services, including loading areas, mechanical equipment and garbage bins on adjacent properties and the streetscape, by their location within a building or, where not possible, visual and acoustical screening.	Refuse and loading for the restaurant is situated at the east side of the site, away from existng and new residential uses. The refuse function is totally internalized, and is also screened significantly from existing, dense mature trees to the east. Mechanical equipment is similarly ganged on the east side on a flat roof area, screened, and obscured from view from upper residential neighbours. The main commercial roof space remains unincumbered with roof top equipment.
2g. Design and locate garage doors so that they are not a dominant feature of the building.	The residential garage door is situated perpendicular from public view and from the building entires with architectural screening and a vegitated buffer.
2h. Design signage to be compatible with the building design and residential setting.	Fascia signage is modest and screened on the north side from public view. Two new low monument signs will replace existing site signage.
4a. Minimize traffic impacts on local residential streets.	Adequate parking has been maintained on site to serve the restaurant and commercial uses in consultation with our traffic consultant. Surface stalls have been reduced from 34 provided to 29 provided, and greatly reduced from the existing condition of 58 surface stalls.
4b. Discourage large expanses of ground level paved parking, particularly when visible from or directly adjacent to astreet.	Surface parking has been reduced by 15% to minimal levels; groups of stalls have been minimized and are broken with landscape beds and islands; surface parking is invisible from public view along streets, screened by either the existing, dense forested setback to the north or the new building forms to the south.
4c. Separate commercial from residential parking areas in mixed-use buildings.	Commercial parking is exclusively at the surface level, residential parking is contained underground. Residential visitor parking at the surface level at the residential entries is delineated with specific paving.
4c. Design commercial underground parking to be readily accessible to and easily used by customers.	No underground parking is specific to the use of public customers. A single accessible stall for the office use is designated at the east side of the commercial building at the lowest level, proximate to an entry.

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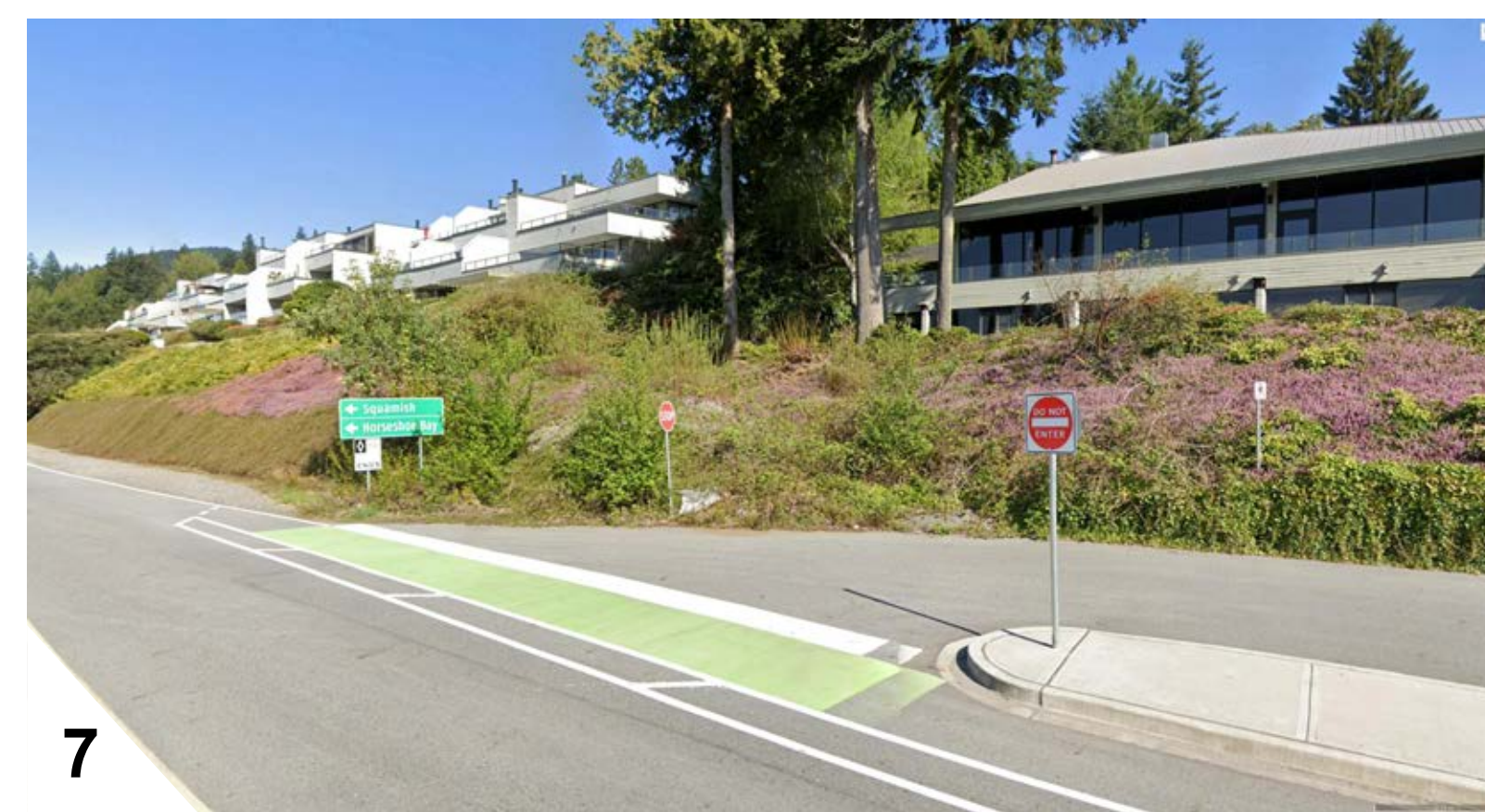
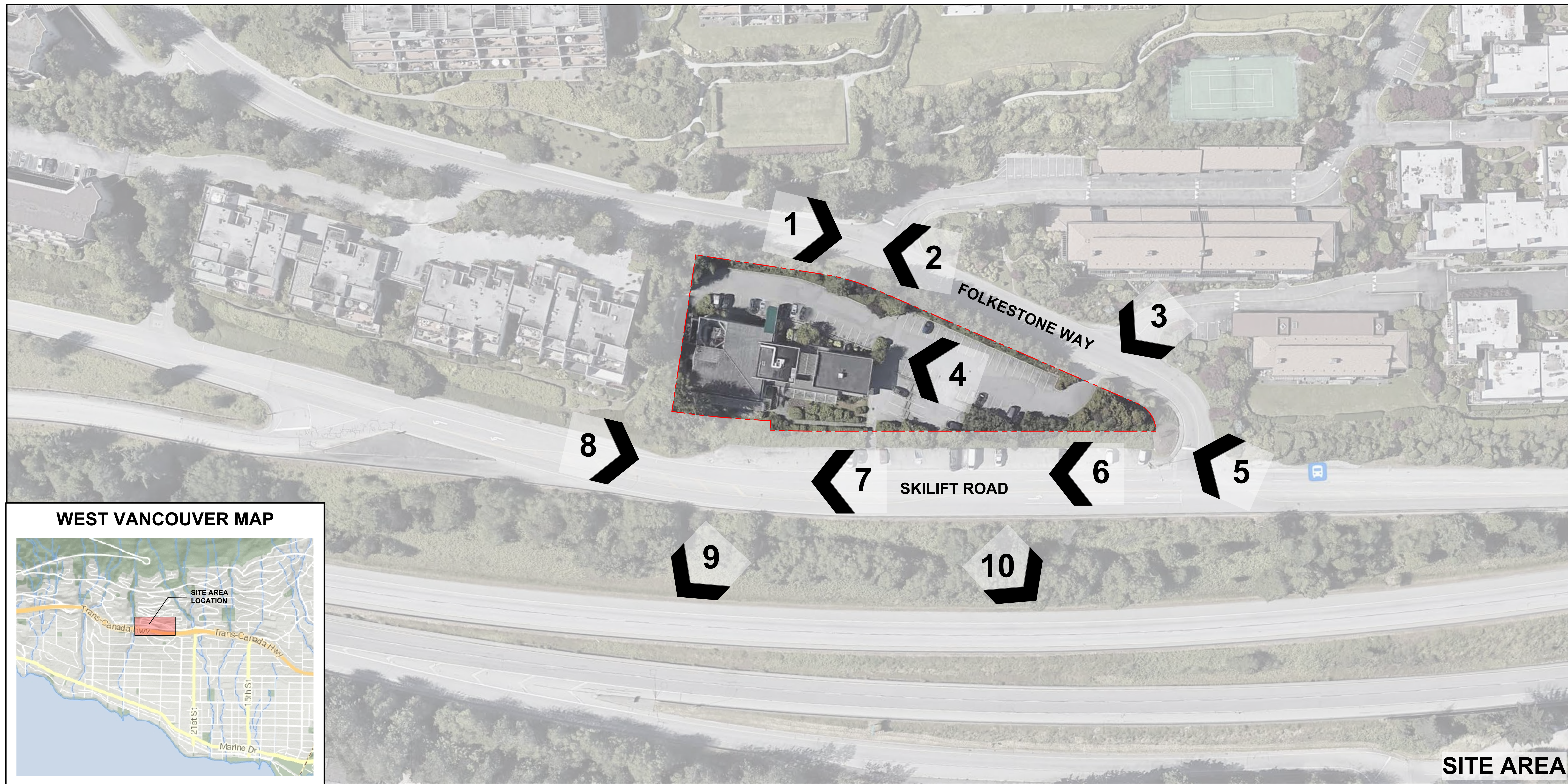
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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**OCP COMPLIANCE**

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
DRAWING NO.	<b>A-002</b>	SCALE	AS NOTED
REVISION	<b>05</b>		





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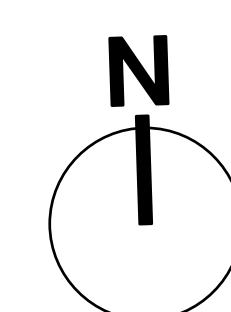
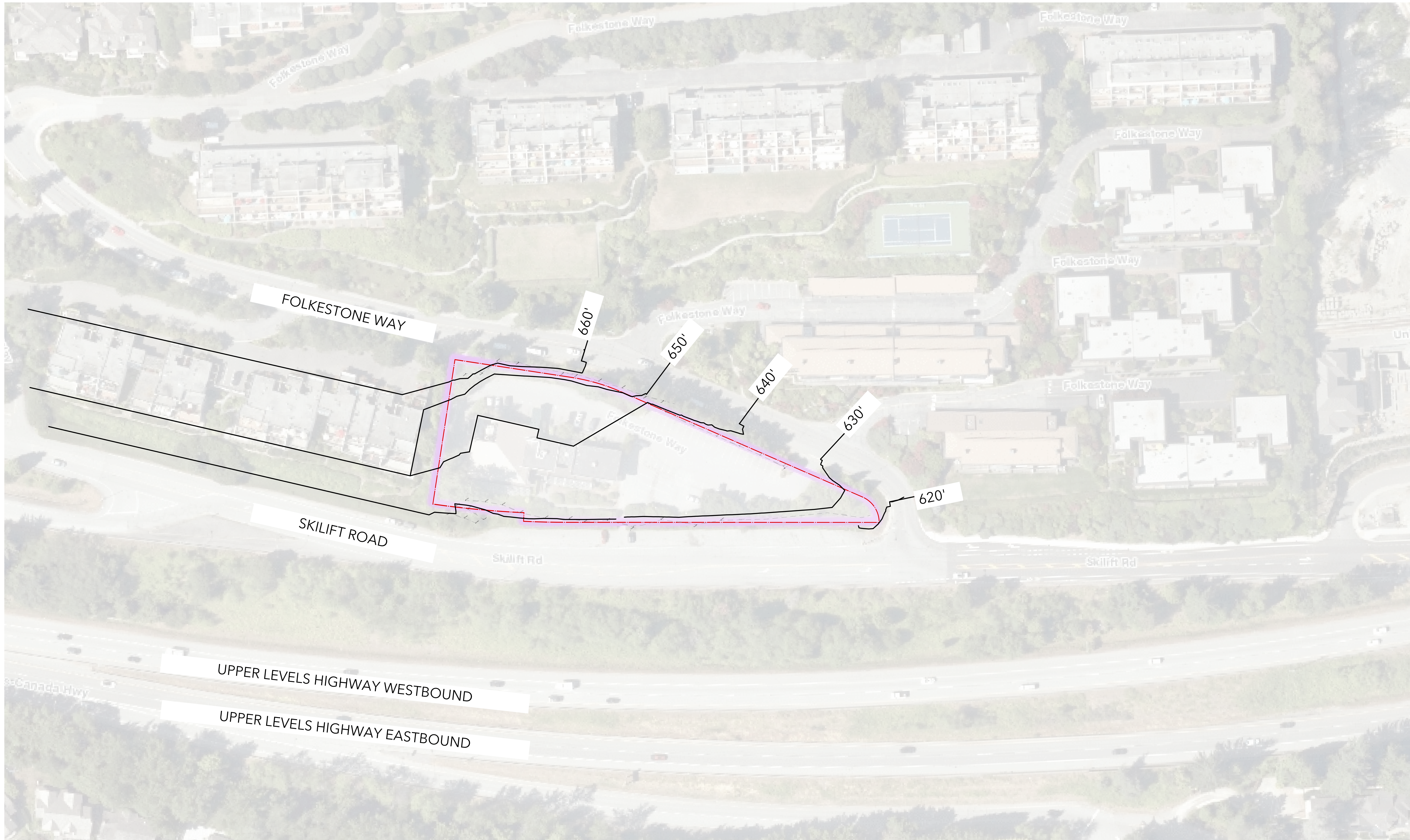
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**SITE CONTEXT**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		
DRAWING NO.	A-003		
REVISION	05		



SITE TOPOGRAPHY



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01	20220819	ISSUED FOR REZONING	PC PJM
-	20220729	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

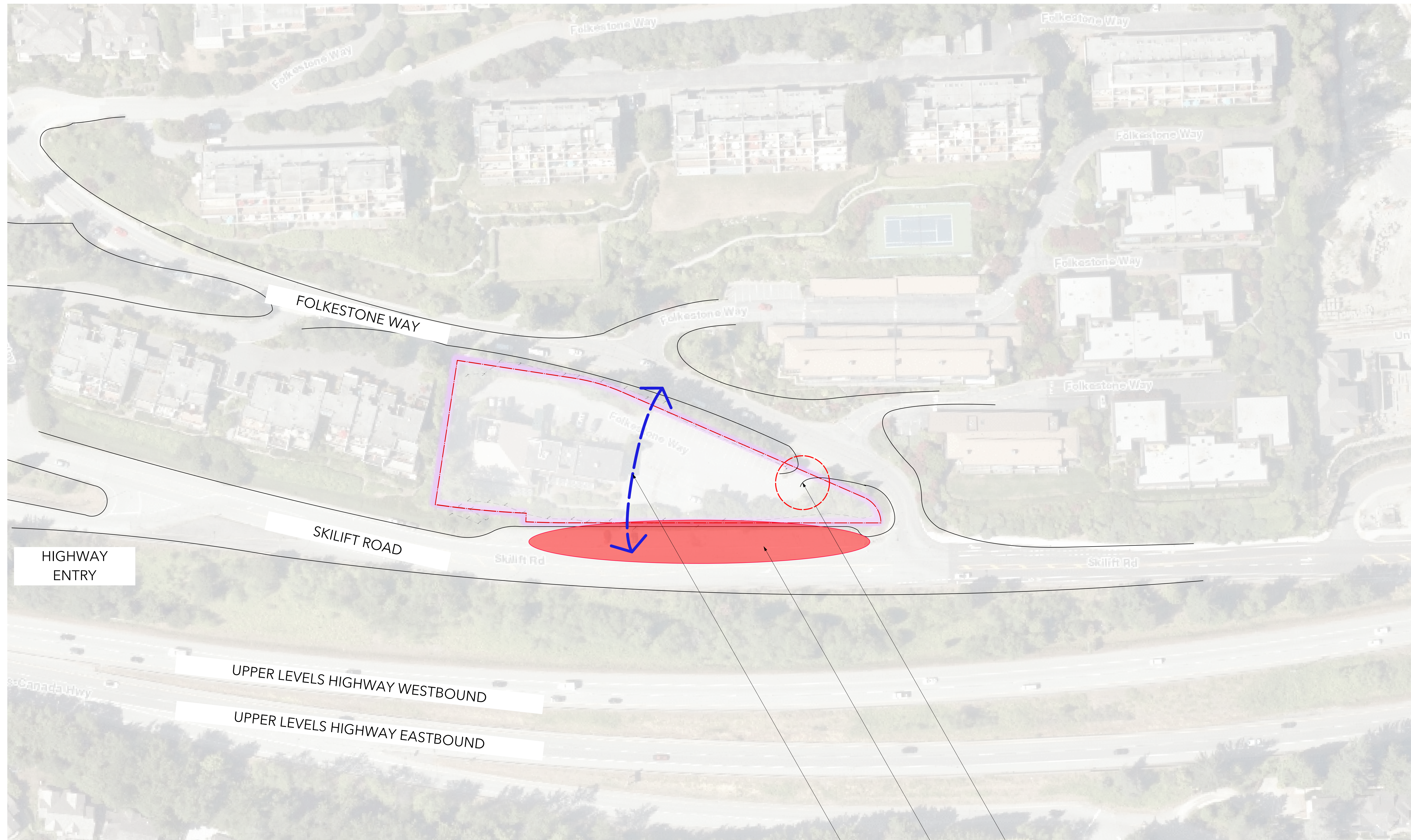
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**SITE PLANNING ANALYSIS**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		

DRAWING NO.	A-004	REVISION	05
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LOCAL ROAD SYSTEM



SKILIFT ROAD

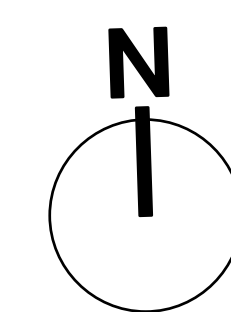


FOLKESTONE WAY

EXISTING SITE ENTRY TO BE PRESERVED

ON-STREET PARKING

EXISTING PEDESTRIAN CONNECTION



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**SITE PLANNING ANALYSIS**

PROJECT NO. 21050  
 PLOT DATE Nov. 10, 2023  
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DRAWING NO.	REVISION
<b>A-005</b>	<b>05</b>



EXISTING LANDSCAPE EDGES



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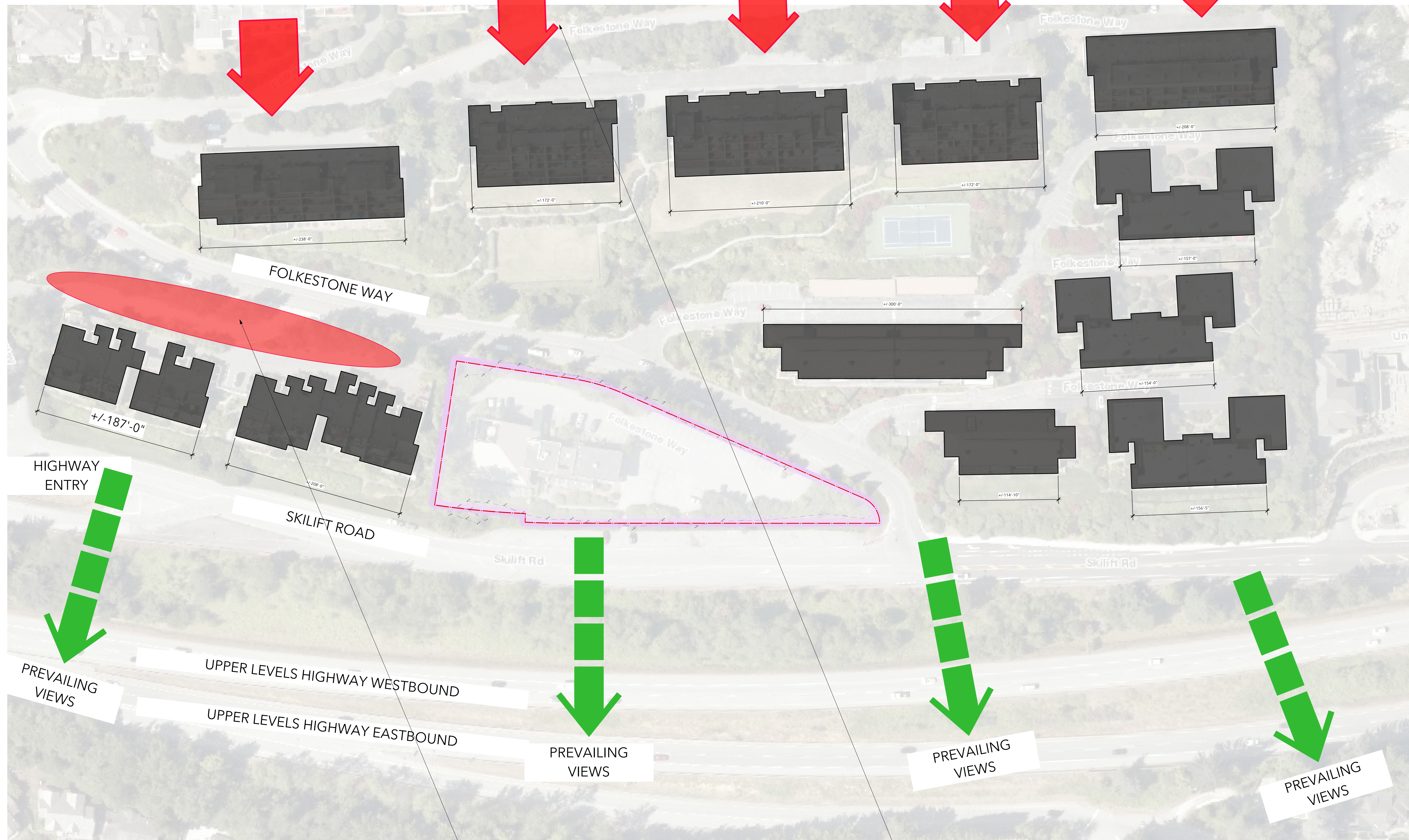
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EXISTING BUILDING CONTEXT



VEHICLE ACCESS AND SURFACE PARKING IS HIDDEN FROM PUBLIC VIEWS AT NORTH SIDES OF DEVELOPMENTS

BUILDING ACCESS IS GENERALLY GAINED ON THE NORTH SIDES, AWAY FROM VIEWS

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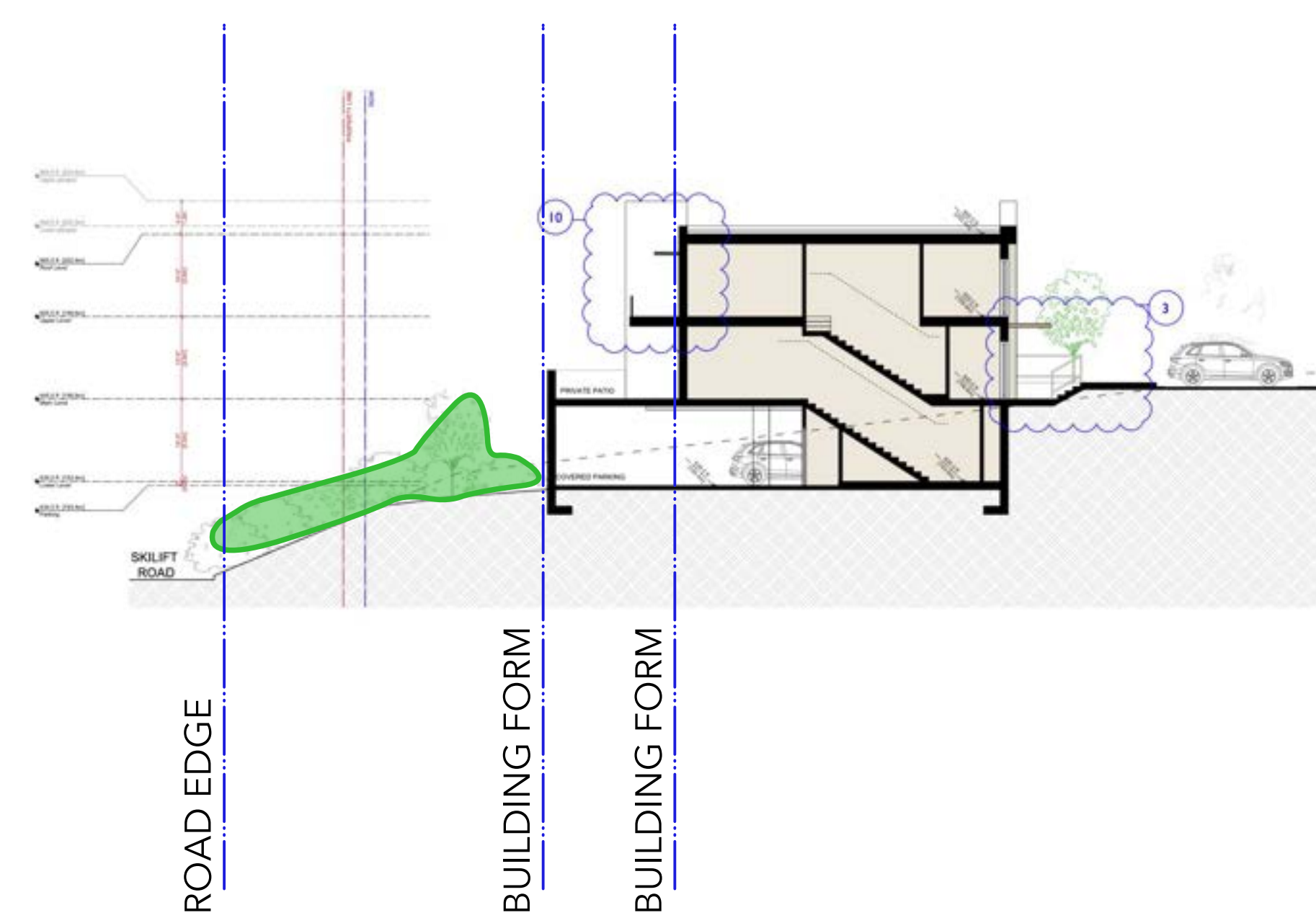
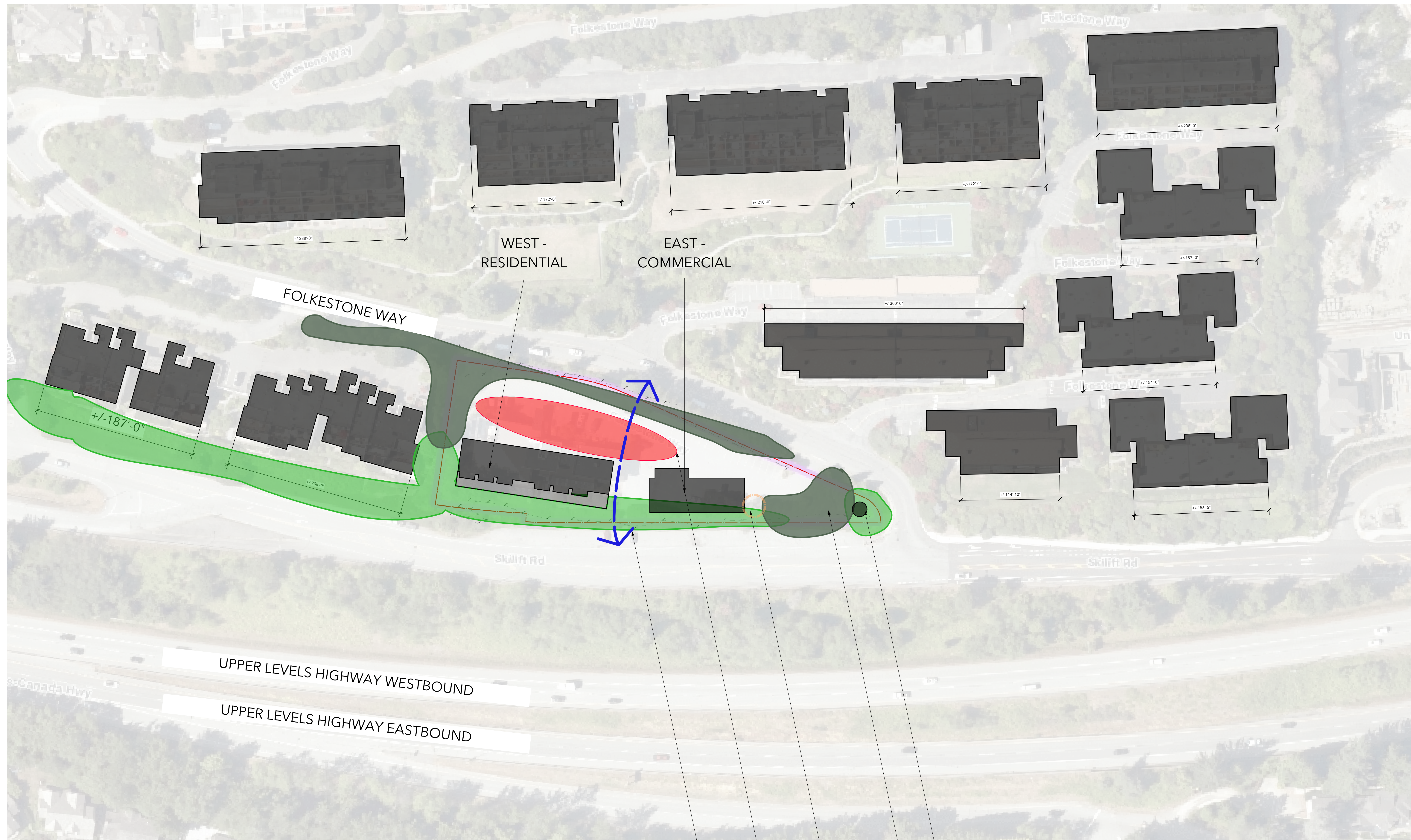
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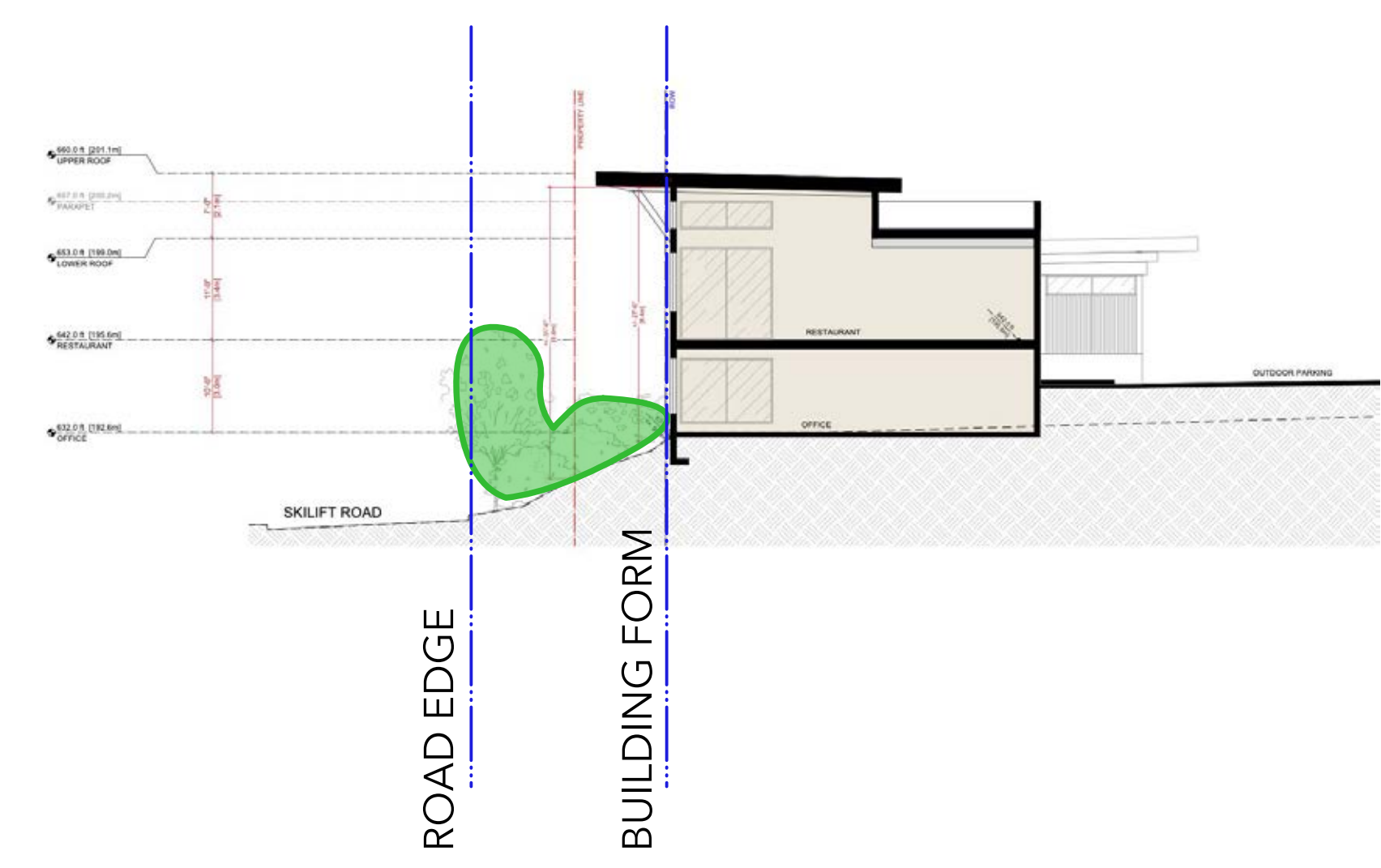
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MASSING AND PLANNING APPROACH



BUILDING MASS IS SET BACK FROM THE ROAD TO SOFTEN THE EDGE CONDITION



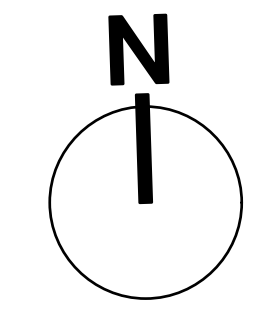
LOADING AND REFUSE FUNCTIONS WILL BE HIDDEN FROM PUBLIC VIEW AND AWAY FROM RESIDENTIAL USES

AN UPDATED SIGN AND PODIUM WILL REUSE THE CORNER

THE HEAVILY FORESTED BUFFER WILL SCREEN THE EAST SIDE OF THE COMMERCIAL BUILDING FROM PUBLIC VIEW

THE PEDESTRIAN CONNECTION WILL BE MAINTAINED AND REINFORCED

SURFACE PARKING WILL BE REDUCED, AND HIDDEN FROM PUBLIC VIEW



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DRAWING NO.				REVISION
<b>A-008</b>				<b>05</b>

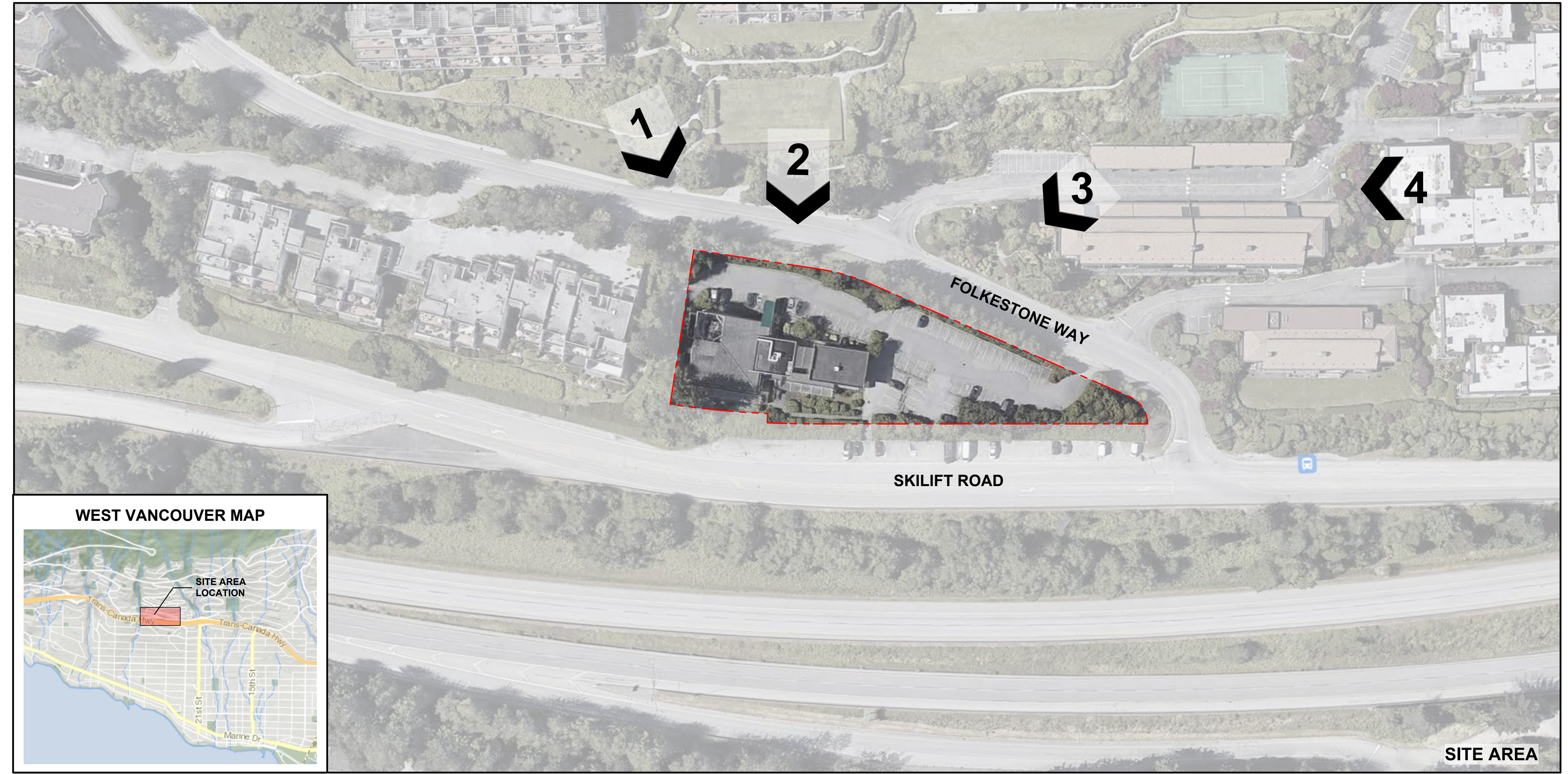




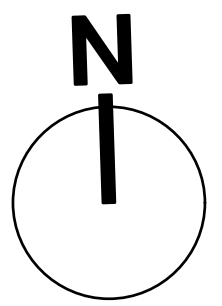
1 EXISTING VIEW - SOUTH EAST



1 PROPOSED VIEW - SOUTH EAST



- EXISTING BUILDINGS
- EXISTING BUILDING ON SITE
- PROPOSED BUILDINGS



2 EXISTING VIEW - SOUTH



2 PROPOSED VIEW - SOUTH



3 EXISTING VIEW - SOUTH WEST



3 PROPOSED VIEW - SOUTH WEST



4 EXISTING VIEW - WEST



4 PROPOSED VIEW - WEST

NOTE:  
 THE LANDSCAPE IS SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE PROJECT FOR DETAILS AND ADDITIONAL INFORMATION.

REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	JC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2023/08/19	ISSUED FOR REZONING	PC P/M
-	2023/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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PROJECT:

**SALMON HOUSE**

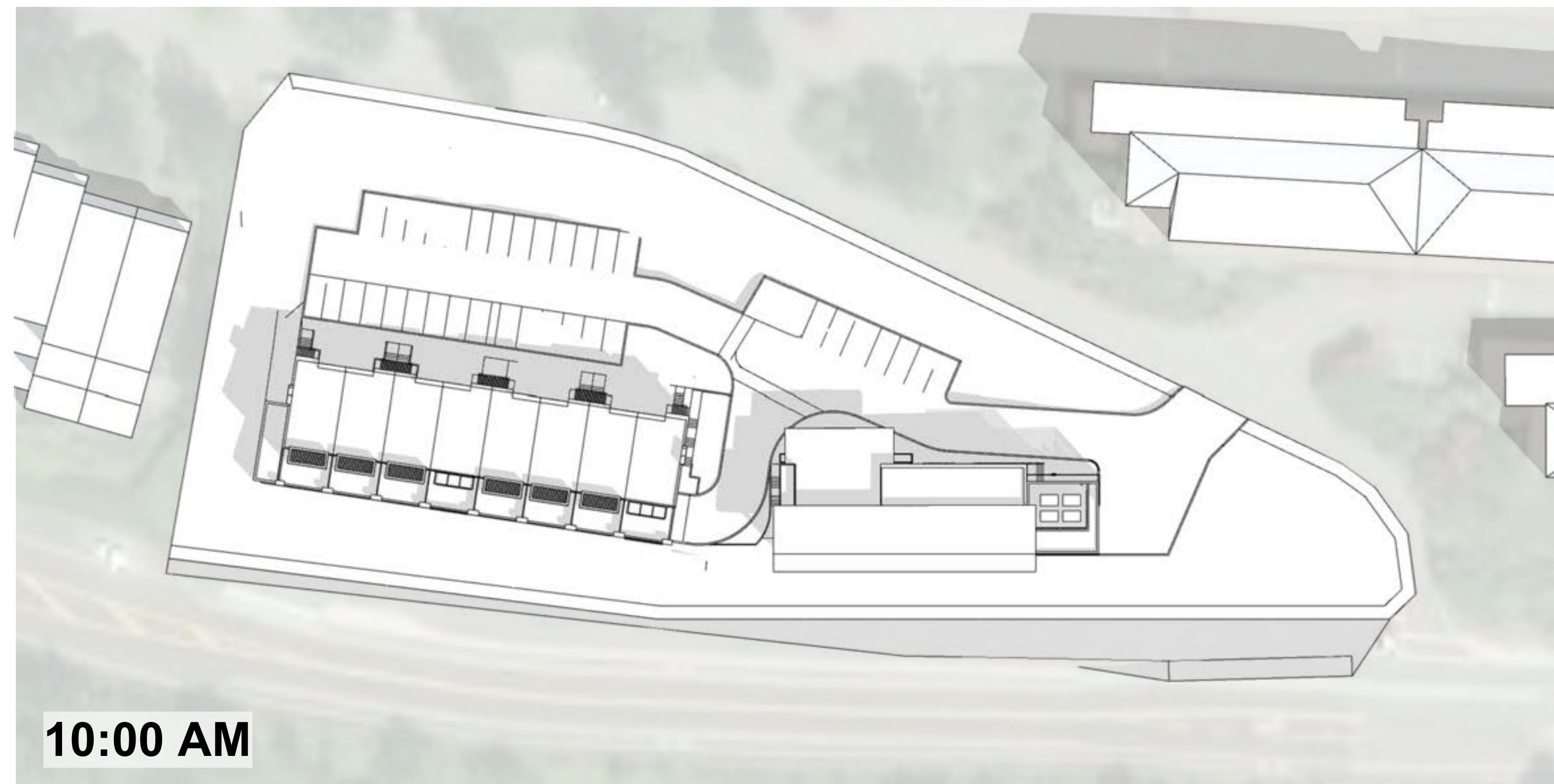
2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**VIEW IMPACT ANALYSIS**

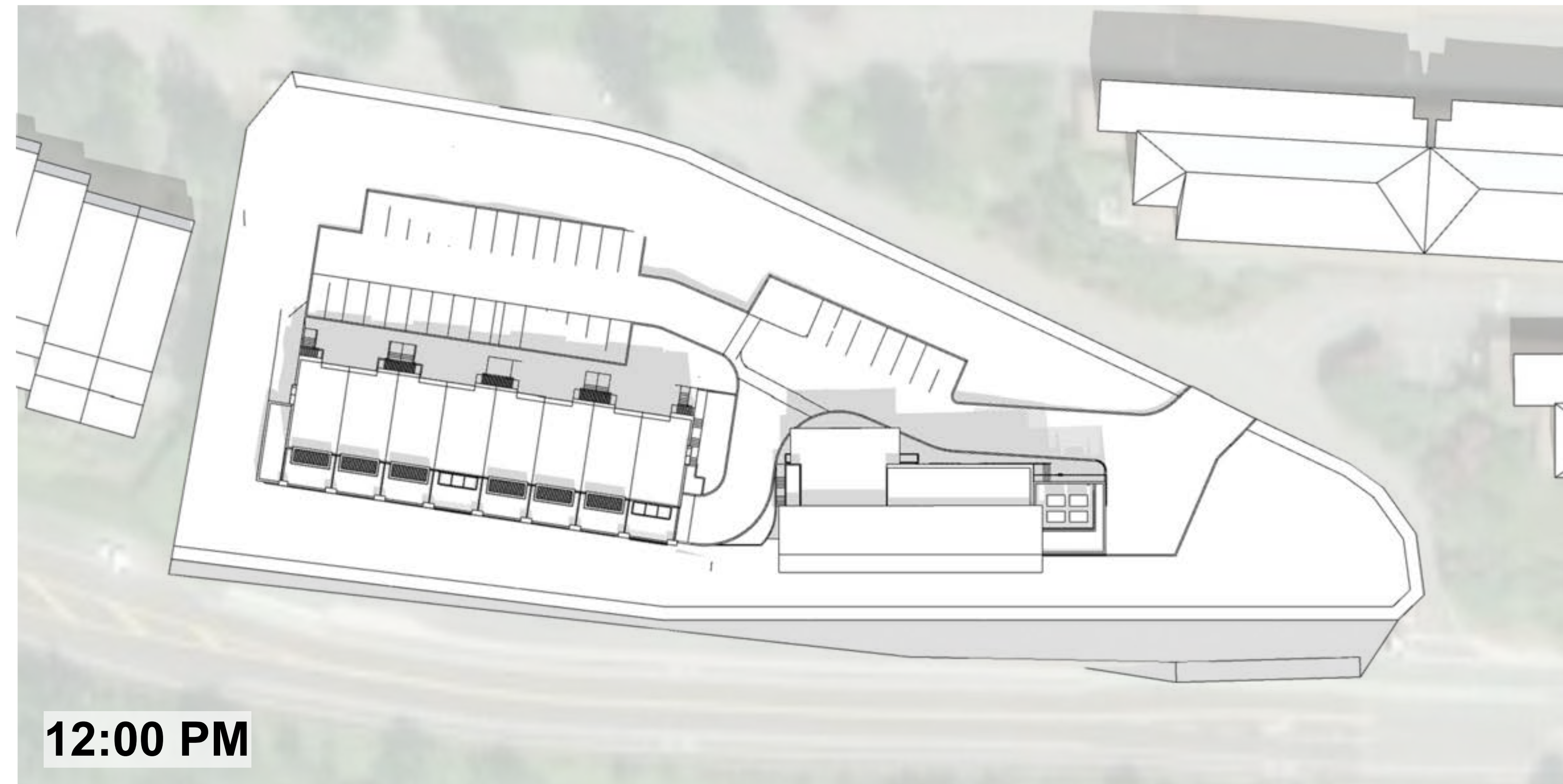
PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05
DRAWING NO. <b>A-009</b>			



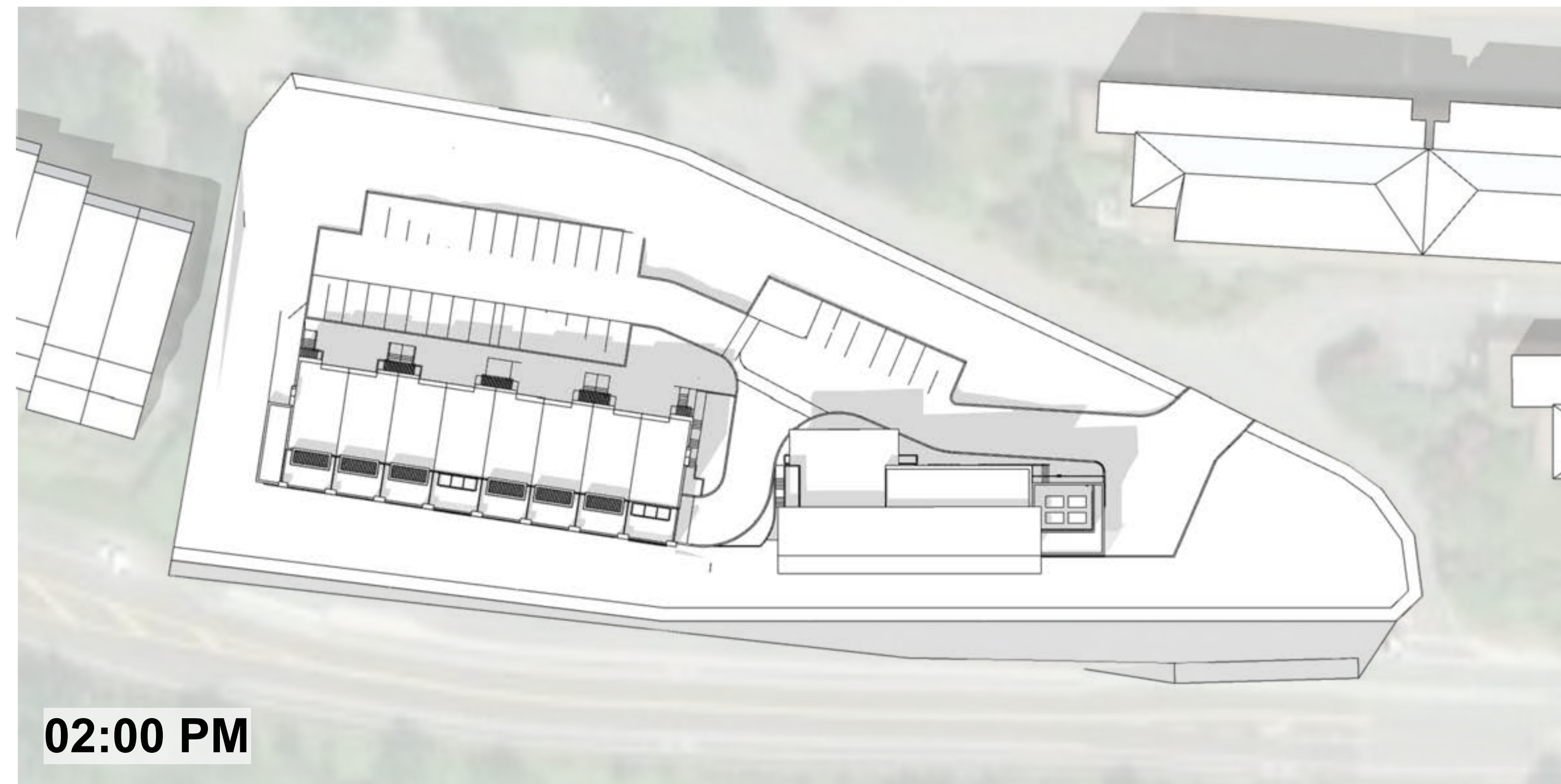
**SHADOW STUDY - MARCH 21**



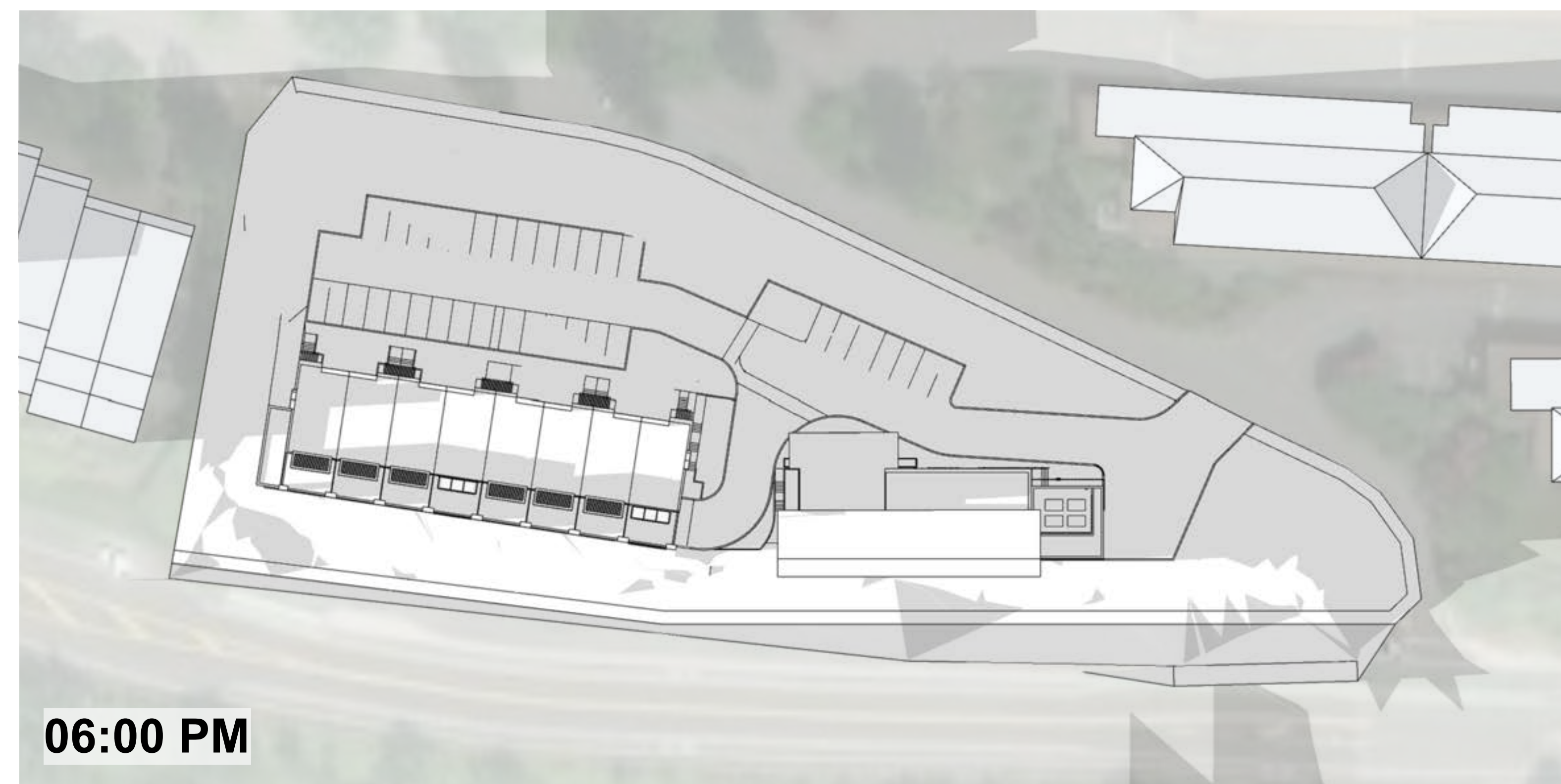
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**12:00 PM**

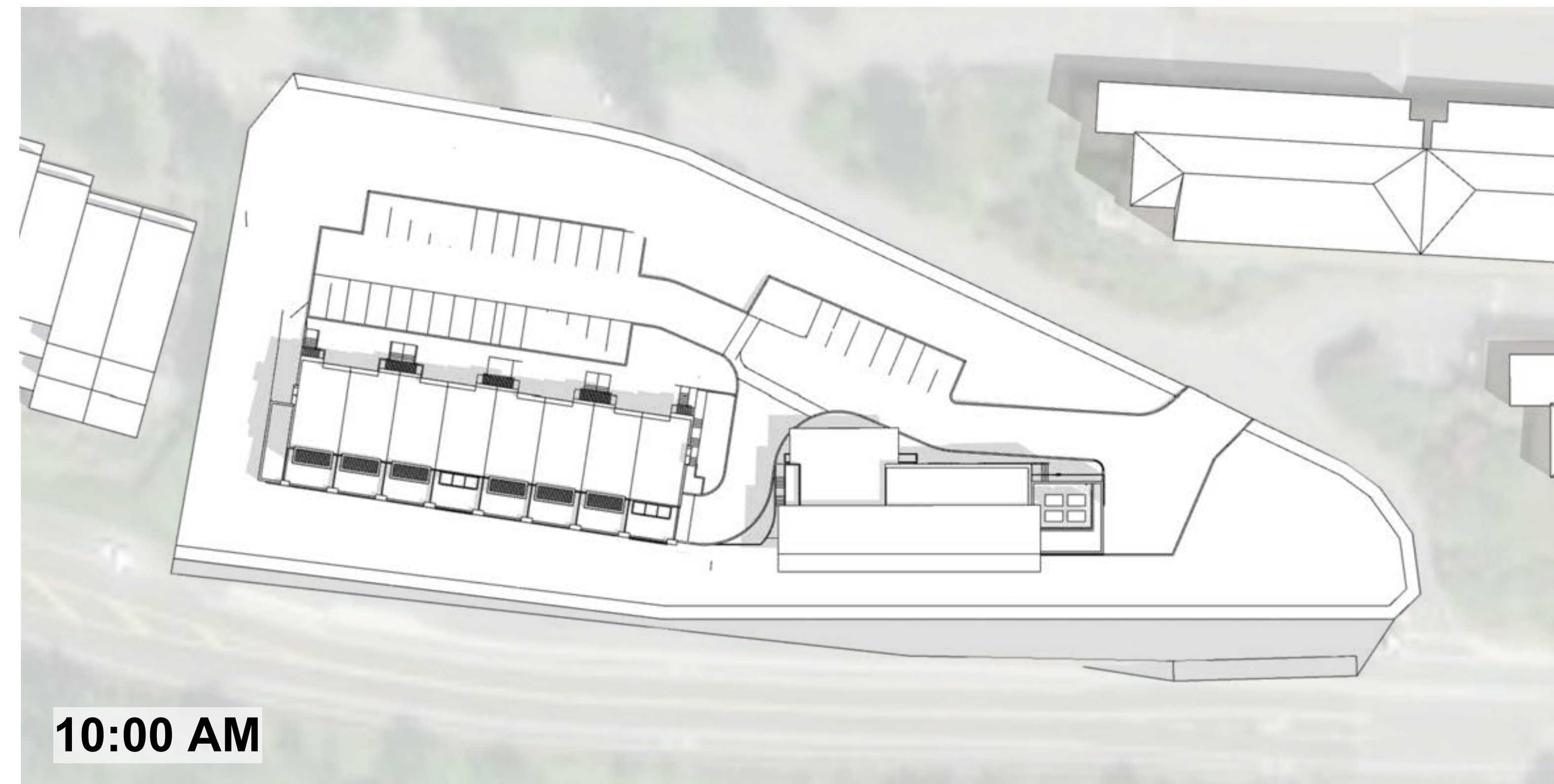


**02:00 PM**

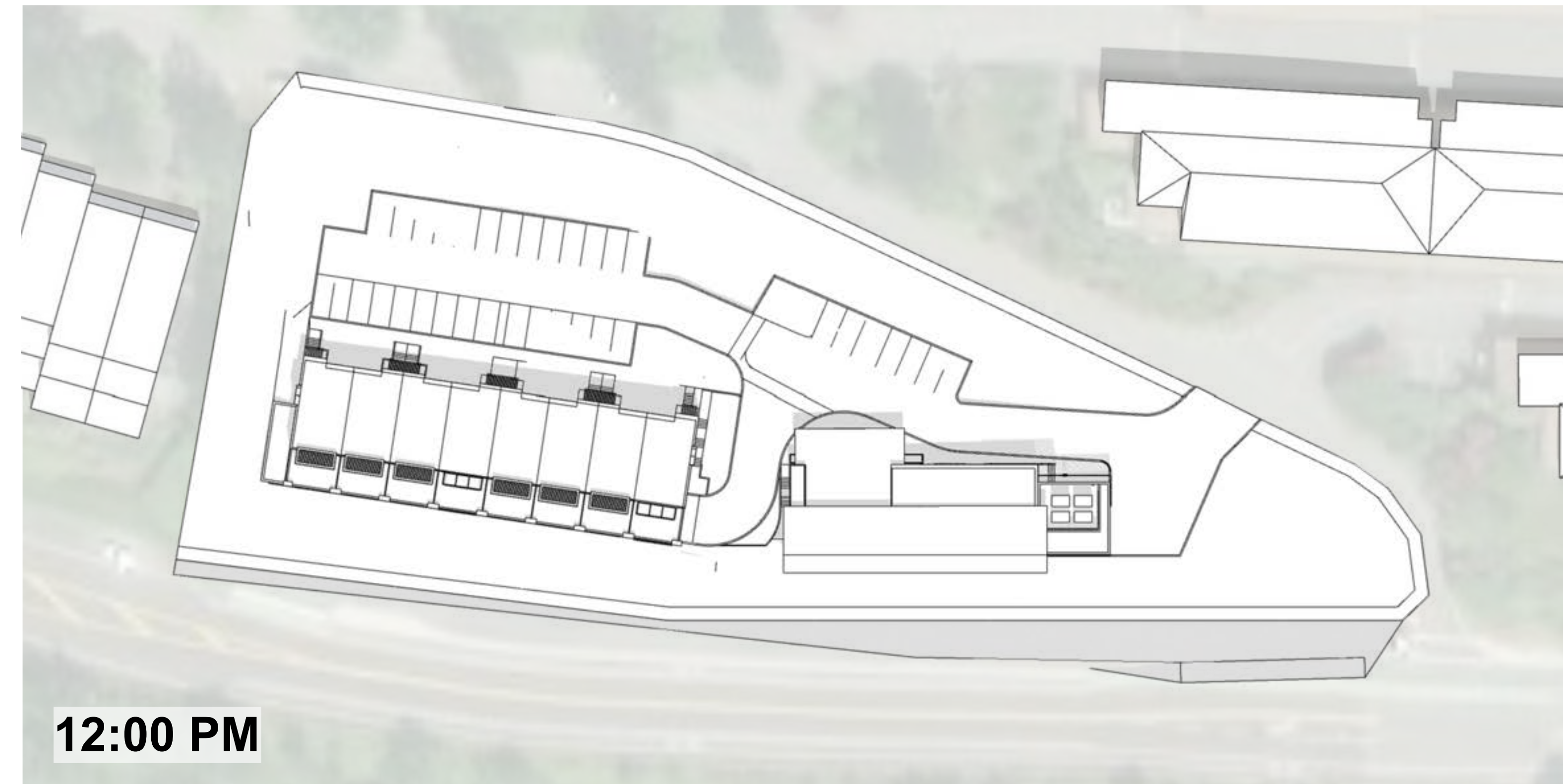


**06:00 PM**

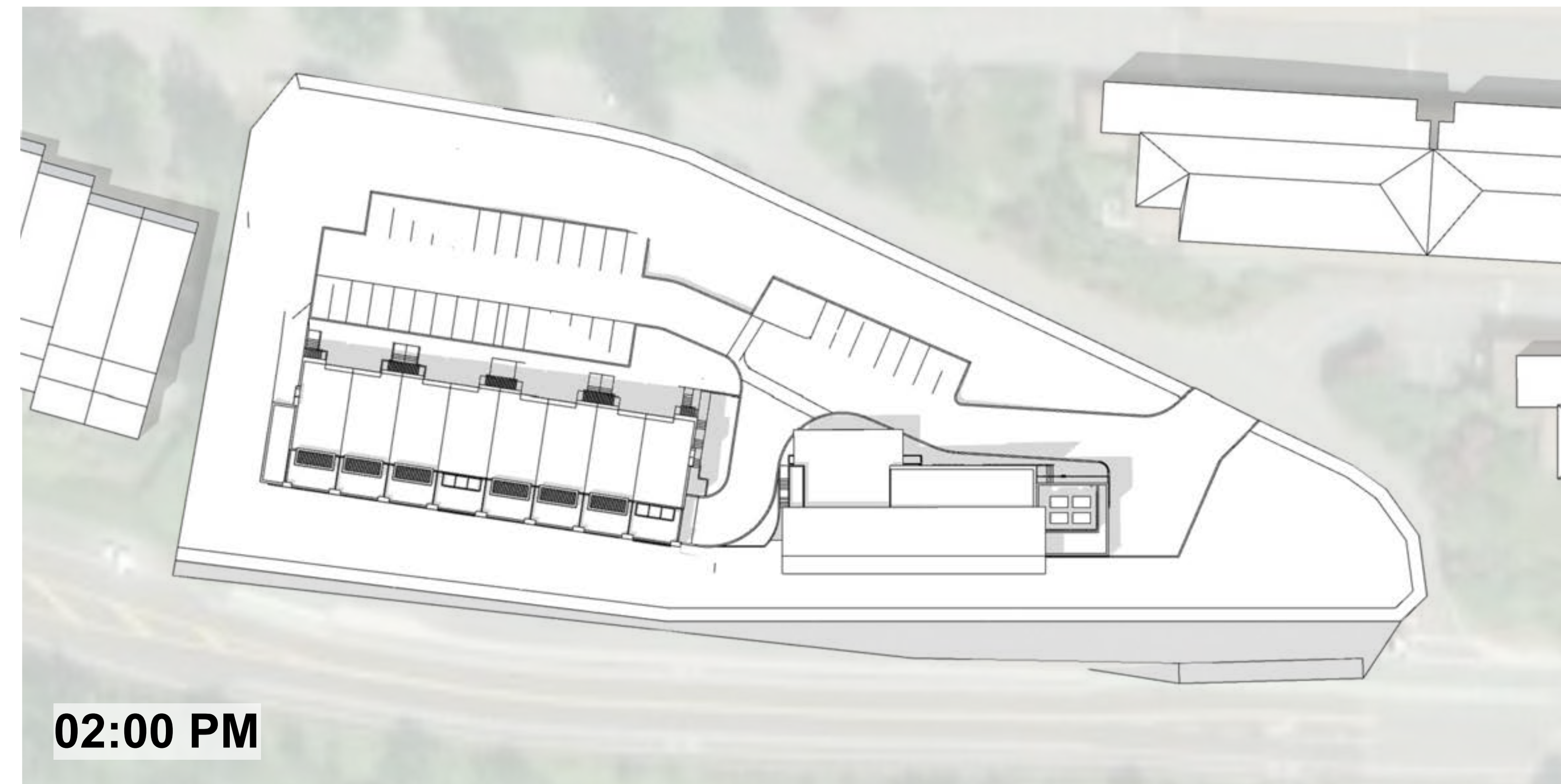
**SHADOW STUDY - JUNE 21**



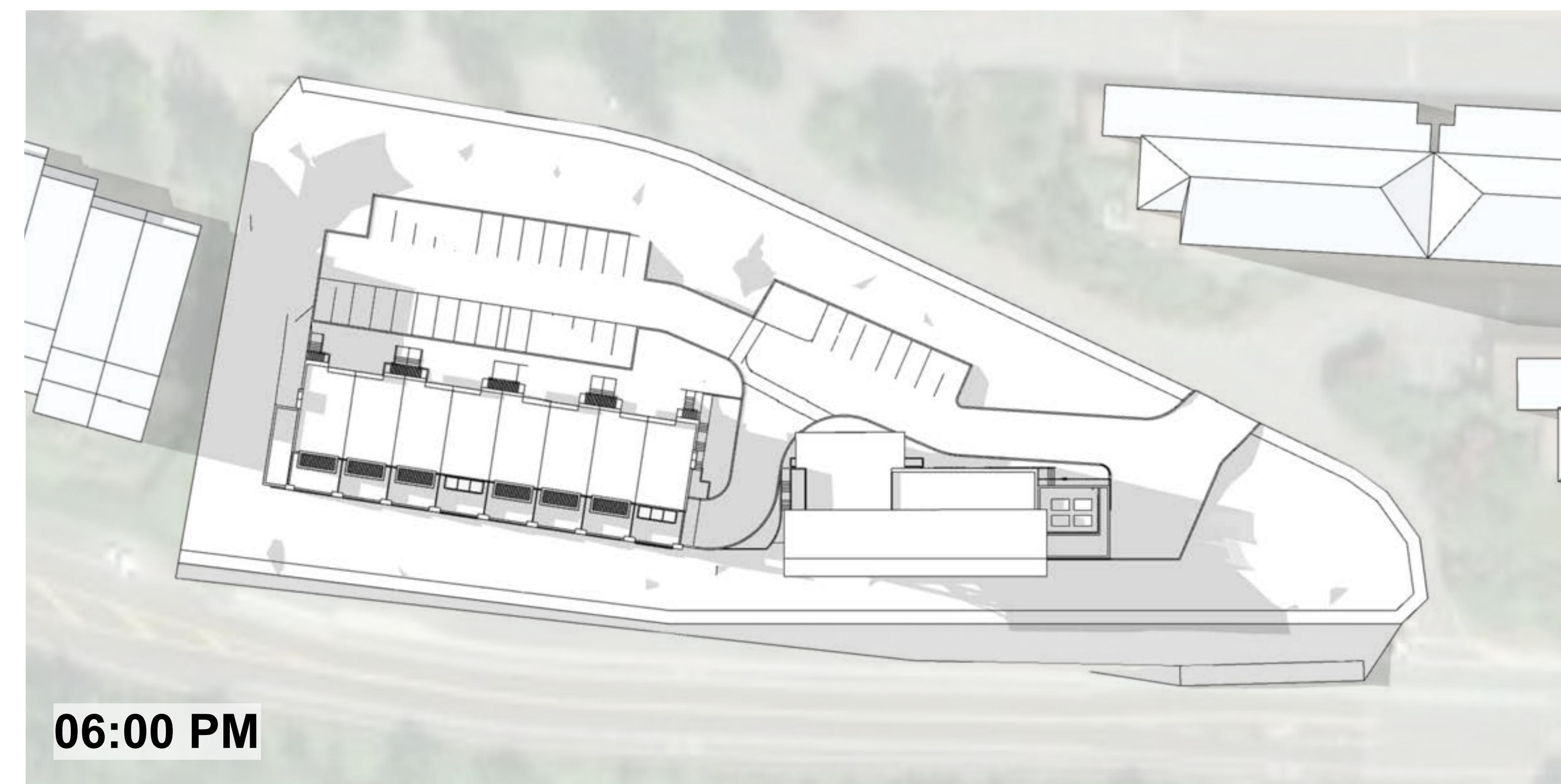
**10:00 AM**



**12:00 PM**



**02:00 PM**



**06:00 PM**

**NOTE:**  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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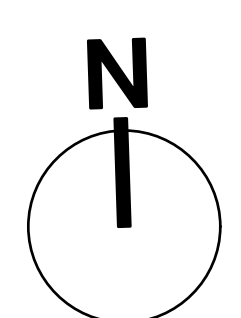
ALL FEES TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS FULLY RESPONSIBLE FOR REPORTING DISCREPANCIES TO MALLEN GOWING BERZINS ARCHITECTURE INCORPORATED.

**PROJECT**  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

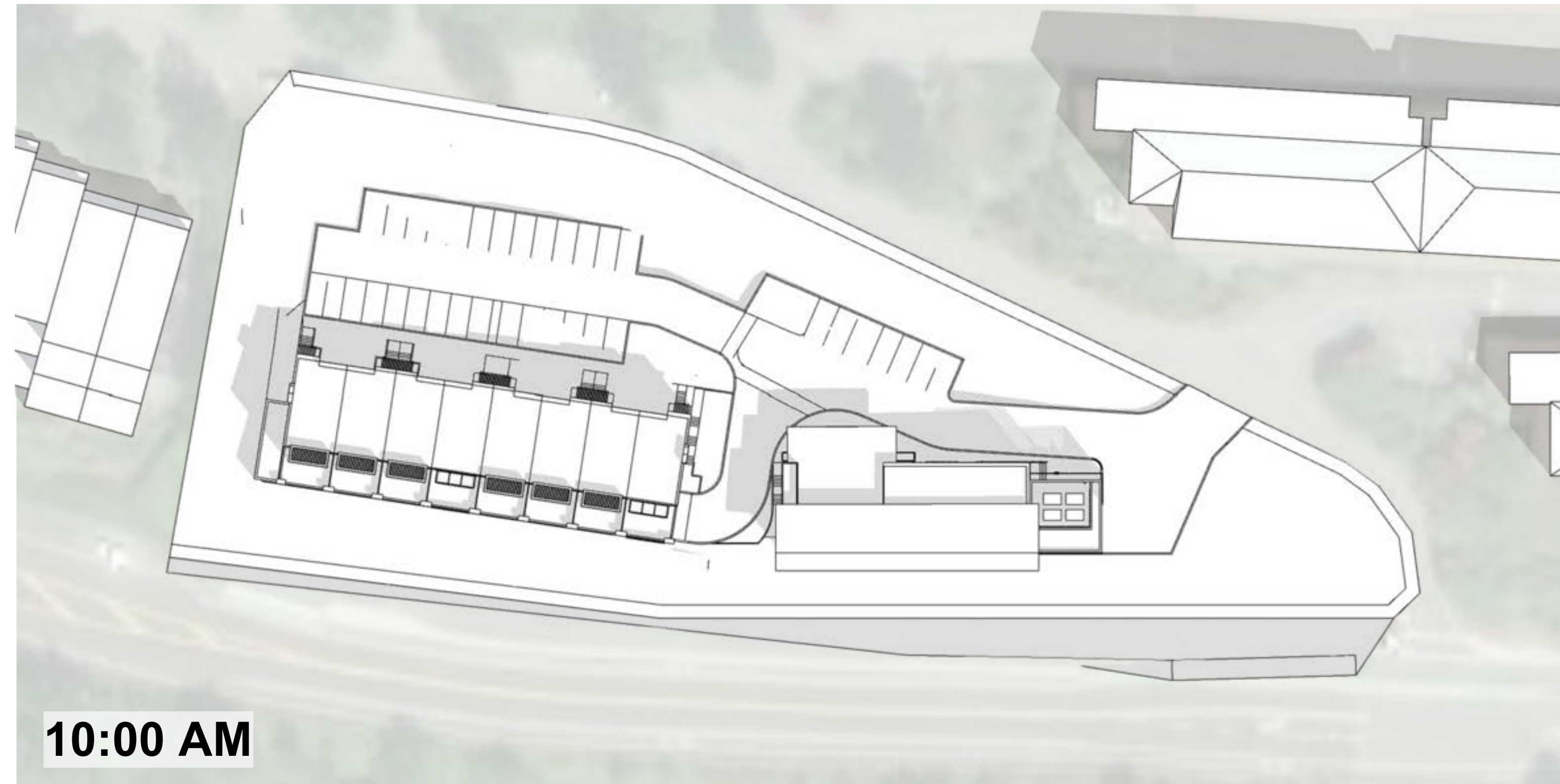
**SHEET TITLE**  
**SHADOW ANALYSIS**

PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-010	SCALE	AS NOTED
		REVISION	05

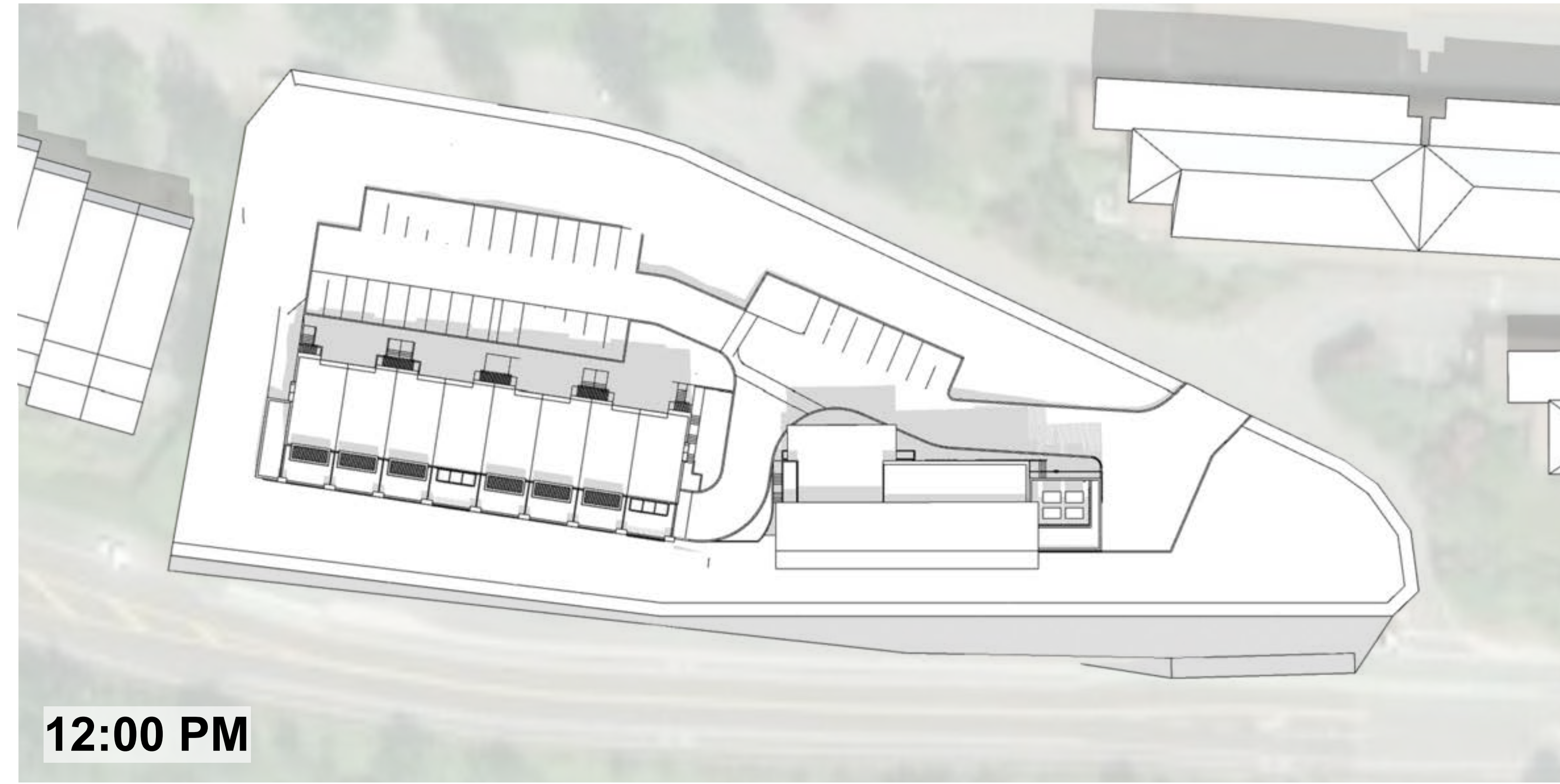




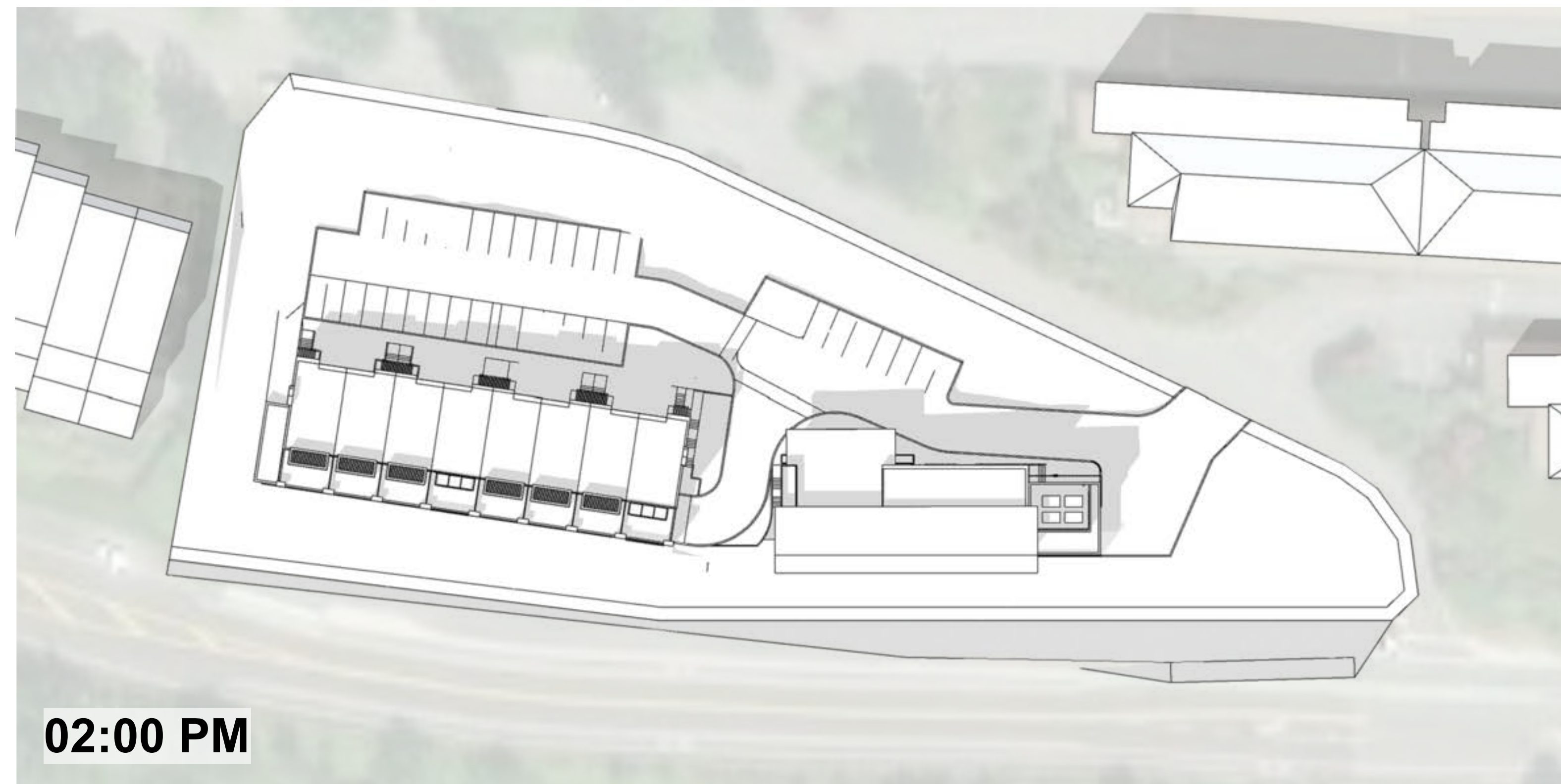
SHADOW STUDY - SEPTEMBER 21



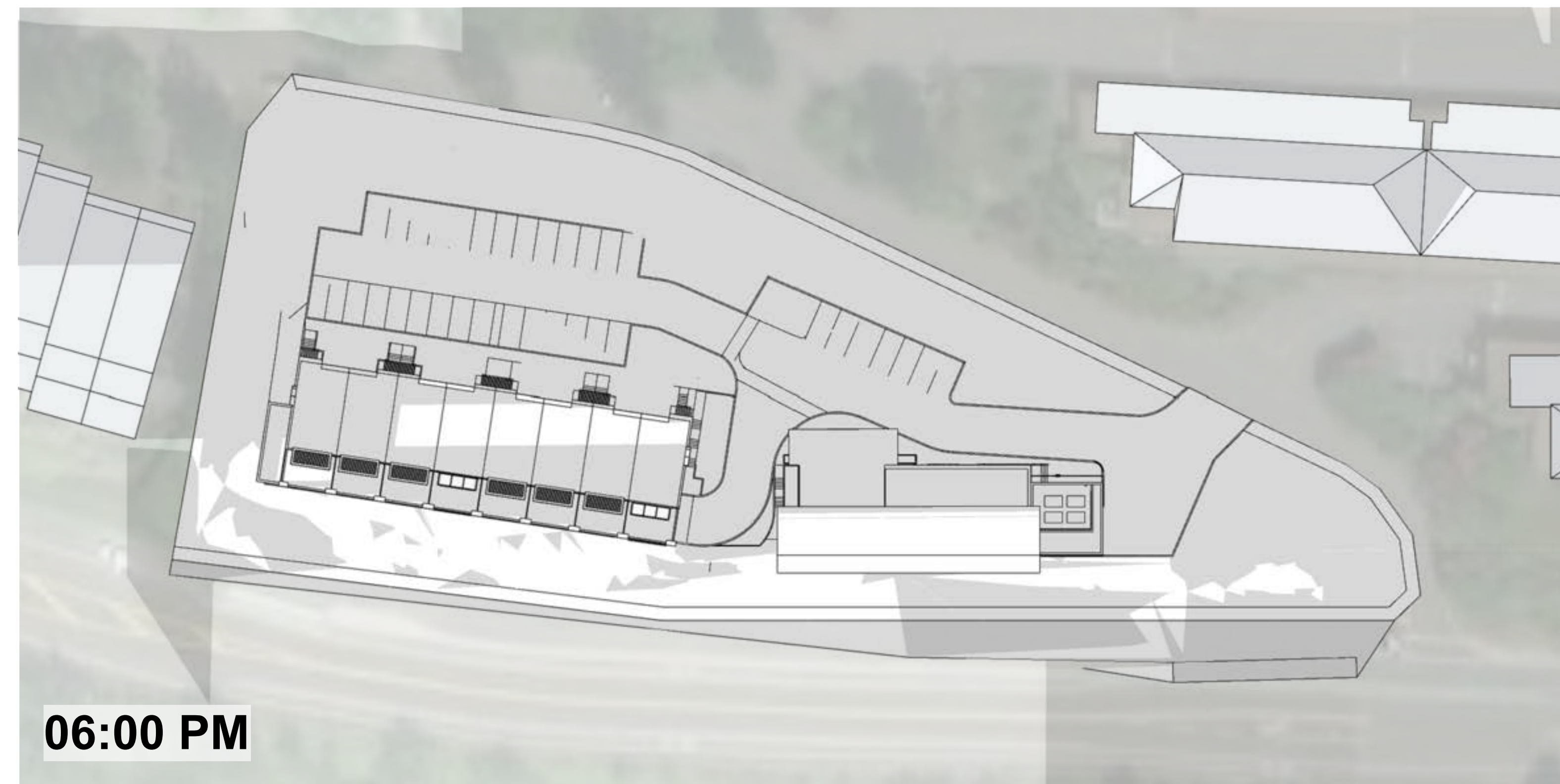
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12:00 PM

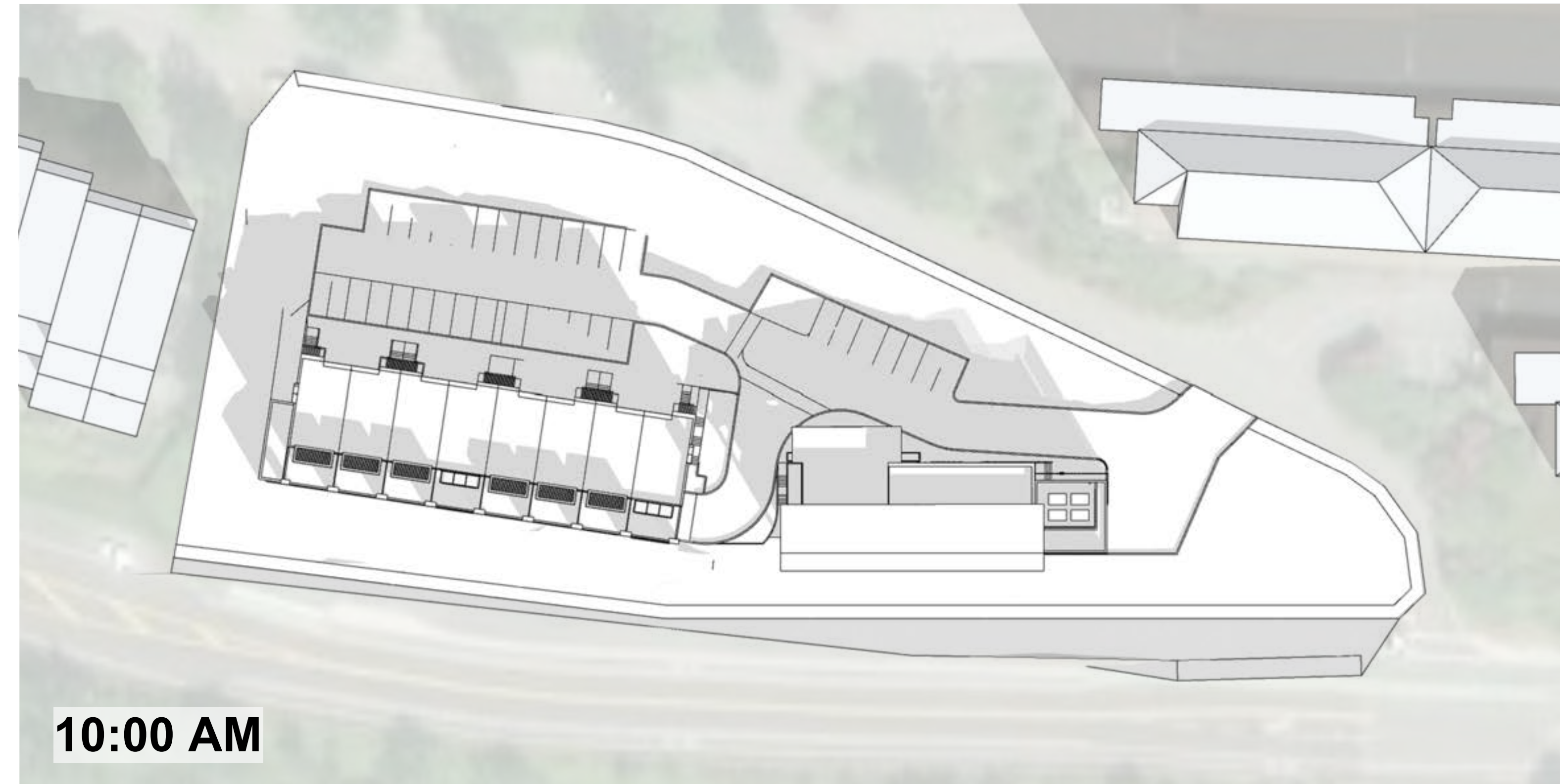


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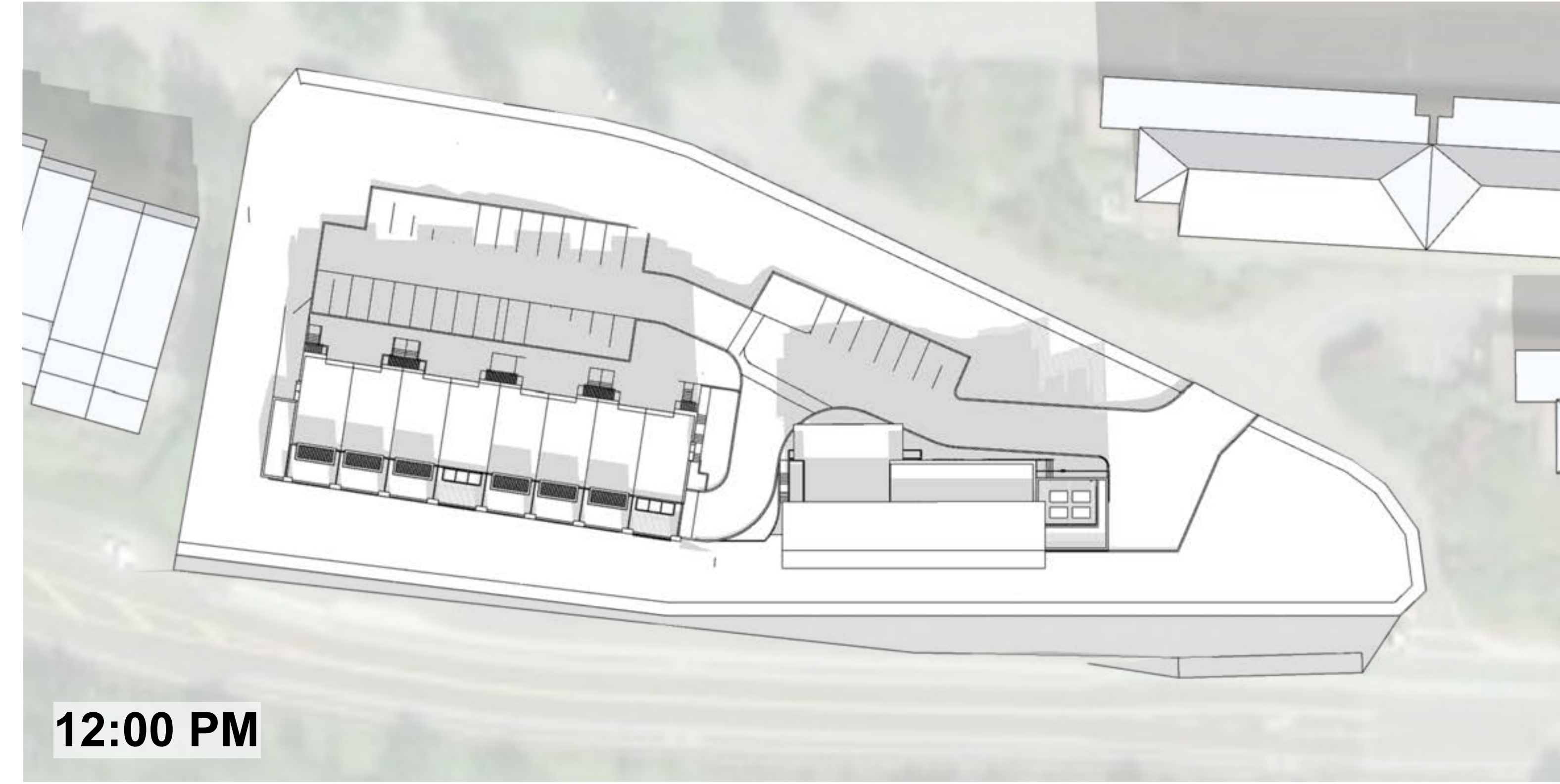


06:00 PM

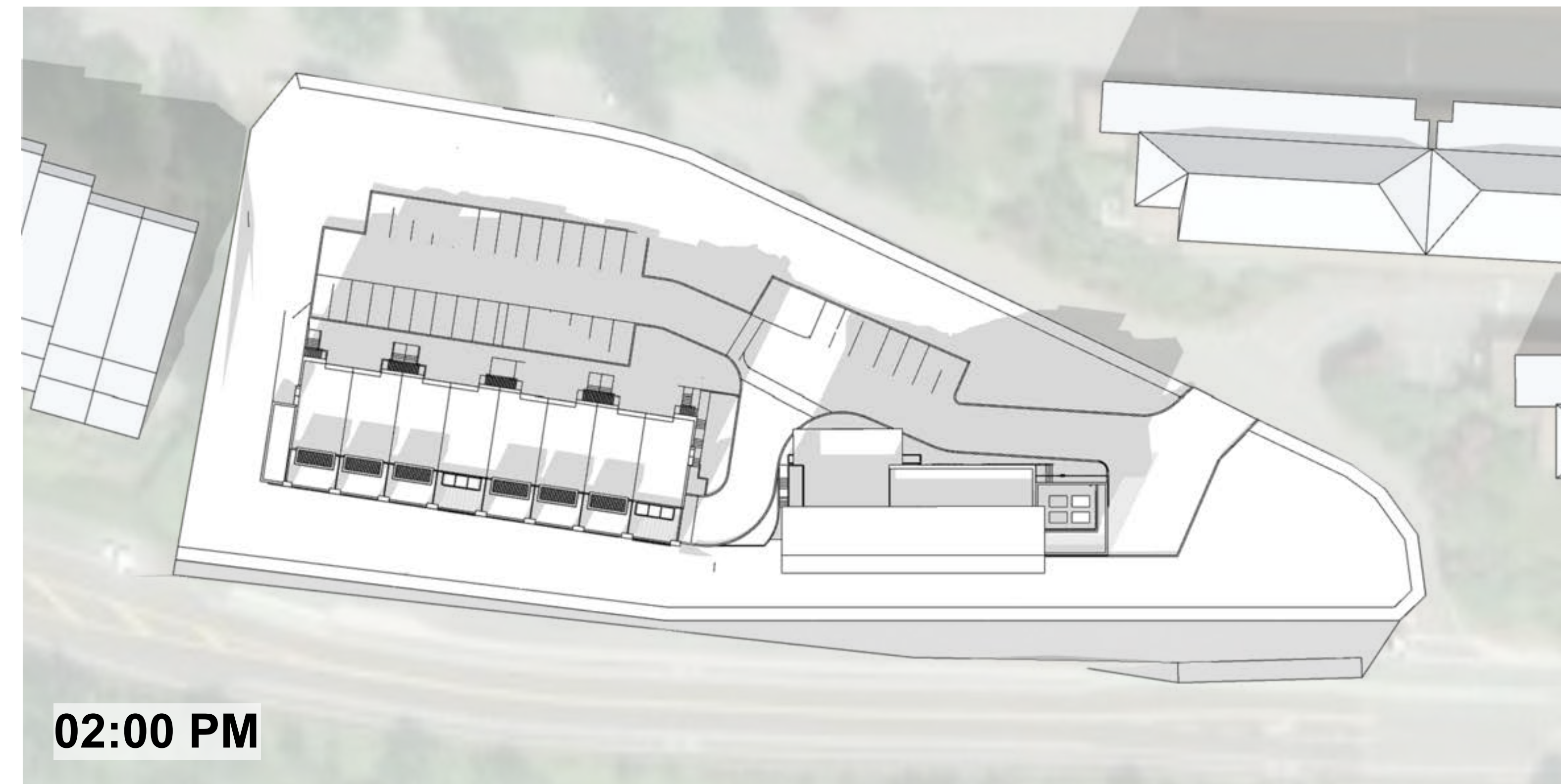
SHADOW STUDY - DECEMBER 21



10:00 AM



12:00 PM



02:00 PM

NOTE:  
THE LANDSCAPE IS SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE PROJECT FOR DETAILS AND ADDITIONAL INFORMATION.

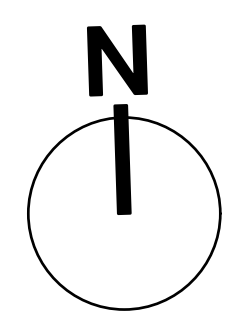
REV	DATE	DESCRIPTION	DWG
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04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
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-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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ALL ITEMS TO BE RETURNED.  
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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**SHADOW ANALYSIS**

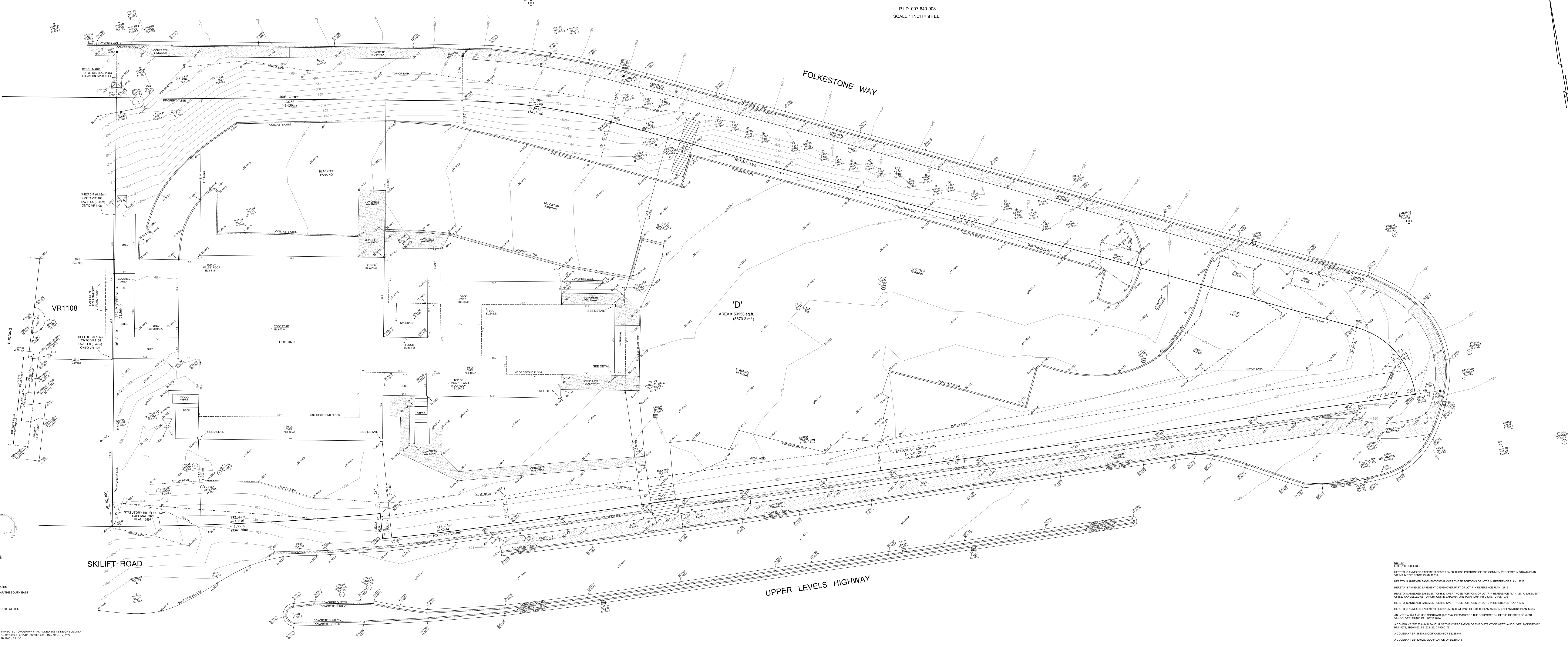
PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-011	SCALE	AS NOTED
		REVISION	05





TOPOGRAPHIC PLAN OF LOT 'D', BLOCK 17,  
 DISTRICT LOT 783, PLAN 15565

P.I.D. 007-649-908  
 SCALE 1/4" = 8' FEET



NOTE:  
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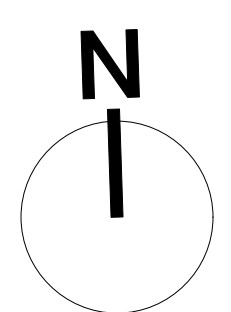
**NOTES:**  
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 2. SHEET IS BOUNDARY CONTROLLED. CENTER LINE OF SKILIFT ROAD IS SHOWN FOR REFERENCE ONLY.  
 3. SHEET IS BOUNDARY CONTROLLED. CENTER LINE OF UPPER LEVELS HIGHWAY IS SHOWN FOR REFERENCE ONLY.  
 4. SHEET IS BOUNDARY CONTROLLED. CENTER LINE OF VICTORIA TRAIL IS SHOWN FOR REFERENCE ONLY.  
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**LEGEND:**  
 ELEVATIONS ARE TO CENTERLINE OF MEASUREMENT UNLESS OTHERWISE NOTED.  
 BENCHMARK USED: MOUNTAIN VIEW BENCH MARK, LOCATED NEAR THE SOUTH-EAST CORNER OF THE SITE.  
 HORIZONTAL CONTROL: THE DISTRICT OF WEST VANCOUVER'S CONTROL POINTS.  
 VERTICAL CONTROL: THE DISTRICT OF WEST VANCOUVER'S CONTROL POINTS.  
 HORIZONTAL SCALE: 1/4" = 8' FEET.  
 VERTICAL SCALE: 1/8" = 1' FEET.  
 DATE: OCTOBER 2023  
 DRAWN BY: MGBA  
 CHECKED BY: MGBA  
 APPROVED BY: MGBA

**SURVEY - FOR REFERENCE ONLY  
 NOT TO SCALE**

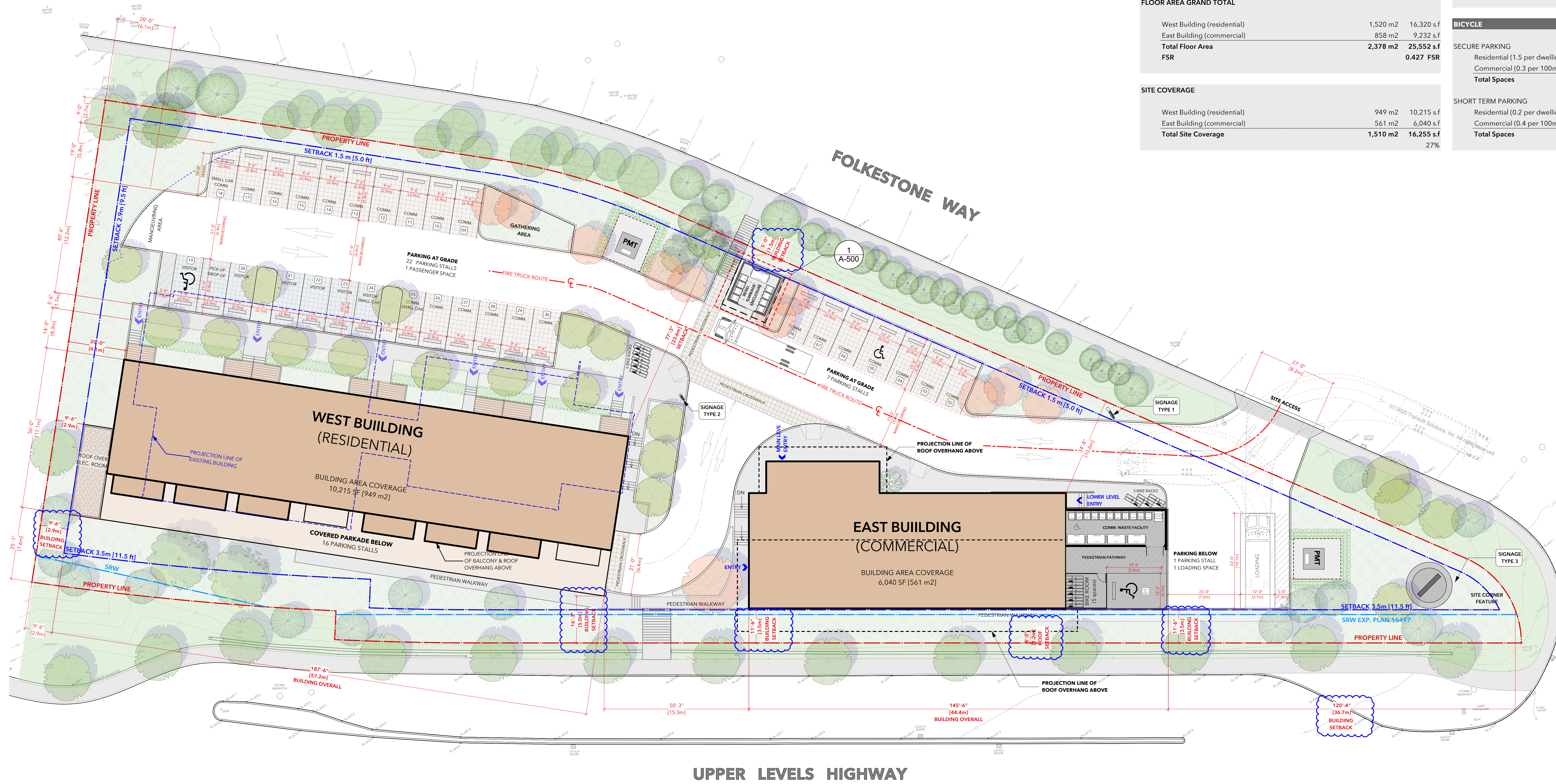
REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & CP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - CPC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2023/08/19	ISSUED FOR REZONING	PC P/M
-	2023/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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ALL PRINTS TO BE RETURNED.			
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PROJECT:			
SALMON HOUSE			
2221 - 2229 FOLKESTONE WAY WEST VANCOUVER, BC			
SHEET TITLE:			
SURVEY PLAN			
PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-012	SCALE	AS NOTED
REVISION	05		





PROJECT STATS			
CIVIC ADDRESS:	21 - 2229 FOLKESTONE WAY WEST VANCOUVER	LEGAL ADDRESS:	LOT 3, BLOCK 17, DISTRICT LOT 783 PLAN 15545
SITE AREA:	5,570 m <sup>2</sup> 59,958 s.f.	ZONING:	COMPREHENSIVE DEVELOPMENT CD
<b>BUILDING HEIGHT</b>		<b>SETBACKS</b>	
<b>PROPOSED HEIGHT</b>		<b>PROPOSED SETBACKS</b>	
West Building (residential)	3 storeys 9.6 m 31.5 ft	West	2.9 m 9.5 ft
East Building (commercial)	2 storeys 8.5 m 28.0 ft	North	1.5 m 5.0 ft
		East	36.7 m 120.3 ft
		South	3.5 m 11.5 ft
<b>AREA SUMMARY</b>		<b>PARKING</b>	
<b>WEST BUILDING (RESIDENTIAL)</b>		<b>RESIDENTIAL</b>	
FLOOR AREA PER UNIT		Townhomes (2 per dwelling unit)	8 units 16 stalls 16 stalls
Lower Level (residential)	26 m <sup>2</sup> 280 s.f.	Residential visitor (not required)	0 stalls 0 stalls
Main Level (residential)	82 m <sup>2</sup> 880 s.f.	<b>Total Residential</b>	<b>16 stalls 22 stalls</b>
Upper Level (residential)	82 m <sup>2</sup> 880 s.f.	<b>COMMERCIAL</b>	
Total per unit	190 m <sup>2</sup> 2,040 s.f.	Restaurant (1 space per 37.2m <sup>2</sup> )	409 m <sup>2</sup> 11 stalls 11 stalls
<b>TOTAL FLOOR AREA (8 DWELLING UNITS)</b>		Office (1 space per 37.2m <sup>2</sup> )	449 m <sup>2</sup> 12 stalls 13 stalls
Lower Level	208 m <sup>2</sup> 2,240 s.f.	<b>Total Commercial</b>	<b>23 stalls 24 stalls</b>
Main Level	456 m <sup>2</sup> 7,040 s.f.	<b>TOTAL PROVIDED</b>	
Upper Level	456 m <sup>2</sup> 7,040 s.f.	Regular Car	43 stalls
<b>Total West Building</b>	<b>1,520 m<sup>2</sup> 16,320 s.f.</b>	Small Car	0 stalls
<b>EAST BUILDING (COMMERCIAL)</b>		Accessible	3 stalls
<b>TOTAL FLOOR AREA</b>		<b>Total</b>	<b>46 stalls</b>
Main Level (restaurant)	409 m <sup>2</sup> 4,400 s.f.	<b>PASSENGER</b>	
Lower Level (office)	449 m <sup>2</sup> 4,832 s.f.	Drop-off/pick-up	1 stalls
<b>Total East Building</b>	<b>858 m<sup>2</sup> 9,232 s.f.</b>	<b>LOADING</b>	
<b>FLOOR AREA GRAND TOTAL</b>		Loading Space	1 stalls
West Building (residential)	1,520 m <sup>2</sup> 16,320 s.f.	<b>BICYCLE</b>	
East Building (commercial)	858 m <sup>2</sup> 9,232 s.f.	<b>SECURE PARKING</b>	
<b>Total Floor Area</b>	<b>2,378 m<sup>2</sup> 25,552 s.f.</b>	Residential (1.5 per dwelling unit)	8 units 12 spaces 16 spaces
<b>FSR</b>	<b>0.427 FSR</b>	Commercial (0.3 per 100m <sup>2</sup> )	858 m <sup>2</sup> 3 spaces 5 spaces
<b>SITE COVERAGE</b>		<b>Total Spaces</b>	<b>15 spaces 21 spaces</b>
West Building (residential)	949 m <sup>2</sup> 10,215 s.f.	<b>SHORT TERM PARKING</b>	
East Building (commercial)	561 m <sup>2</sup> 6,040 s.f.	Residential (0.2 per dwelling unit)	8 units 2 spaces 5 spaces
<b>Total Site Coverage</b>	<b>1,510 m<sup>2</sup> 16,255 s.f.</b>	Commercial (0.4 per 100m <sup>2</sup> )	858 m <sup>2</sup> 3 spaces 3 spaces
	27%	<b>Total Spaces</b>	<b>5 spaces 8 spaces</b>



1 OVERALL PLAN - SITE PLAN  
Scale: 1/16" = 1'-0"

NOTE:  
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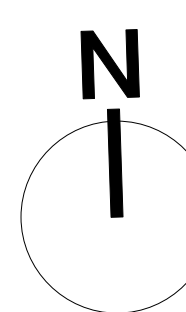
REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**SITE PLAN**

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05
DRAWING NO. <b>A-100</b>			





GRADE LEGEND	
(EX) 0.0m	EXISTING GRADE
(FG) 0.0m	FINISHED BUILDING GRADE
(XX) 0.00m	PROPOSED GRADE

NOTE:  
 REFER TO ENLARGED PLANS FOR GRADE CALCULATIONS ON SHEETS A-600 AND A-700.

SETBACK SUMMARY	
<b>BUILDING SETBACKS</b>	REFERENCE
WEST	2.9m RESIDENTIAL BUILDING - SERVICE ROOMS BUILDING FACE @ LOWER LEVEL
NORTH	1.5m RESIDENTIAL GARBAGE ENCLOSURE ROOF OVERHANG
EAST	36.7m COMMERCIAL BUILDING - SERVICE AREA BUILDING FACE @ LOWER LEVEL
SOUTH	3.5m COMMERCIAL BUILDING - BUILDING FACE (EXTERIOR WOOD COLUMNS)
<b>ROOF SETBACKS</b>	REFERENCE
WEST	2.9m RESIDENTIAL BUILDING - SERVICE ROOM FLAT ROOF
NORTH	1.5m RESIDENTIAL GARBAGE ENCLOSURE SLOPED ROOF
EAST	36.7m COMMERCIAL BUILDING - SERVICE AREA FLAT ROOF
SOUTH	1.2m COMMERCIAL BUILDING - SLOPED ROOF OVERHANG



1 OVERALL PLAN - GRADING  
 Scale: 1/16" = 1'-0"

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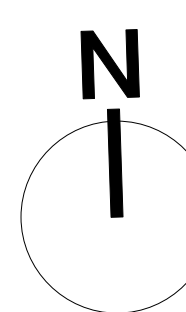
REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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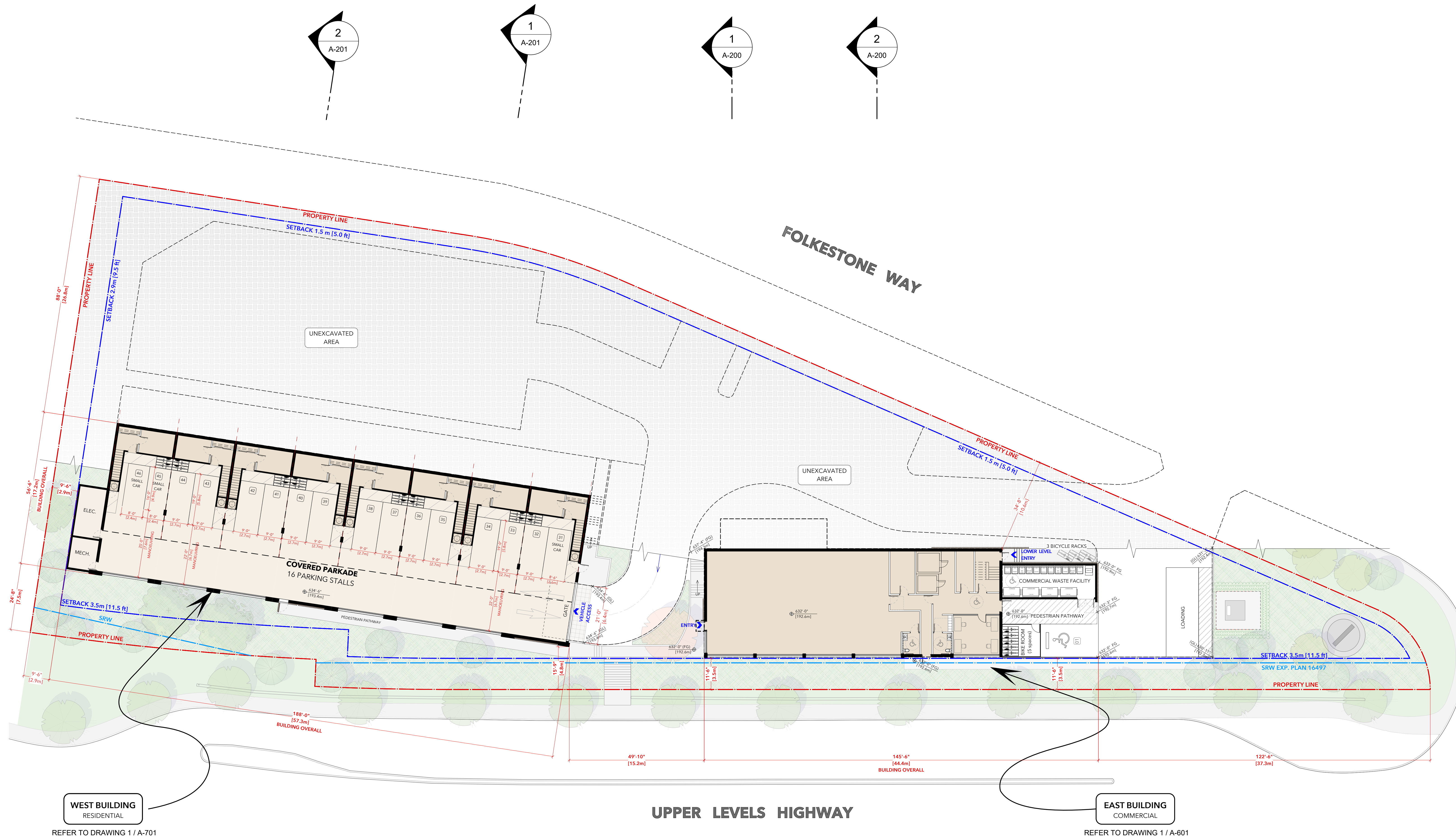
ALL FEES TO BE RETURNED.

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PROJECT	
SALMON HOUSE	
2221 - 2229 FOLKESTONE WAY WEST VANCOUVER, BC	
SHEET TITLE	
GRADING & SETBACKS	
PROJECT NO.	21050
PLANT DATE	Nov. 10, 2023
SCALE	AS NOTED
DRAWING NO.	A-101
REVISION	05







**1 OVERALL PLAN - LOWER LEVEL**  
 Scale: 1/16" = 1'-0"

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	PC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/02/01	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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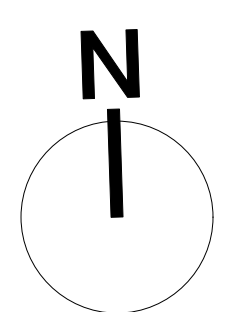
ALL FEES TO BE RETURNED.

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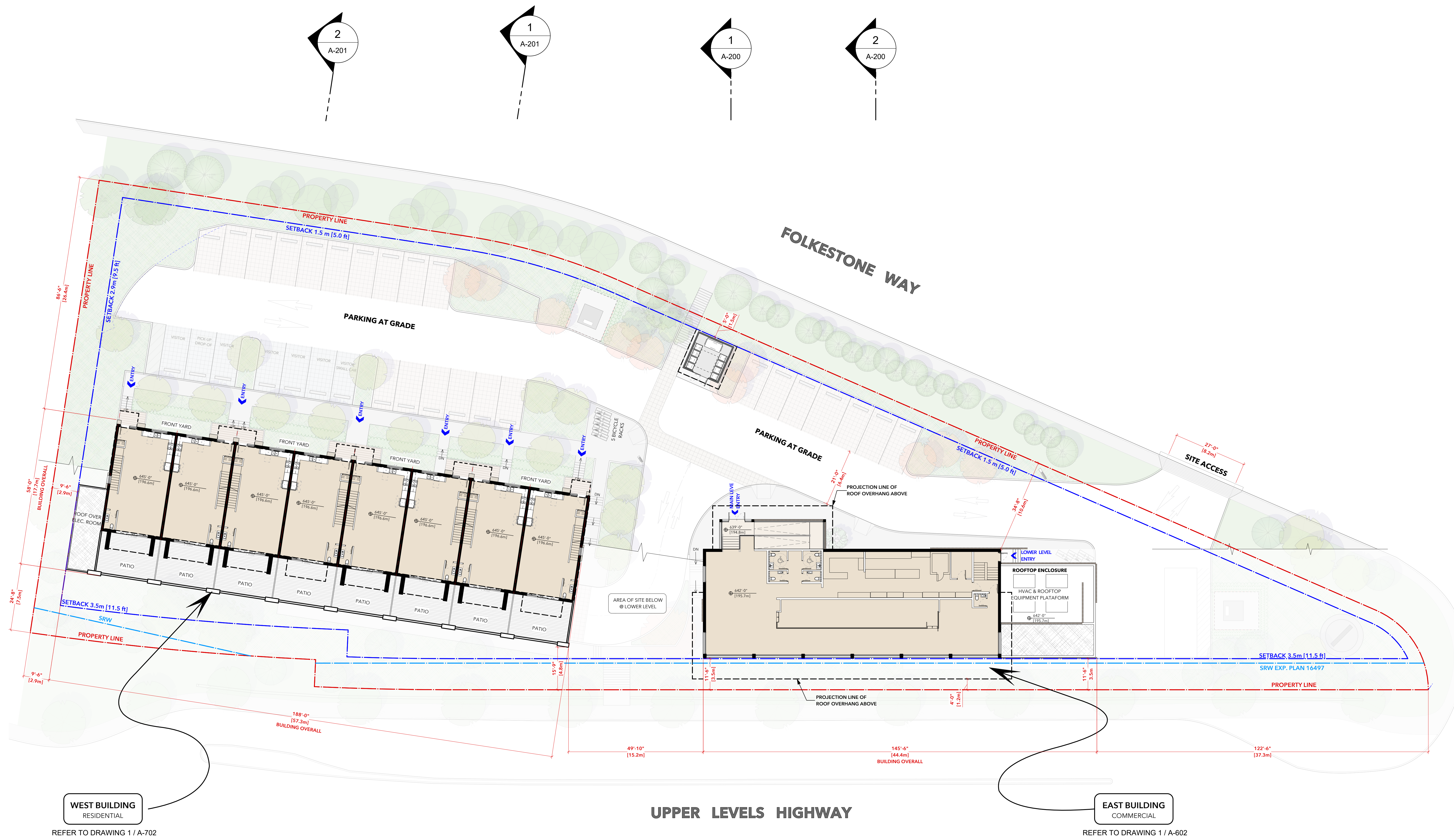
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**LOWER LEVEL**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		
DRAWING NO.	A-102		
REVISION	05		







1 OVERALL PLAN - MAIN LEVEL  
 Scale: 1/16" = 1'-0"

NOTE:  
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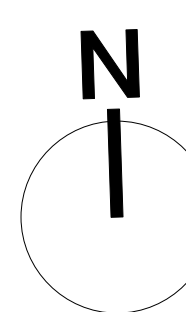
05	2023/11/10	ISSUED FOR REZONING & OP	JG	PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC	PJM
03	2023/04/28	ISSUED FOR REZONING	PC	PJM
02	2023/02/01	ISSUED FOR REZONING	PC	PJM
01	2022/08/19	ISSUED FOR REZONING	PC	PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC	PJM

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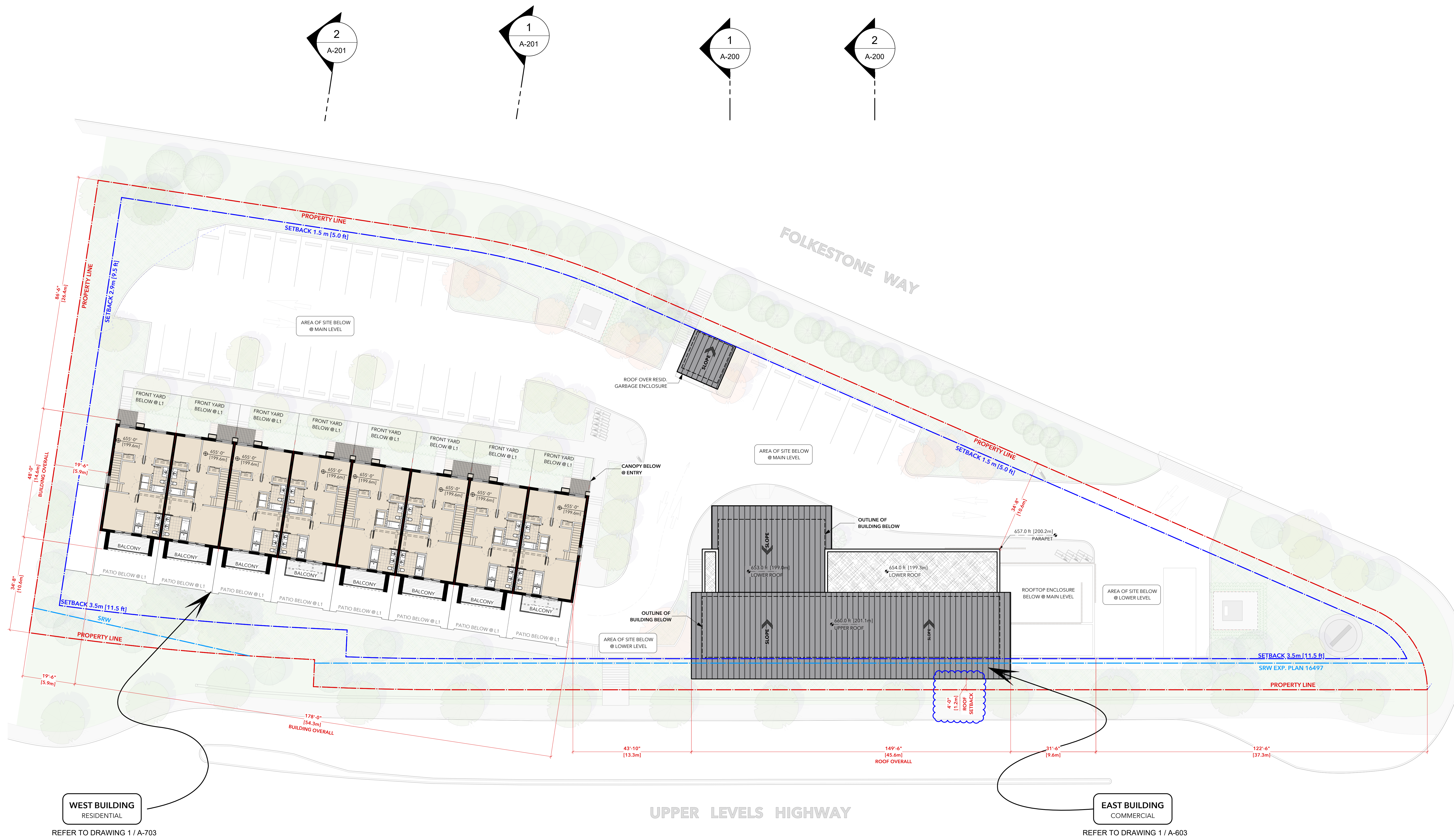
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**MAIN LEVEL**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		
DRAWING NO.	A-103		
REVISION	05		







**1 OVERALL PLAN - UPPER LEVEL**  
 Scale: 1/16" = 1'-0"

**WEST BUILDING**  
 RESIDENTIAL  
 REFER TO DRAWING 1 / A-703

**EAST BUILDING**  
 COMMERCIAL  
 REFER TO DRAWING 1 / A-603

NOTE:  
 THE LANDSCAPE IS SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE PROJECT FOR DETAILS AND ADDITIONAL INFORMATION.

REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	JC PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/02/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

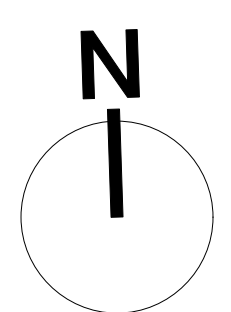
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**UPPER LEVEL**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		

DRAWING NO.	<b>A-104</b>	REVISION	<b>05</b>
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NOTE:  
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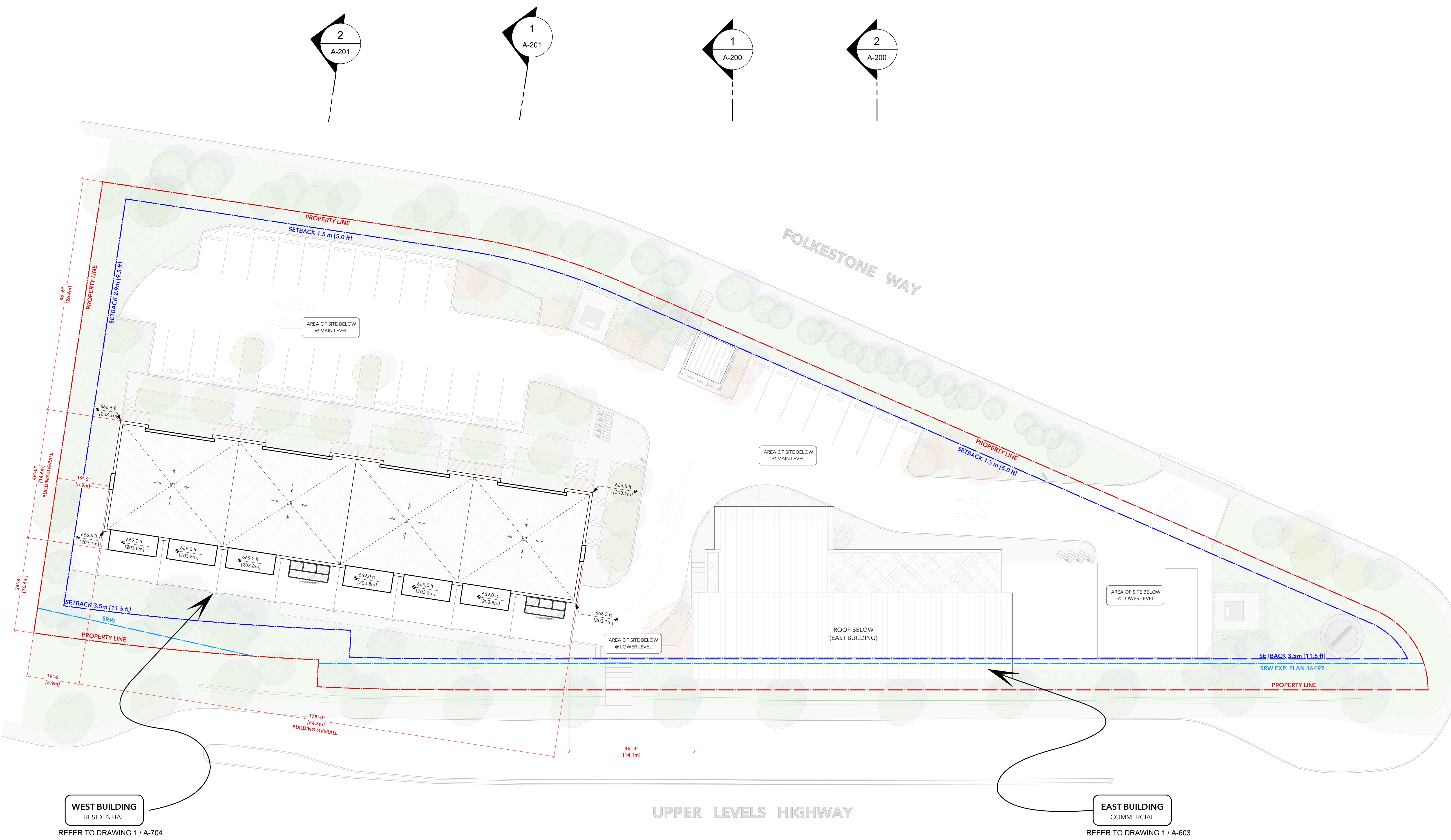
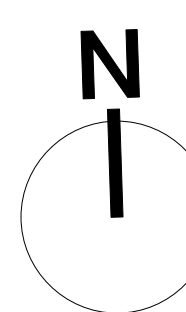
05	2023/11/10	ISSUED FOR REZONING & DP	JG	PJM
04	2023/07/14	ISSUED FOR REZONING - DRC RESPONSE	PC	PJM
03	2023/04/28	ISSUED FOR REZONING	PC	PJM
02	2023/02/01	ISSUED FOR REZONING	PC	PJM
01	2022/08/19	ISSUED FOR REZONING	PC	PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC	PJM

REV DATE DESCRIPTION DWG  
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PROJECT  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE  
**ROOF**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		
DRAWING NO.	A-105	REVISION	05



1 OVERALL PLAN - ROOF  
 Scale: 1/16" = 1'-0"

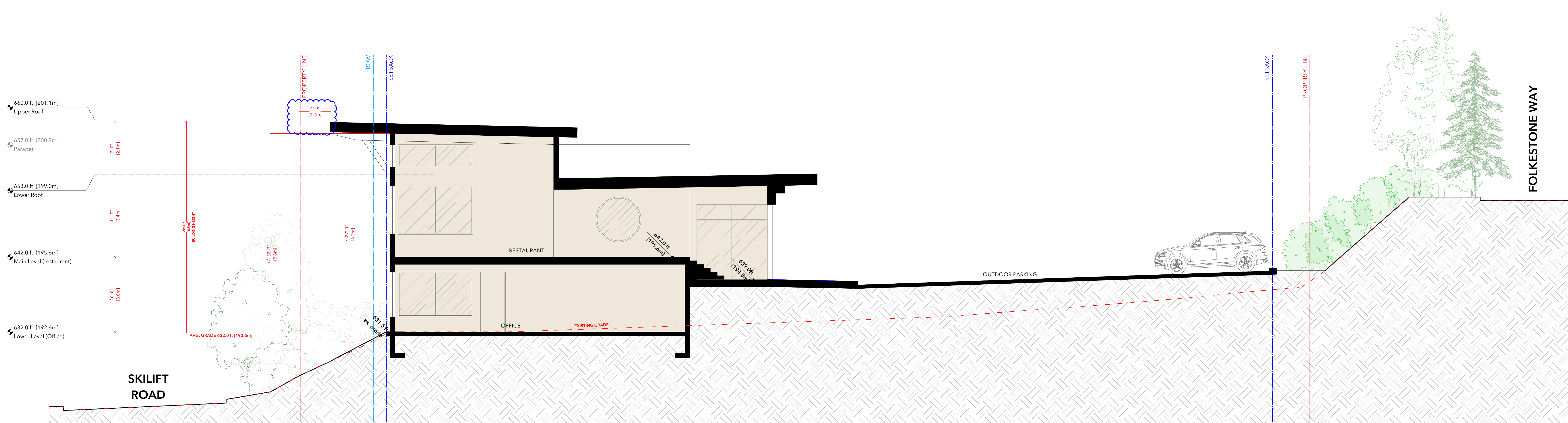
WEST BUILDING  
 RESIDENTIAL  
 REFER TO DRAWING 1 / A-704

EAST BUILDING  
 COMMERCIAL  
 REFER TO DRAWING 1 / A-603

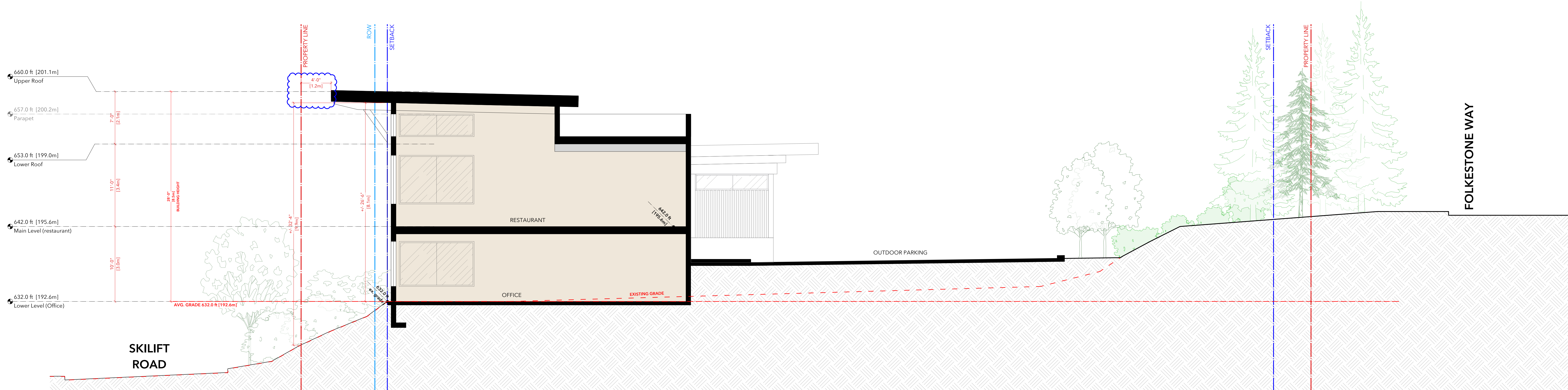
UPPER LEVELS HIGHWAY

FOLKESTONE WAY





1 SECTION A  
Scale: 3/16" = 1'-0"



2 SECTION B  
Scale: 3/16" = 1'-0"

NOTE:  
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05	2023/11/10	ISSUED FOR REZONING & GP	JG	PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC	PJM
03	2023/04/28	ISSUED FOR REZONING	PC	PJM
02	2023/12/21	ISSUED FOR REZONING	PC	PJM
01	2023/08/19	ISSUED FOR REZONING	PC	PJM
-	2023/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC	PJM

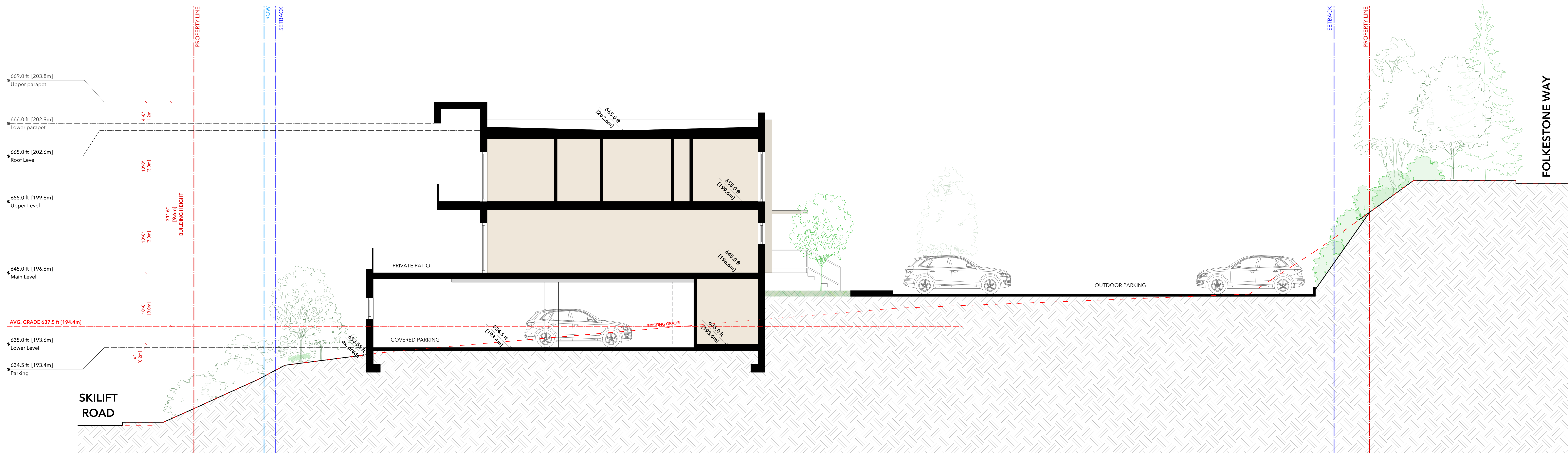
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PROJECT  
SALMON HOUSE  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

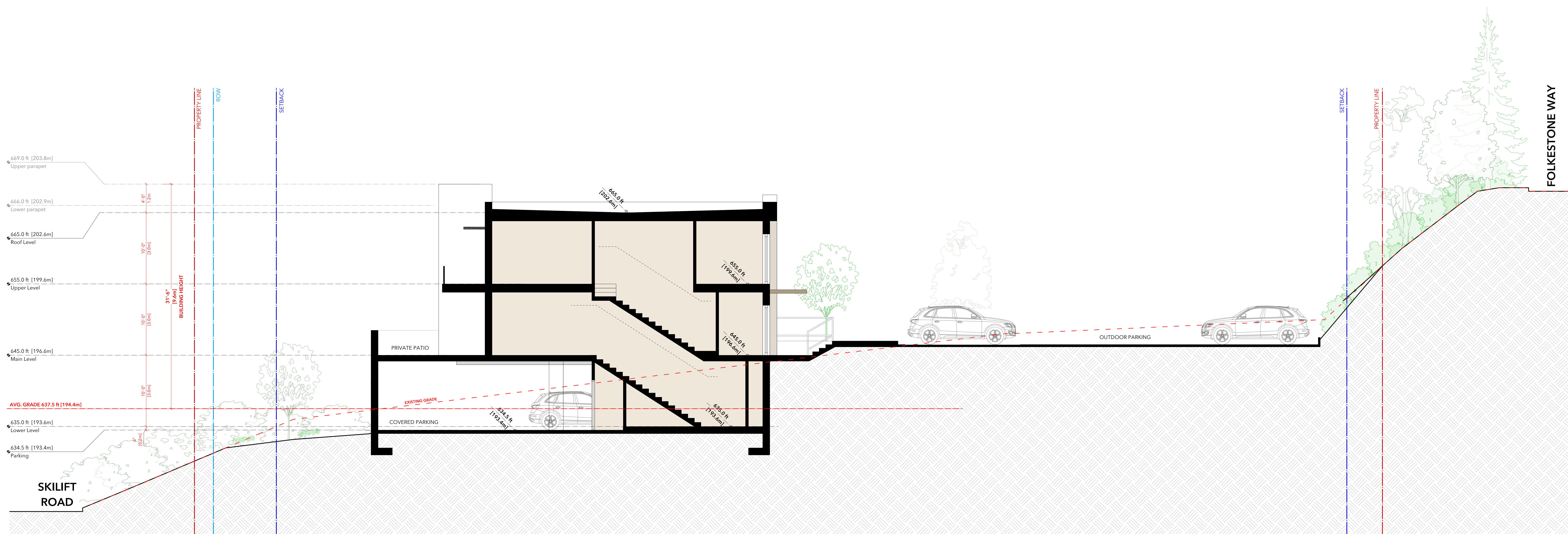
SHEET TITLE  
SECTIONS

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
DRAWING NO.	A-200	SCALE	AS NOTED
REVISION	05		





1 SECTION C  
 Scale: 3/16" = 1'-0"



2 SECTION D  
 Scale: 3/16" = 1'-0"

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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PJM
04	2023/07/14	ISSUED FOR REZONING - DRC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

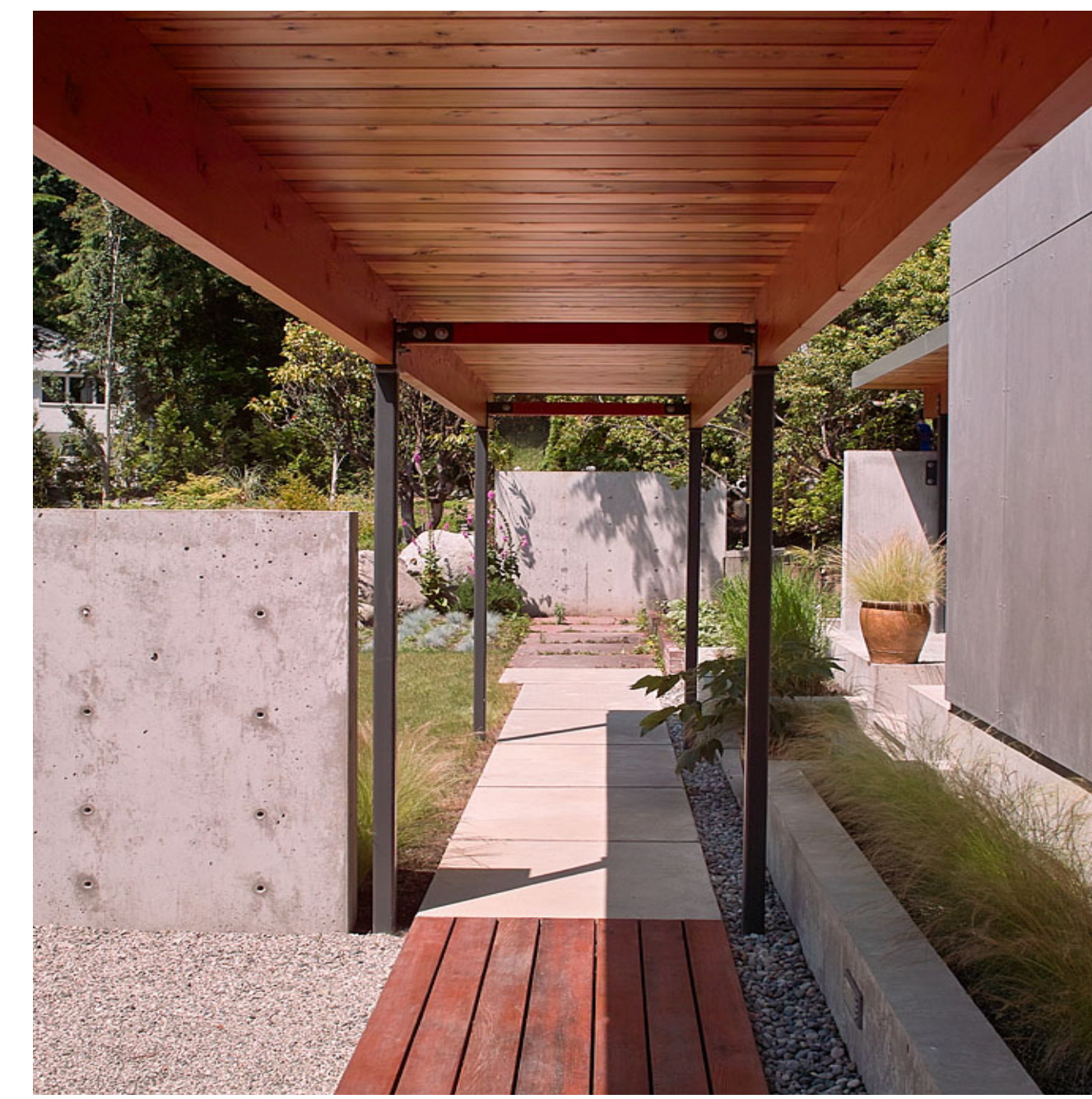
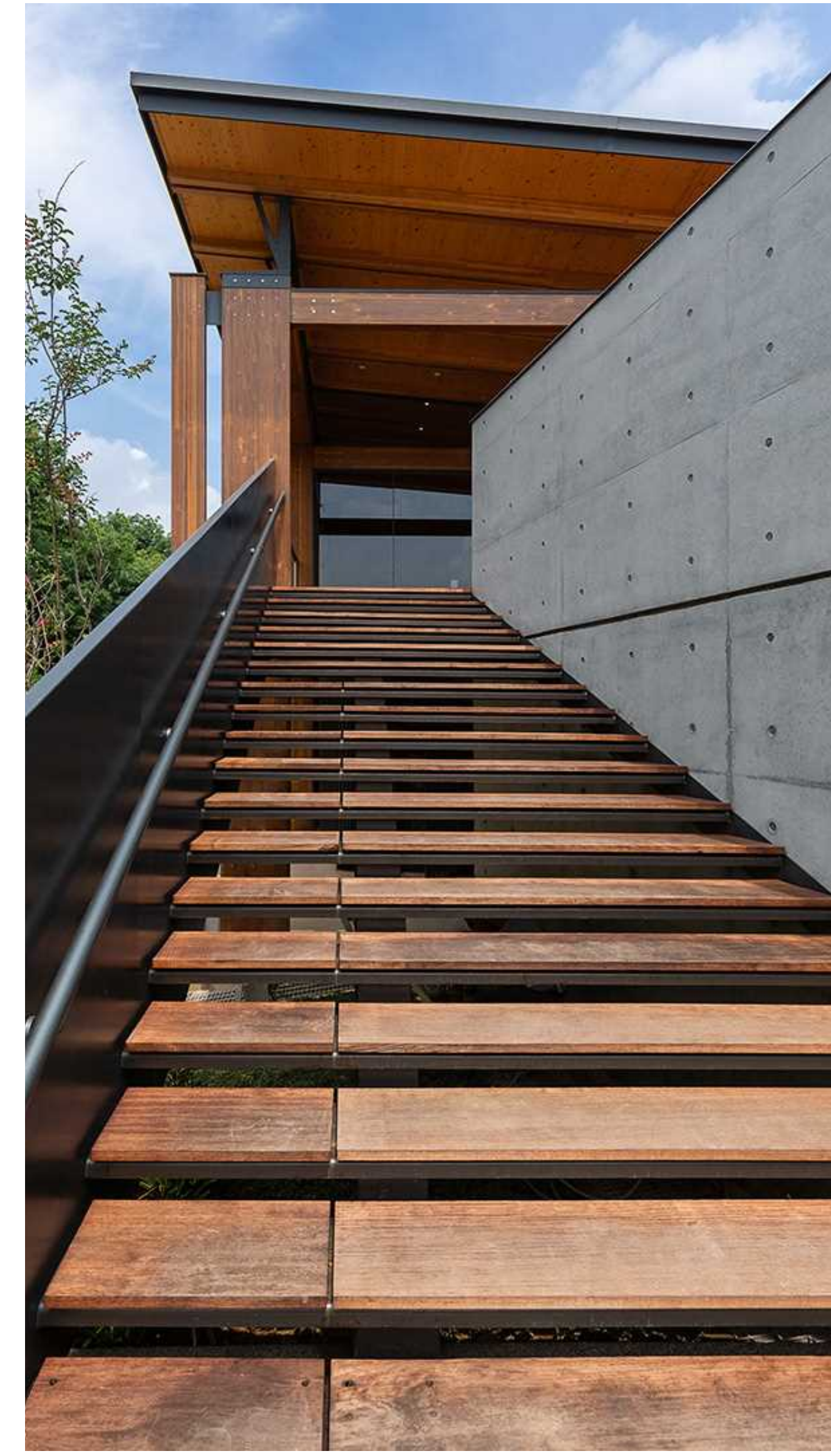
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**SECTIONS**

PROJECT NO.	DATE	REVISION
21050	Nov. 10, 2023	05
SCALE: AS NOTED		
DRAWING NO. <b>A-201</b>		





PRECEDENT IMAGES

MATERIAL PALETTE



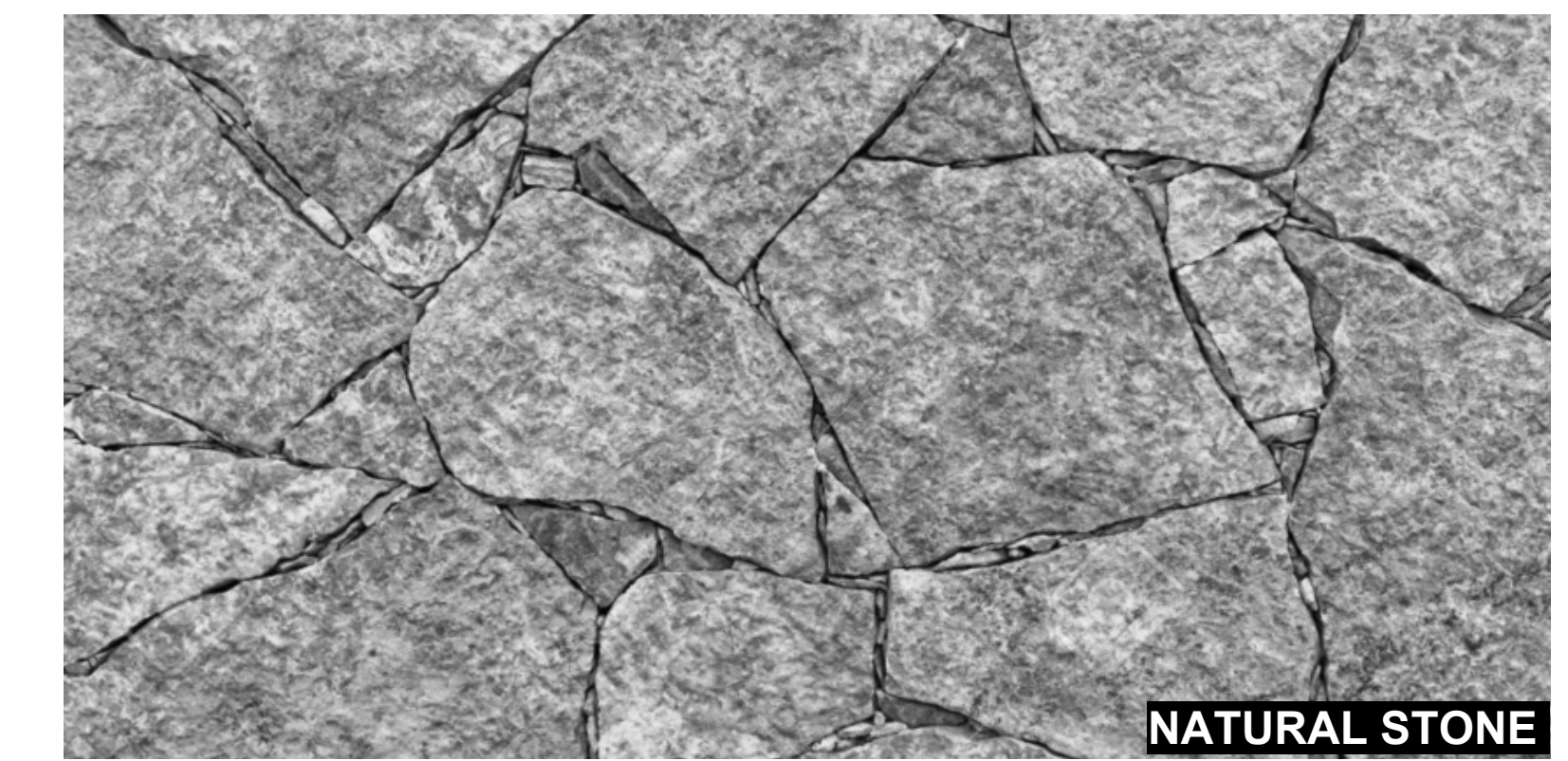
WOOD



METAL



STONE VENEER



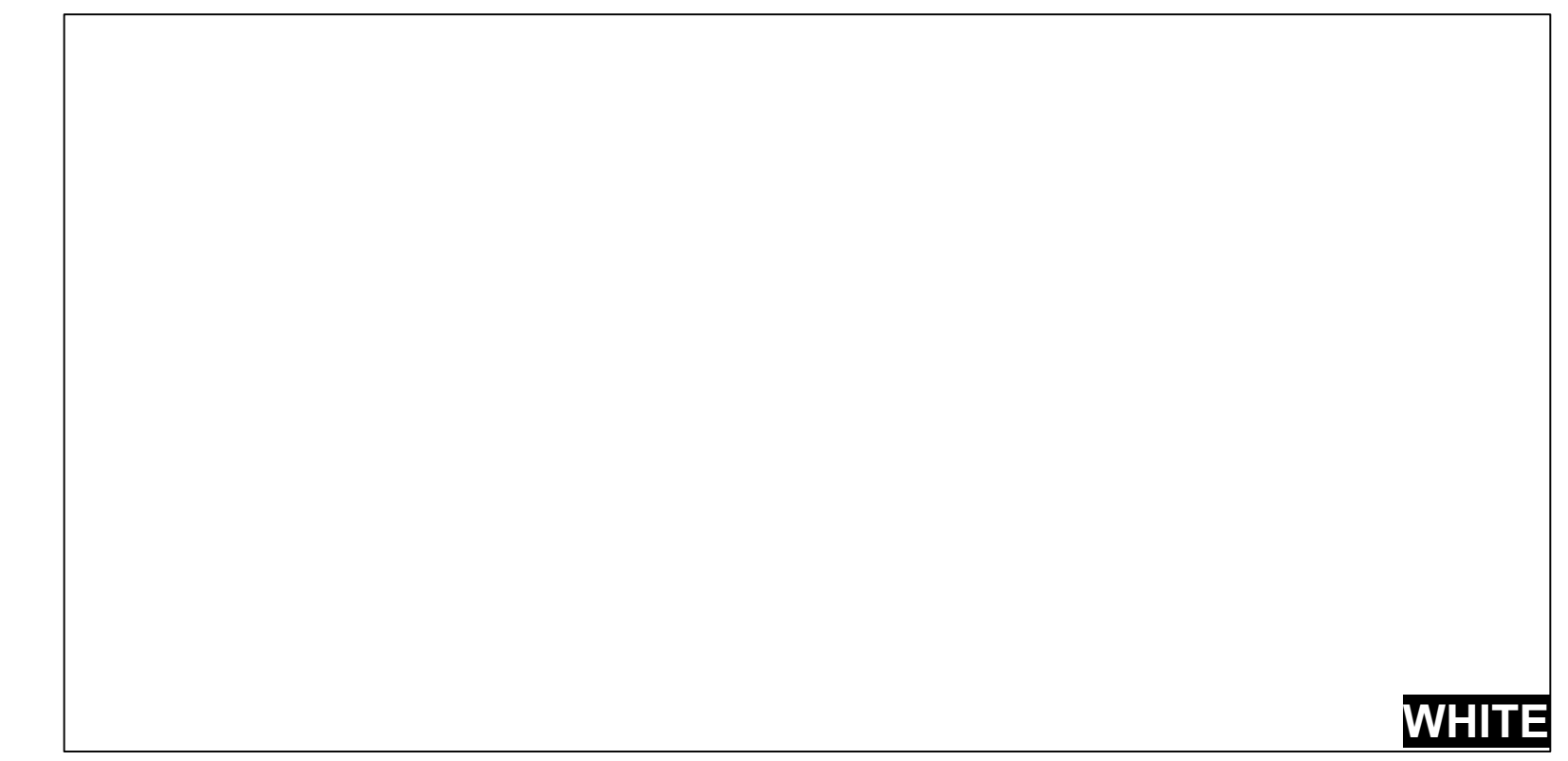
NATURAL STONE



CONCRETE



GLASS



WHITE

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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/08	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKSTONE WAY  
WEST VANCOUVER, BC

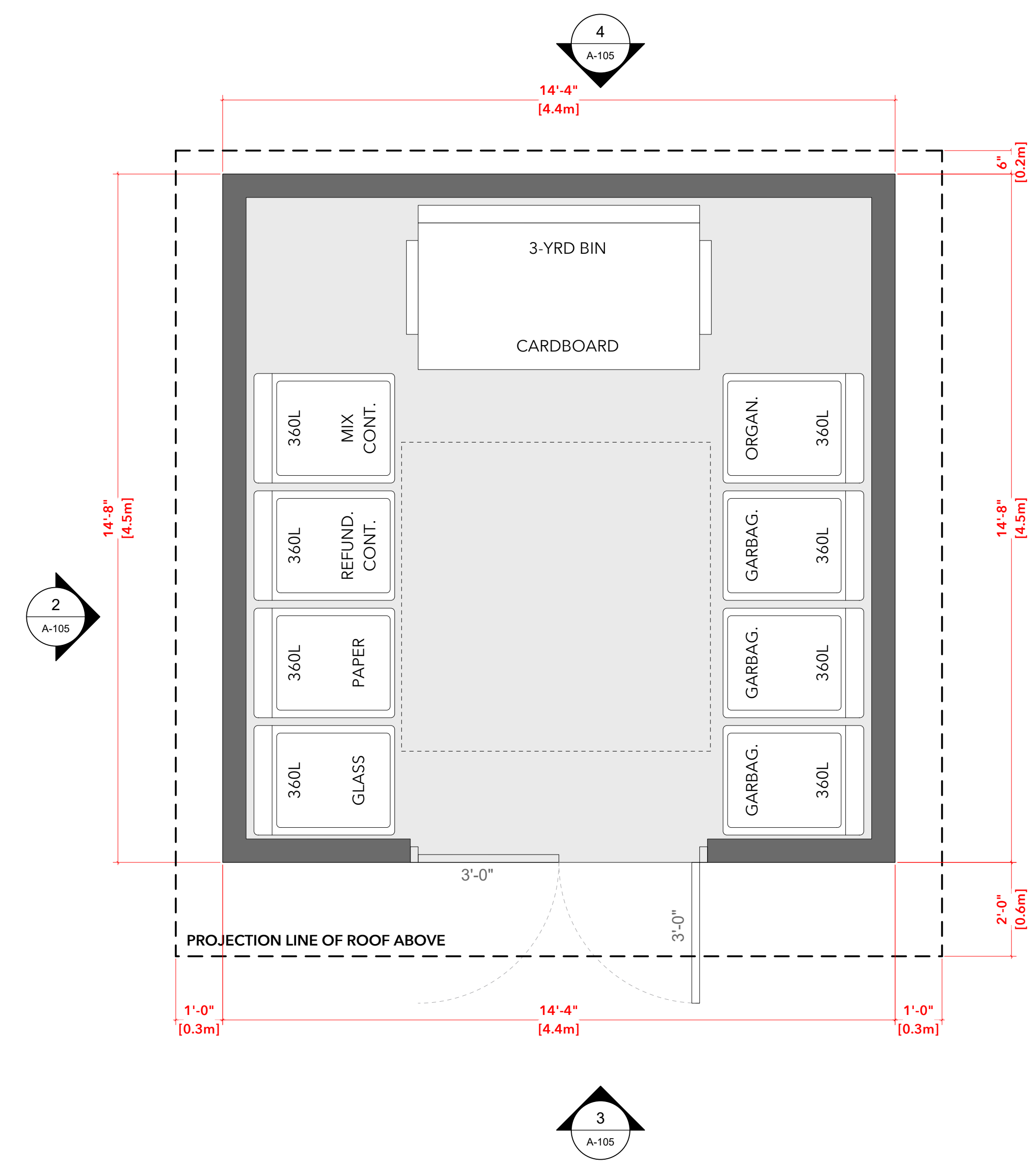
SHEET TITLE:  
**PRECEDENT IMAGES**

PROJECT NO.	PLAT DATE
21050	Nov. 10, 2023

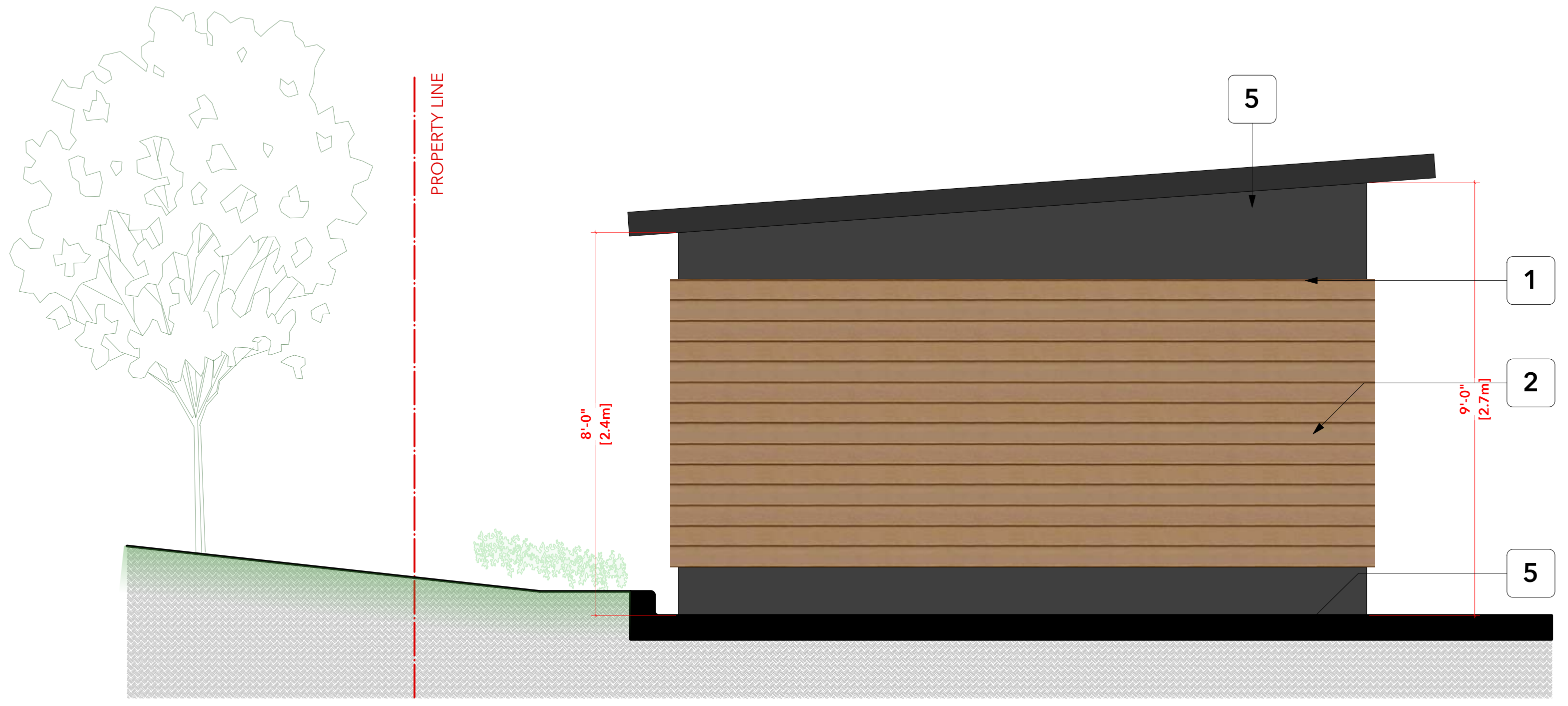
SCALE	REVISION
AS NOTED	05

DRAWING NO.: **A-400**

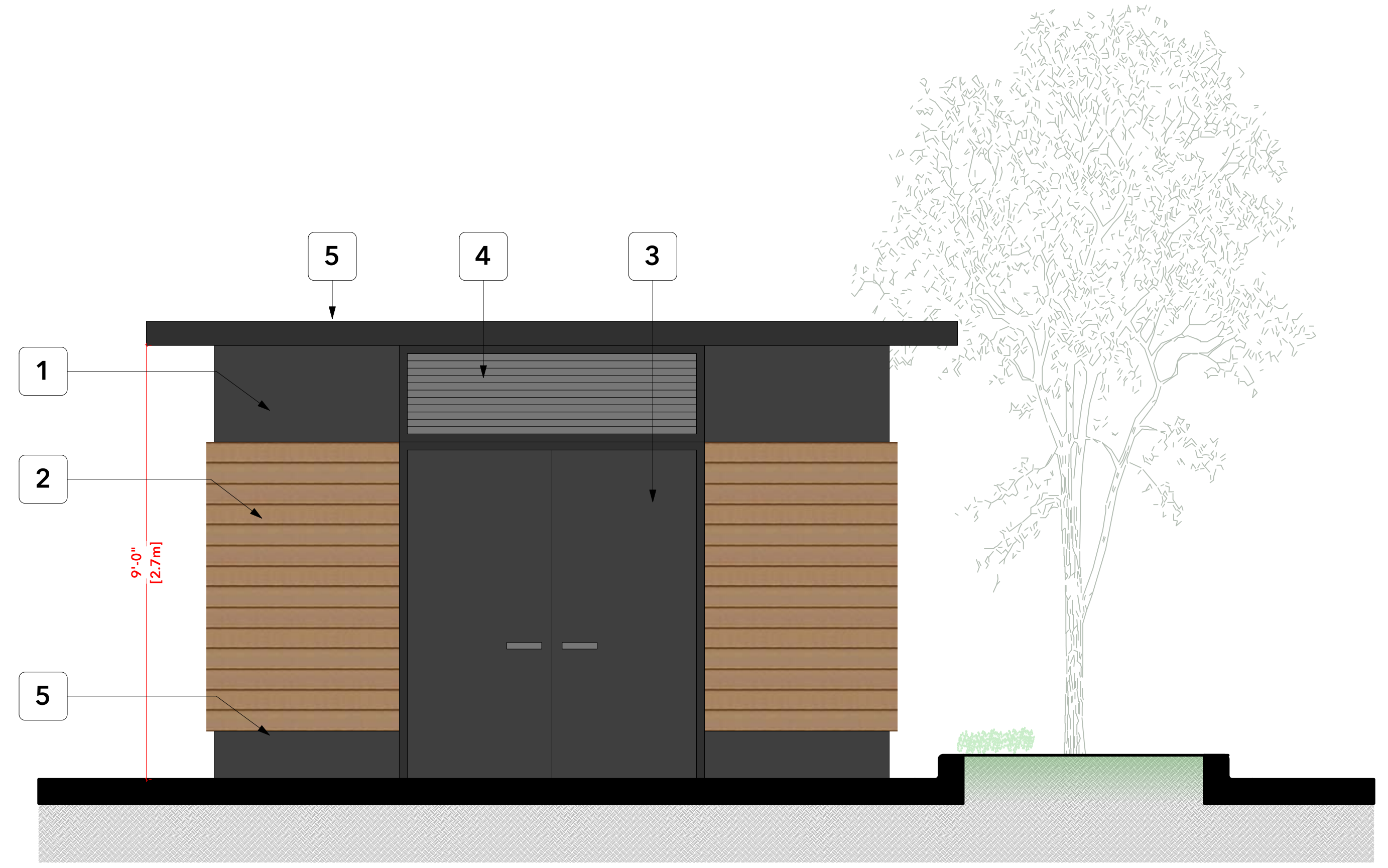




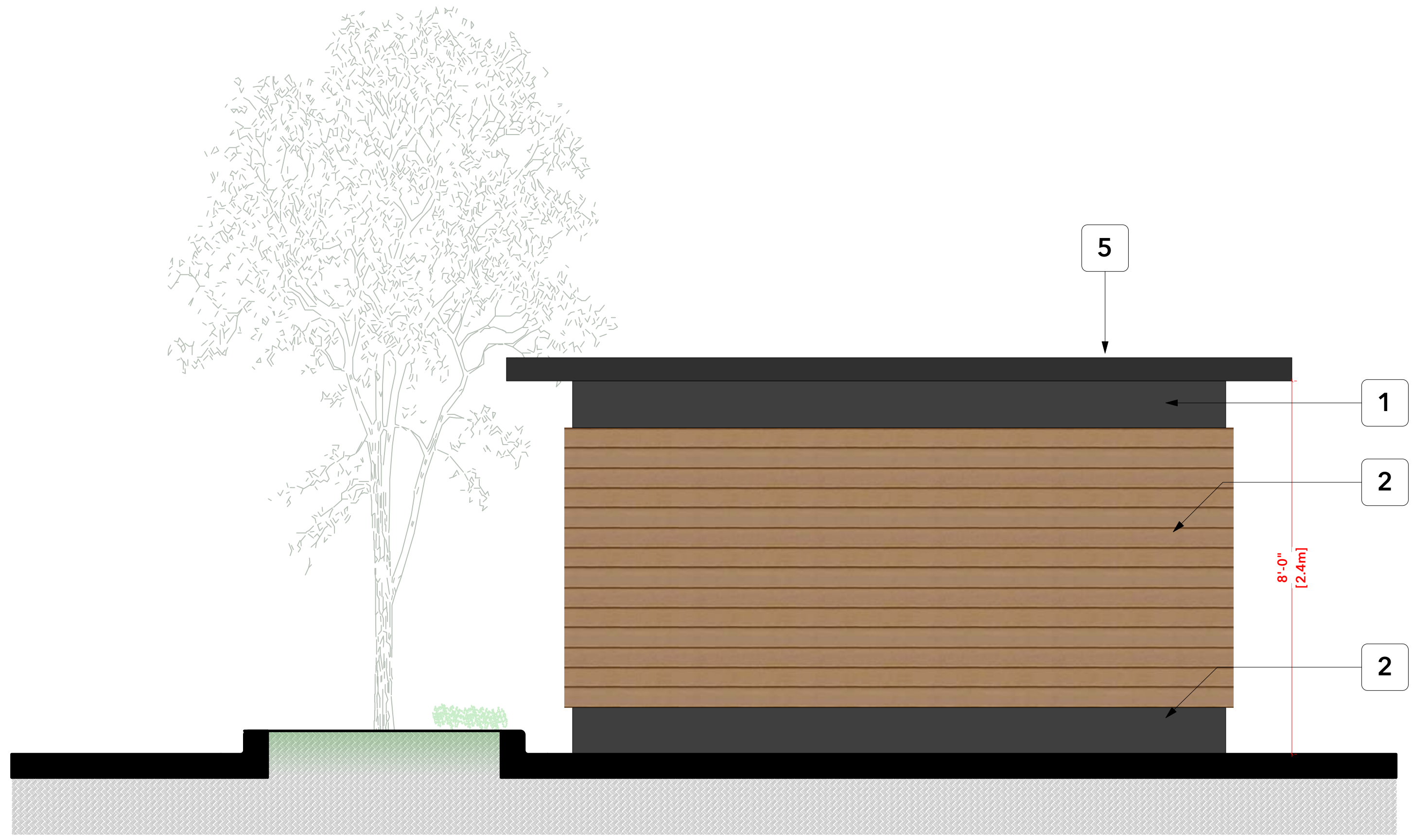
**1 FLOOR PLAN**  
 Scale: 1/2" = 1'-0"



**2 WEST ELEVATION**  
 Scale: 1/2" = 1'-0"



**3 SOUTH ELEVATION**  
 Scale: 1/2" = 1'-0"



**4 NORTH ELEVATION**  
 Scale: 1/2" = 1'-0"

**MATERIAL LEGEND**

1. METAL COLOUR - BLACK	2. EXTERIOR SIDING CLADDING PANEL SYSTEM COLOUR - WOODGRAIN	3. METAL DOOR COLOUR - BLACK	4. METAL LOUVRES COLOUR - BLACK	5. PAINTED CONCRETE COLOUR - GREY	6. METAL ROOF COLOUR - BLACK

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & OP	JG PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230428	ISSUED FOR REZONING	PC PJM
02	20231221	ISSUED FOR REZONING	PC PJM
01	20220819	ISSUED FOR REZONING	PC PJM
-	20220729	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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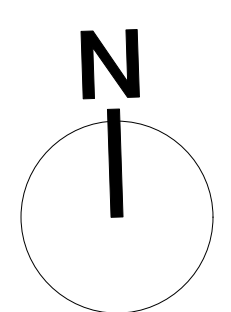
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**GARBAGE ENCLOSURE**

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
DRAWING NO.	A-500	SCALE	AS NOTED
REVISION NO.	05		





**SIGNAGE TYPE 1**  
SITE ENTRANCE - FREESTANDING SIGNAGE









**SIGNAGE TYPE 2**  
WAYFINDING - FREESTANDING SIGNAGE



**SIGNAGE TYPE 3**  
SITE CORNER - FREESTANDING SIGNAGE



**MATERIAL LEGEND**

	
1. METAL COLOUR - DARK GREY	2. SLAT COLOUR - WOODGRAIN
	
3. SLAT COLOUR - WOODGRAIN	4. SLAT COLOUR - WOODGRAIN
	
5. CONCRETE COLOUR - DARK GREY	6. STONE COLOUR - DARK GREY

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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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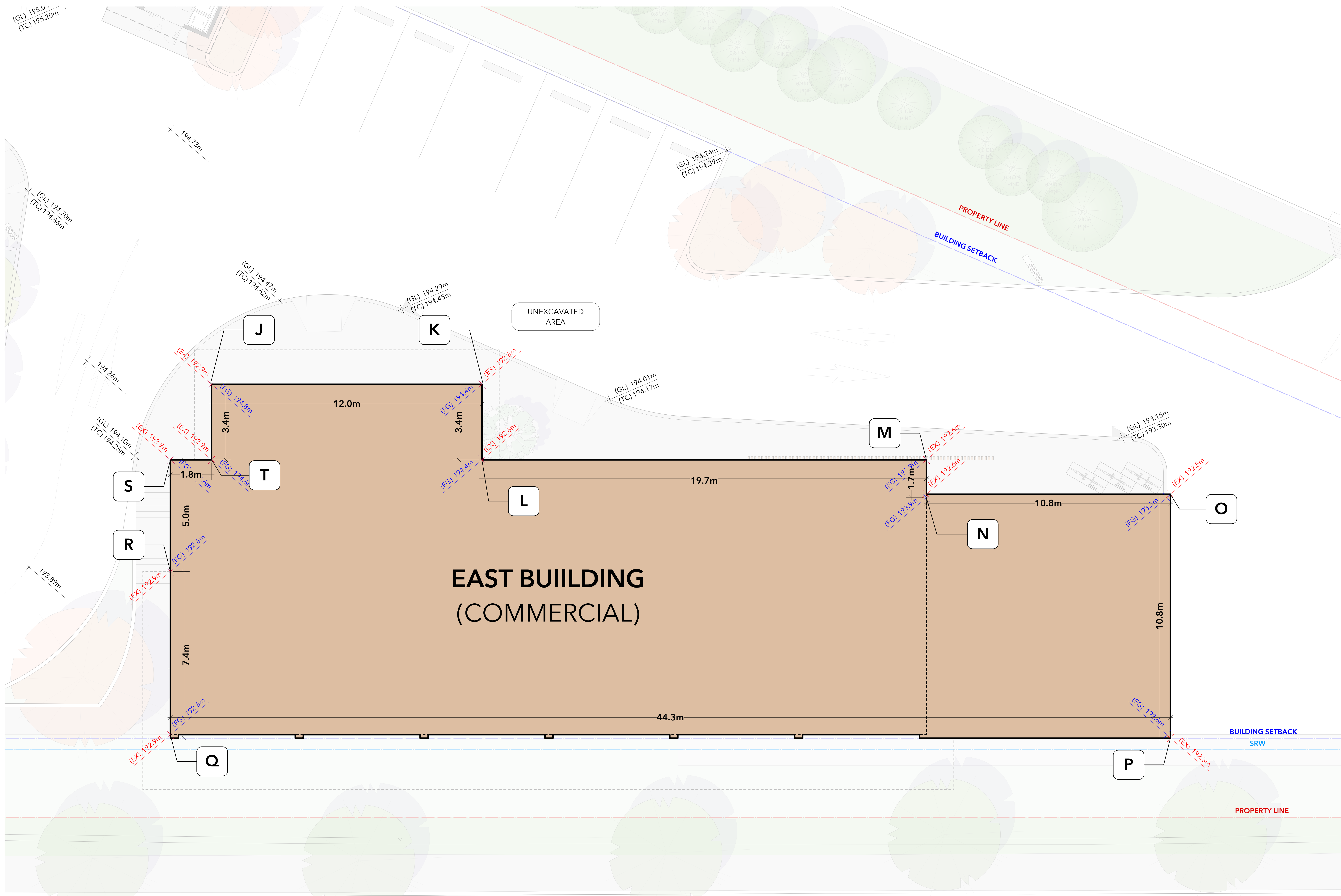
PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**SIGNAGE**

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		

DRAWING NO.	A-501	REVISION	05
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**1 GRADE PLAN**  
 Scale: 3/16" = 1'-0"

**LEGEND**

(EX) 0.0m	EXISTING GRADE
(FG) 0.0m	FINISHED BUILDING GRADE
(DX) 0.00m	PROPOSED GRADE

NOTE:  
 REFER TO ENLARGED PLANS FOR GRADE CALCULATIONS  
 ON SHEETS A-600 AND A-700.

EAST BUILDING GRADE CALCULATION															
ZONING BYLAW SECTION 120.17															
EXISTING GRADE					FINISHED GRADE										
BLDG FACE	GRADE 1	GRADE 2	LENGTH	AVG GRADE	BLDG FACE	GRADE 1	GRADE 2	LENGTH	AVG GRADE	BLDG FACE	GRADE 1	GRADE 2	LENGTH	AVG GRADE	
J-K	(192.9 m + 192.6 m) / 2	X	12.0 m	= 2,313.0 m	J-K	(194.8 m + 194.4 m) / 2	X	12.0 m	= 2,335.2 m	K-L	(192.6 m + 192.6 m) / 2	X	3.4 m	= 654.8 m	
K-L	(192.6 m + 192.6 m) / 2	X	3.4 m	= 654.8 m	K-L	(194.4 m + 194.4 m) / 2	X	3.4 m	= 661.0 m	L-M	(192.6 m + 192.6 m) / 2	X	19.4 m	= 3,736.4 m	
L-M	(192.6 m + 192.6 m) / 2	X	19.4 m	= 3,736.4 m	L-M	(194.4 m + 193.9 m) / 2	X	19.4 m	= 3,766.5 m	M-N	(192.6 m + 192.6 m) / 2	X	1.7 m	= 327.4 m	
M-N	(192.6 m + 192.6 m) / 2	X	1.7 m	= 327.4 m	M-N	(193.9 m + 193.4 m) / 2	X	1.7 m	= 329.2 m	N-O	(192.6 m + 192.5 m) / 2	X	10.8 m	= 2,079.5 m	
N-O	(192.6 m + 192.5 m) / 2	X	10.8 m	= 2,079.5 m	N-O	(193.4 m + 193.3 m) / 2	X	10.8 m	= 2,088.2 m	O-P	(192.5 m + 192.3 m) / 2	X	10.8 m	= 2,077.9 m	
O-P	(192.5 m + 192.3 m) / 2	X	10.8 m	= 2,077.9 m	O-P	(193.3 m + 192.6 m) / 2	X	10.8 m	= 2,083.9 m	P-Q	(192.3 m + 192.9 m) / 2	X	44.3 m	= 8,532.2 m	
P-Q	(192.3 m + 192.9 m) / 2	X	44.3 m	= 8,532.2 m	P-Q	(194.6 m + 194.6 m) / 2	X	44.3 m	= 8,532.2 m	Q-R	(192.9 m + 192.9 m) / 2	X	7.4 m	= 1,427.5 m	
Q-R	(192.9 m + 192.9 m) / 2	X	7.4 m	= 1,427.5 m	Q-R	(192.6 m + 192.6 m) / 2	X	7.4 m	= 1,425.2 m	R-S	(192.9 m + 192.9 m) / 2	X	5.0 m	= 964.5 m	
R-S	(192.9 m + 192.9 m) / 2	X	5.0 m	= 964.5 m	R-S	(192.6 m + 194.6 m) / 2	X	5.0 m	= 968.0 m	S-T	(192.9 m + 192.9 m) / 2	X	1.8 m	= 347.2 m	
S-T	(192.9 m + 192.9 m) / 2	X	1.8 m	= 347.2 m	S-T	(194.6 m + 194.6 m) / 2	X	1.8 m	= 350.3 m	T-J	(192.9 m + 192.9 m) / 2	X	3.4 m	= 655.9 m	
T-J	(192.9 m + 192.9 m) / 2	X	3.4 m	= 655.9 m	T-J	(194.6 m + 194.8 m) / 2	X	3.4 m	= 662.0 m	TOTALS			120.0 m	23,116.4 m	
TOTALS			120.0 m	23,116.4 m	TOTALS			120.0 m	23,201.6 m	AVERAGE EXISTING GRADE			192.6 m	AVERAGE FINISHED GRADE	193.3 m

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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PUM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PUM
03	2023/04/28	ISSUED FOR REZONING	PC PUM
02	2023/12/21	ISSUED FOR REZONING	PC PUM
01	2022/08/19	ISSUED FOR REZONING	PC PUM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PUM

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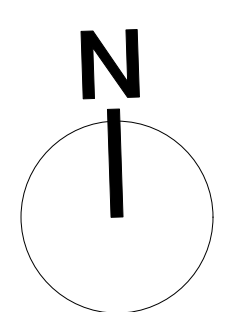
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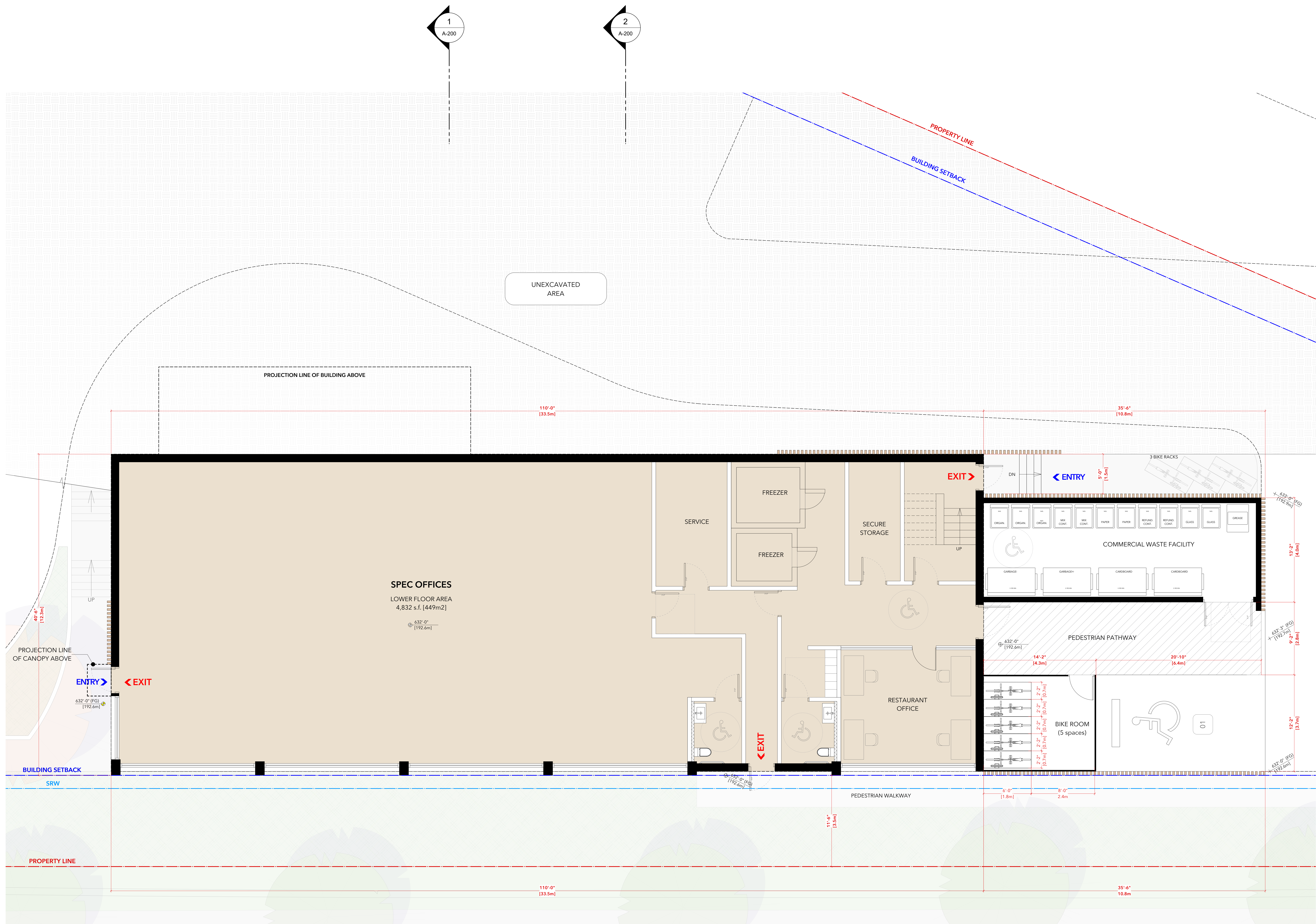
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**GRADE PLAN**  
**EAST BUILDING (RESTAURANT)**

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05
DRAWING NO.			
A-600			







NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - CIRC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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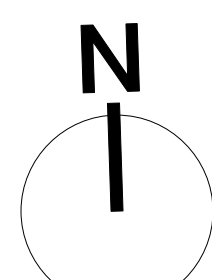
PROJECT:

**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

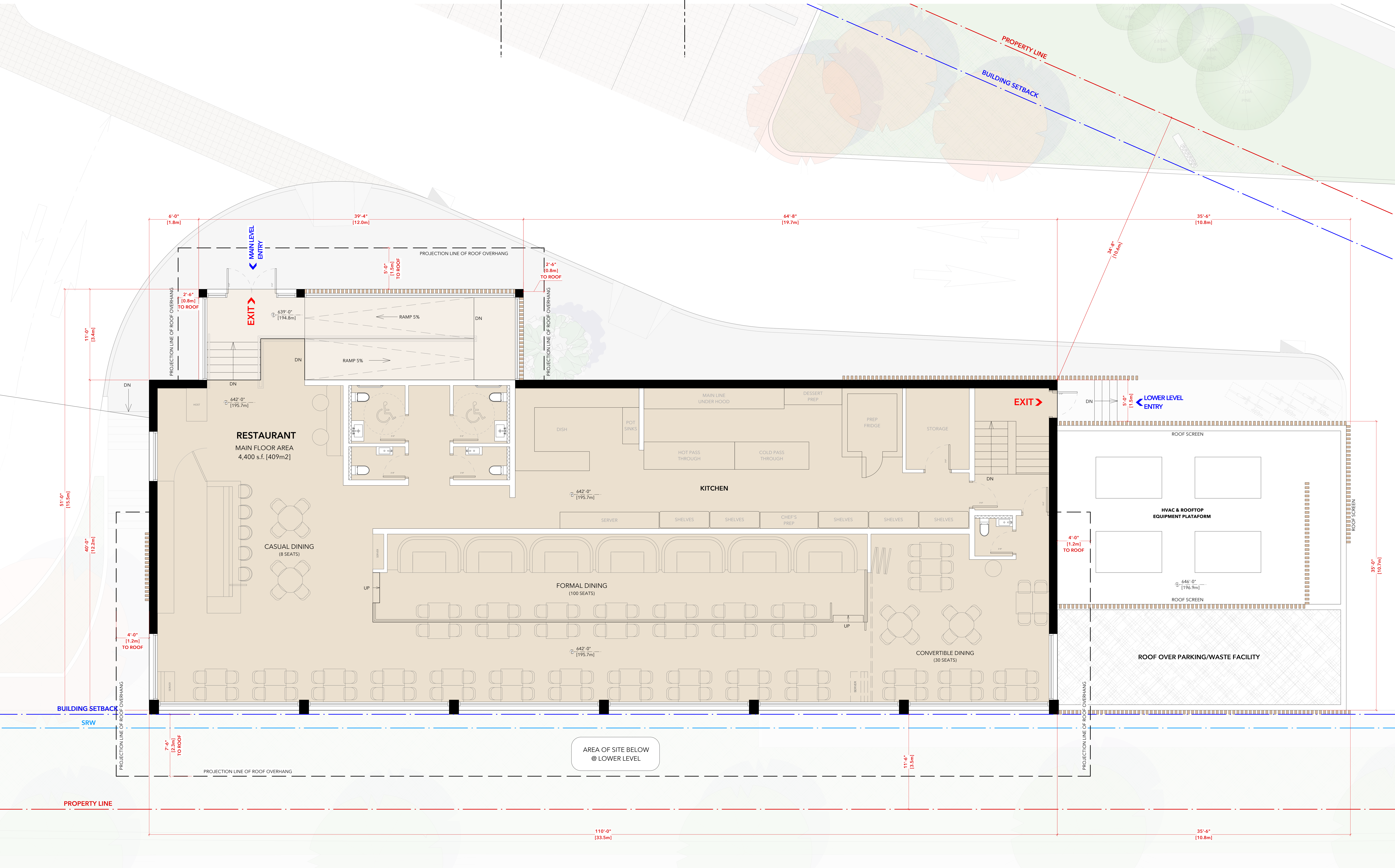
SHEET TITLE:  
**LOWER LEVEL**  
**EAST BUILDING**  
**(RESTAURANT)**

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05

**1 LOWER FLOOR PLAN**  
Scale: 1/4" = 1'-0"







NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

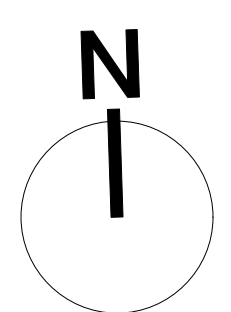
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

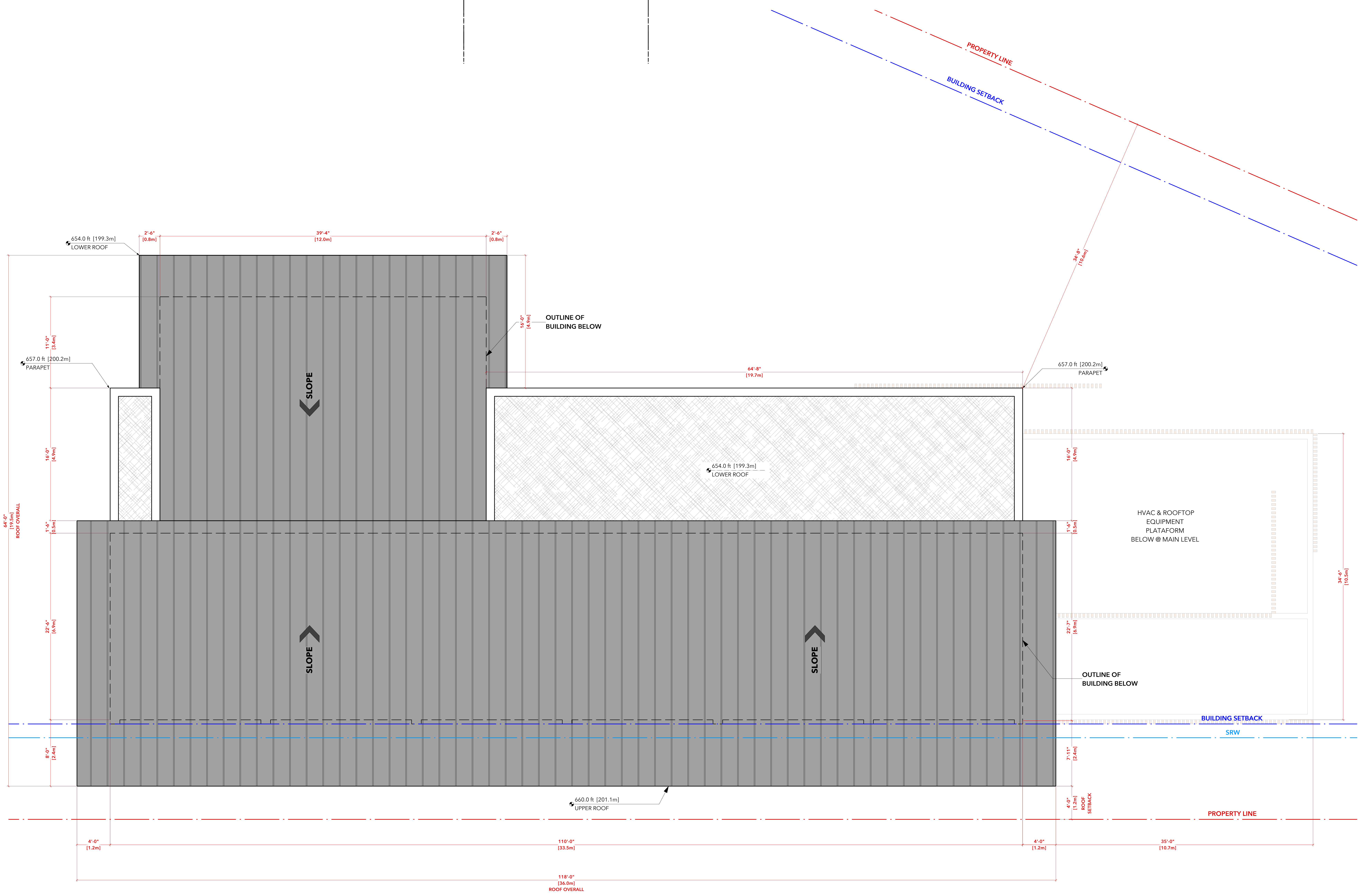
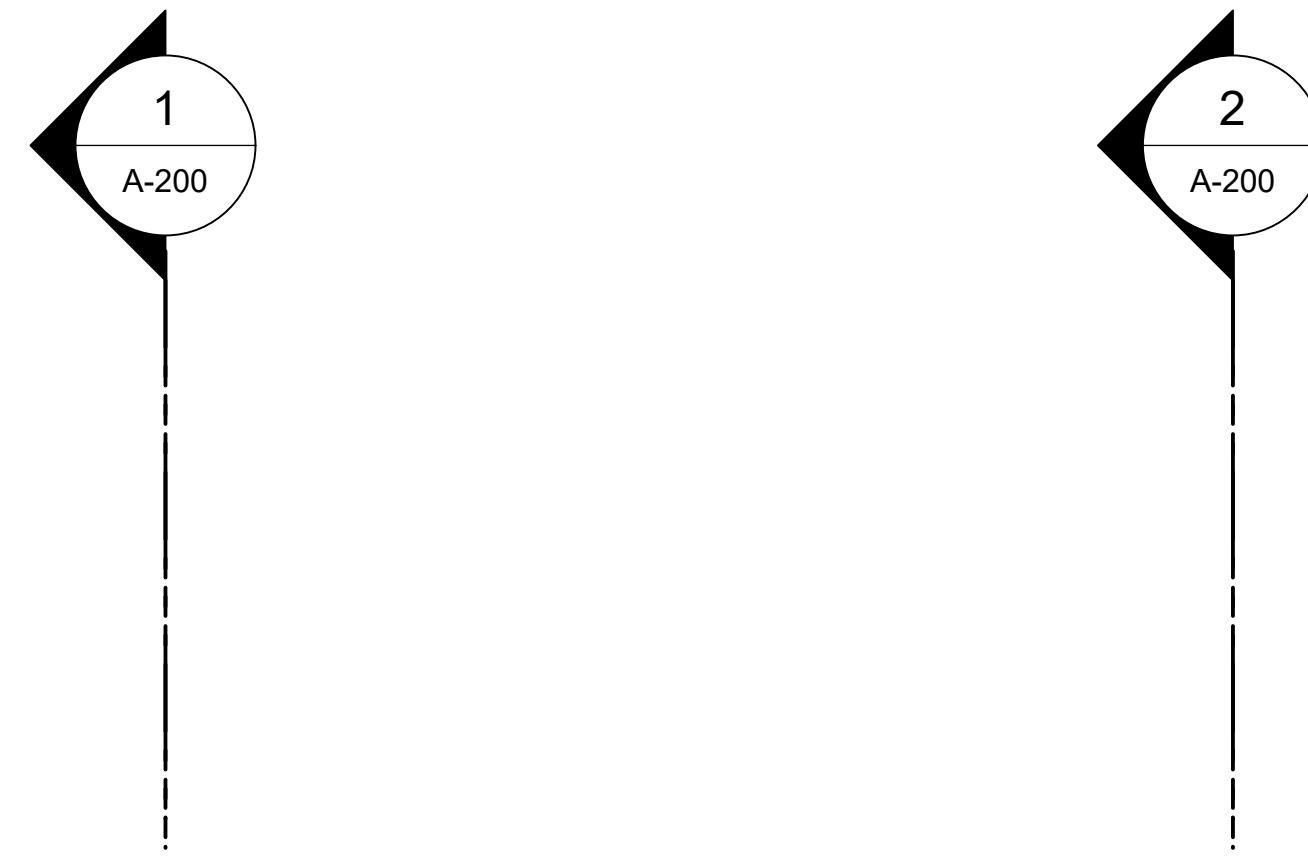
SHEET TITLE:  
**MAIN LEVEL**  
**EAST BUILDING**  
**(RESTAURANT)**

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05

**1 MAIN FLOOR PLAN**  
 Scale: 1/4" = 1'-0"







NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PJM
04	2023/07/14	ISSUED FOR REZONING - DRC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

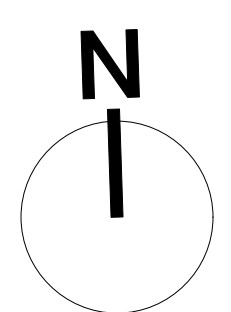
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

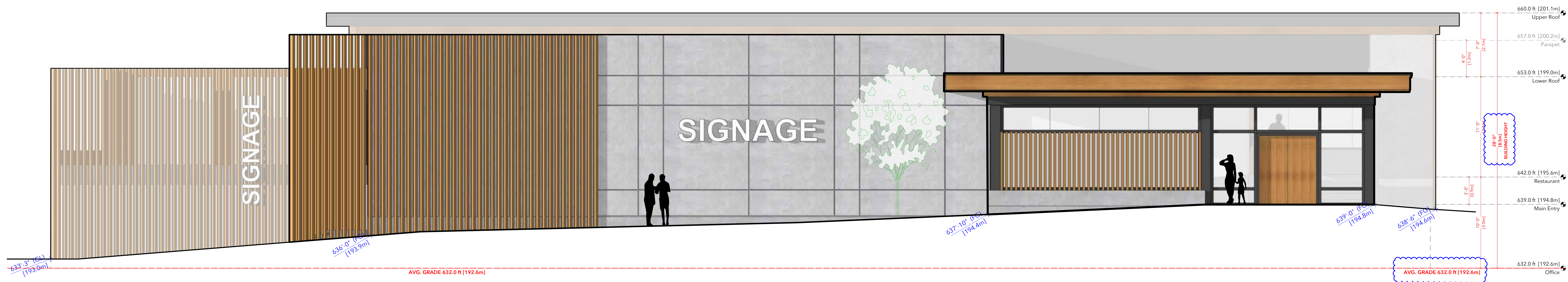
SHEET TITLE:  
**ROOF PLAN**  
 EAST BUILDING  
 (RESTAURANT)

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05

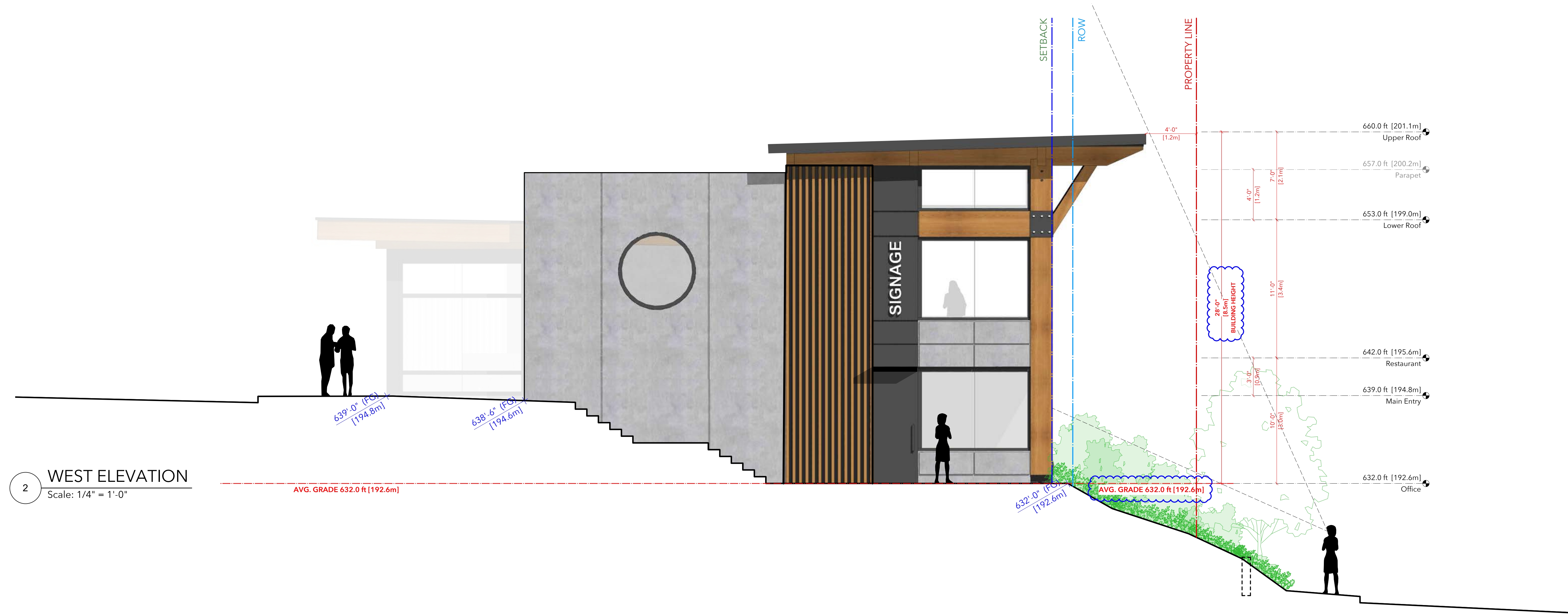
**1 ROOF PLAN**  
 Scale: 1/4" = 1'-0"







1 NORTH ELEVATION  
 Scale: 1/4" = 1'-0"



2 WEST ELEVATION  
 Scale: 1/4" = 1'-0"

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	JG P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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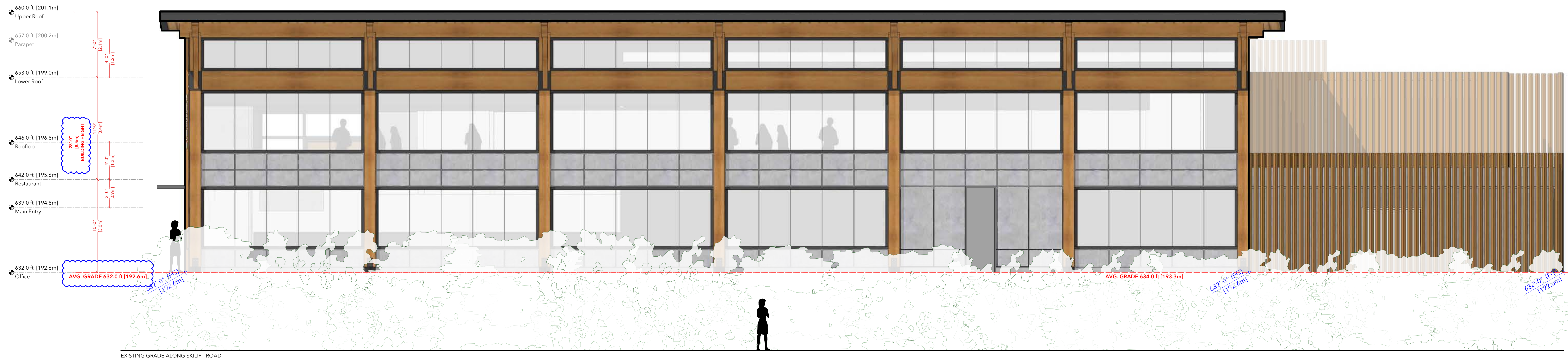
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

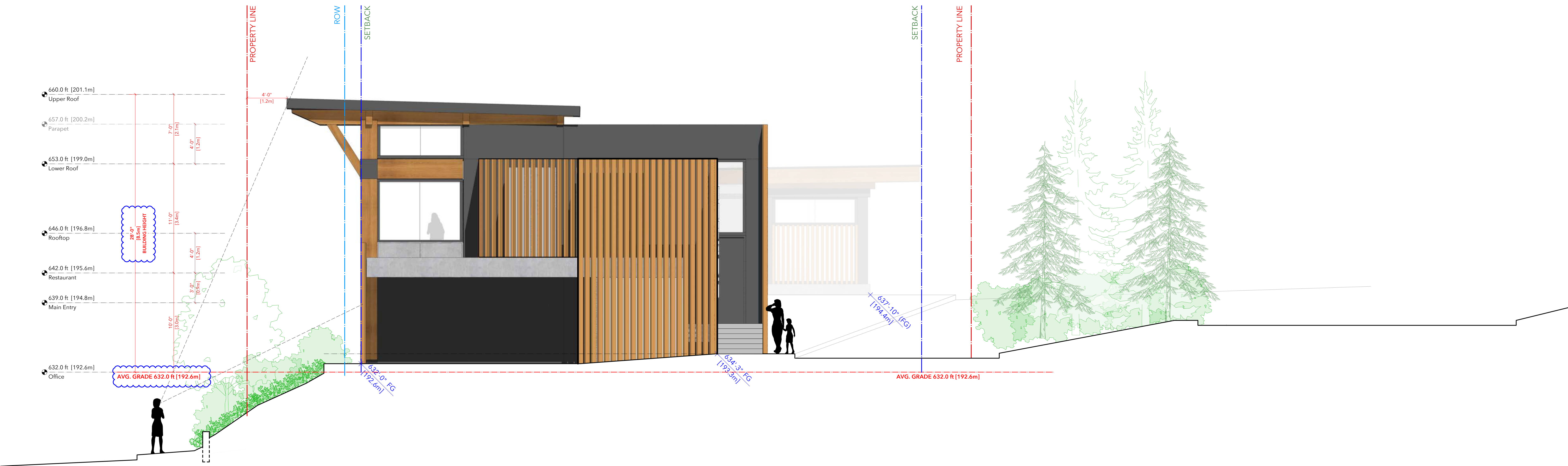
SHEET TITLE:  
**ENLARGED ELEVATIONS**  
 EAST BUILDING  
 (RESTAURANT)

PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-630	SCALE	AS NOTED
REVISION	05		





**1 SOUTH ELEVATION**  
 Scale: 1/4" = 1'-0"



**2 EAST ELEVATION**  
 Scale: 1/4" = 1'-0"

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & OP	JG PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230428	ISSUED FOR REZONING	PC PJM
02	20231221	ISSUED FOR REZONING	PC PJM
01	20220819	ISSUED FOR REZONING	PC PJM
-	20220709	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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PROJECT:

**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**ENLARGED ELEVATIONS**  
 EAST BUILDING  
 (RESTAURANT)

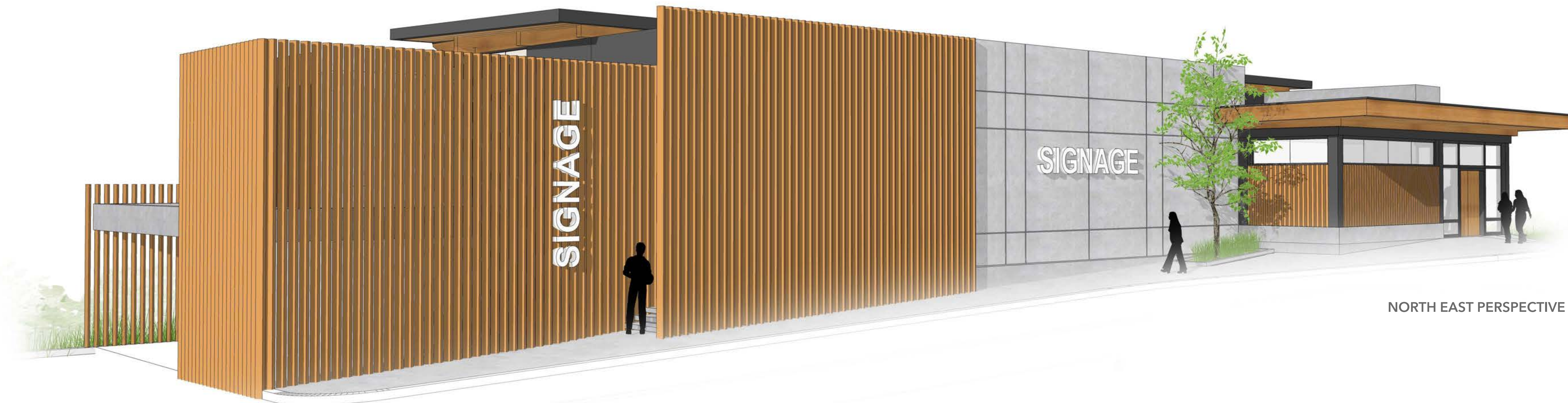
PROJECT NO. PLOT DATE  
**21050** Nov. 10, 2023

SCALE AS NOTED  
 DRAWING NO. **A-631** REVISION **05**









NORTH EAST PERSPECTIVE VIEW



NORTH WEST PERSPECTIVE VIEW



SOUTH EAST PERSPECTIVE VIEW



SOUTH WEST PERSPECTIVE VIEW

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & DP	JG PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230428	ISSUED FOR REZONING	PC PJM
02	20231221	ISSUED FOR REZONING	PC PJM
01	20230819	ISSUED FOR REZONING	PC PJM
-	20230709	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKSTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**PERSPECTIVES**  
 EAST BUILDING  
 (RESTAURANT)

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
DRAWING NO.	A-640	SCALE	AS NOTED
		REVISION	05



**MATERIAL LEGEND**



**1. STUCCO**  
COLOUR: GREY  
FINISH: SMOOTH



**2. PAINTED DOOR**  
COLOUR: DARK GREY



**3. SLATS**  
COLOUR: WOODGRAIN  
MATERIAL: COMPOSITE WOOD



**4. SOFFIT & FASCIA**  
MATERIAL: WOOD



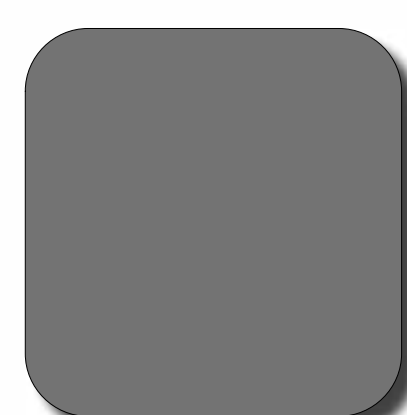
**5. GLAZING SYSTEM**  
COLOUR: BLACK FRAME  
TRANSPARENT GLASS



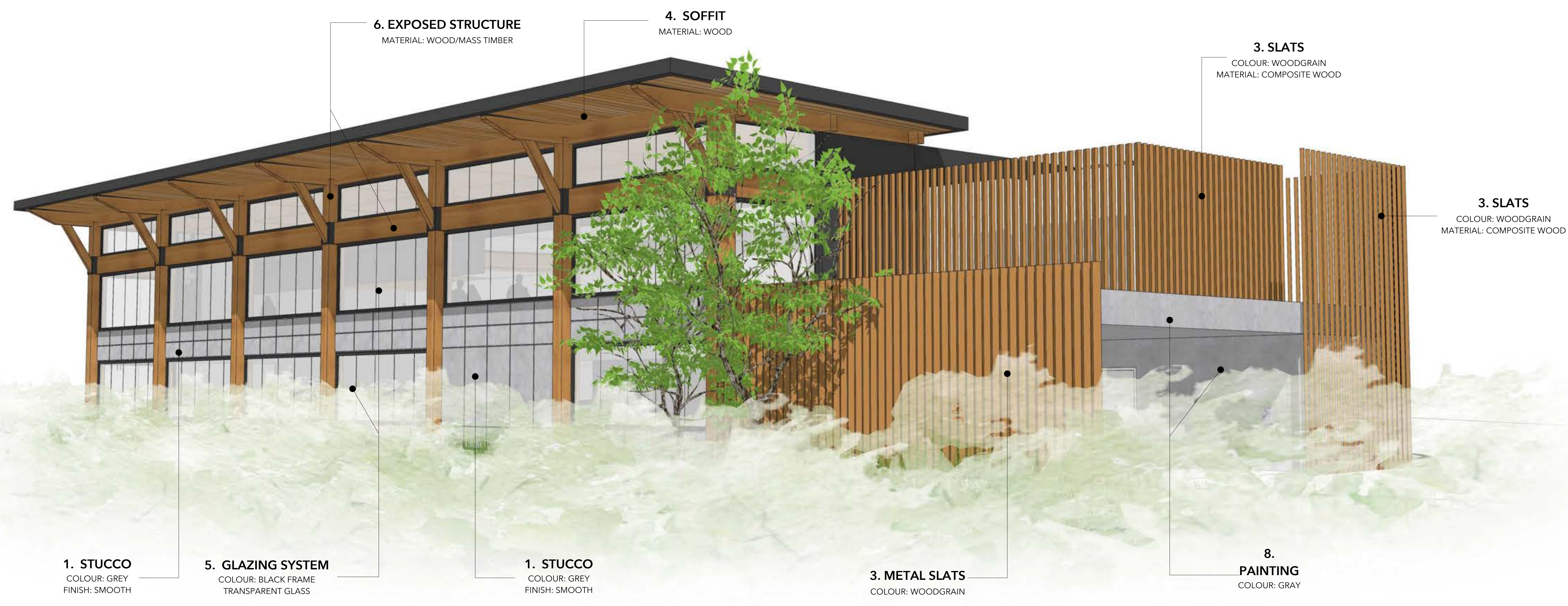
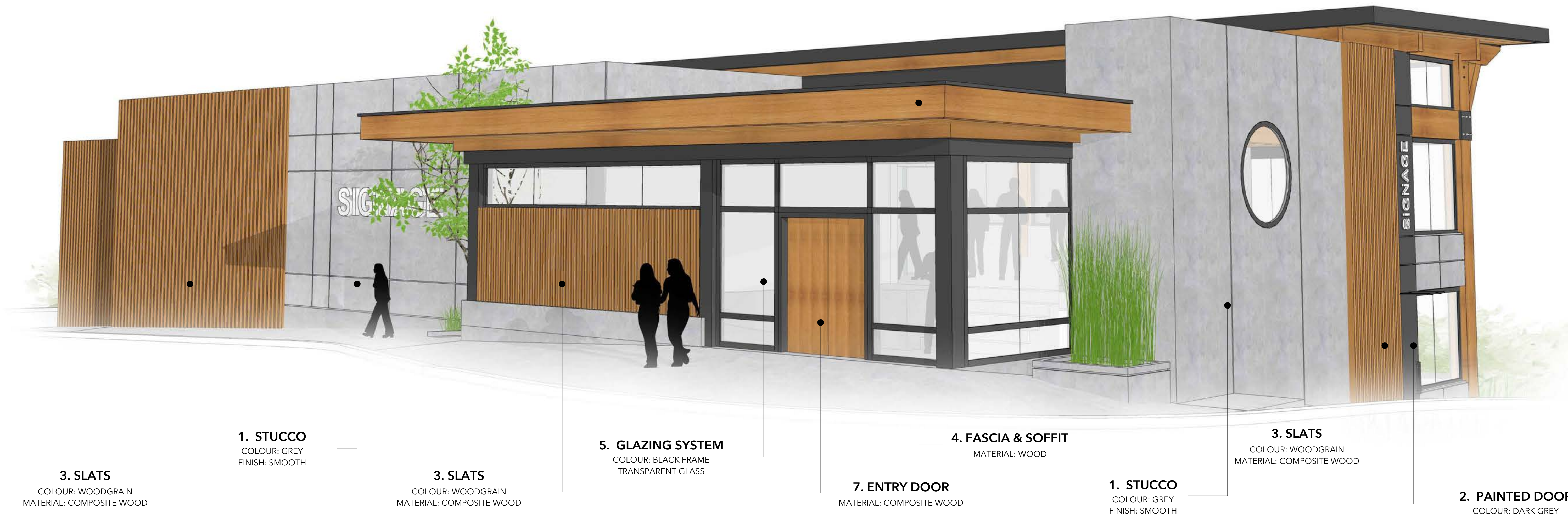
**6. EXPOSED STRUCTURE**  
MATERIAL: WOOD / MASS TIMBER



**7. ENTRY DOOR**  
MATERIAL: COMPOSITE WOOD



**8. PAINTING**  
COLOUR: GRAY



NOTE:  
THE LANDSCAPE IS SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE PROJECT FOR DETAILS AND ADDITIONAL INFORMATION.

REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JC PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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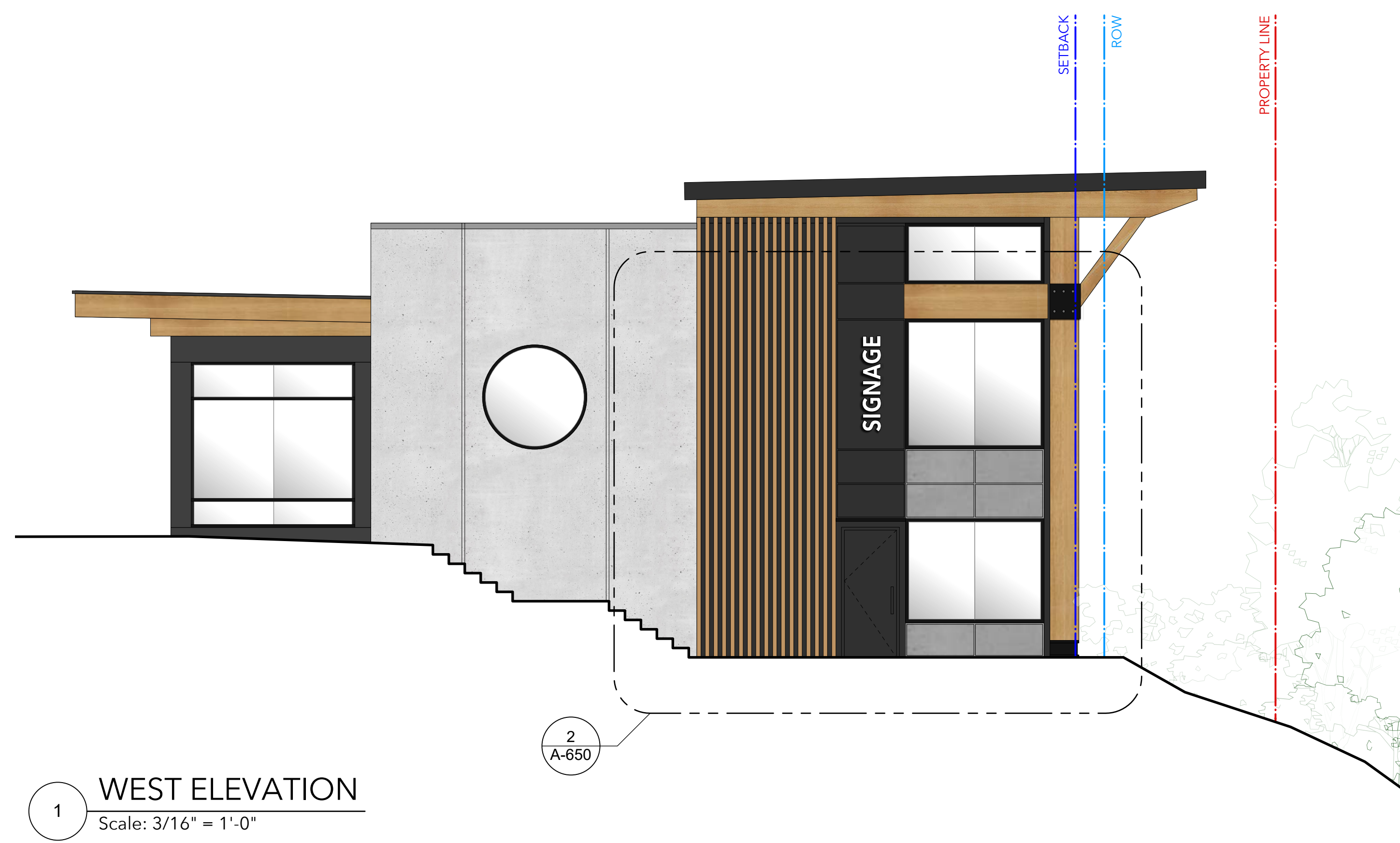
PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**MATERIAL BOARD**  
EAST BUILDING  
(RESTAURANT)

PROJECT NO.	PLAT DATE
21050	Nov. 10, 2023
SCALE	AS NOTED

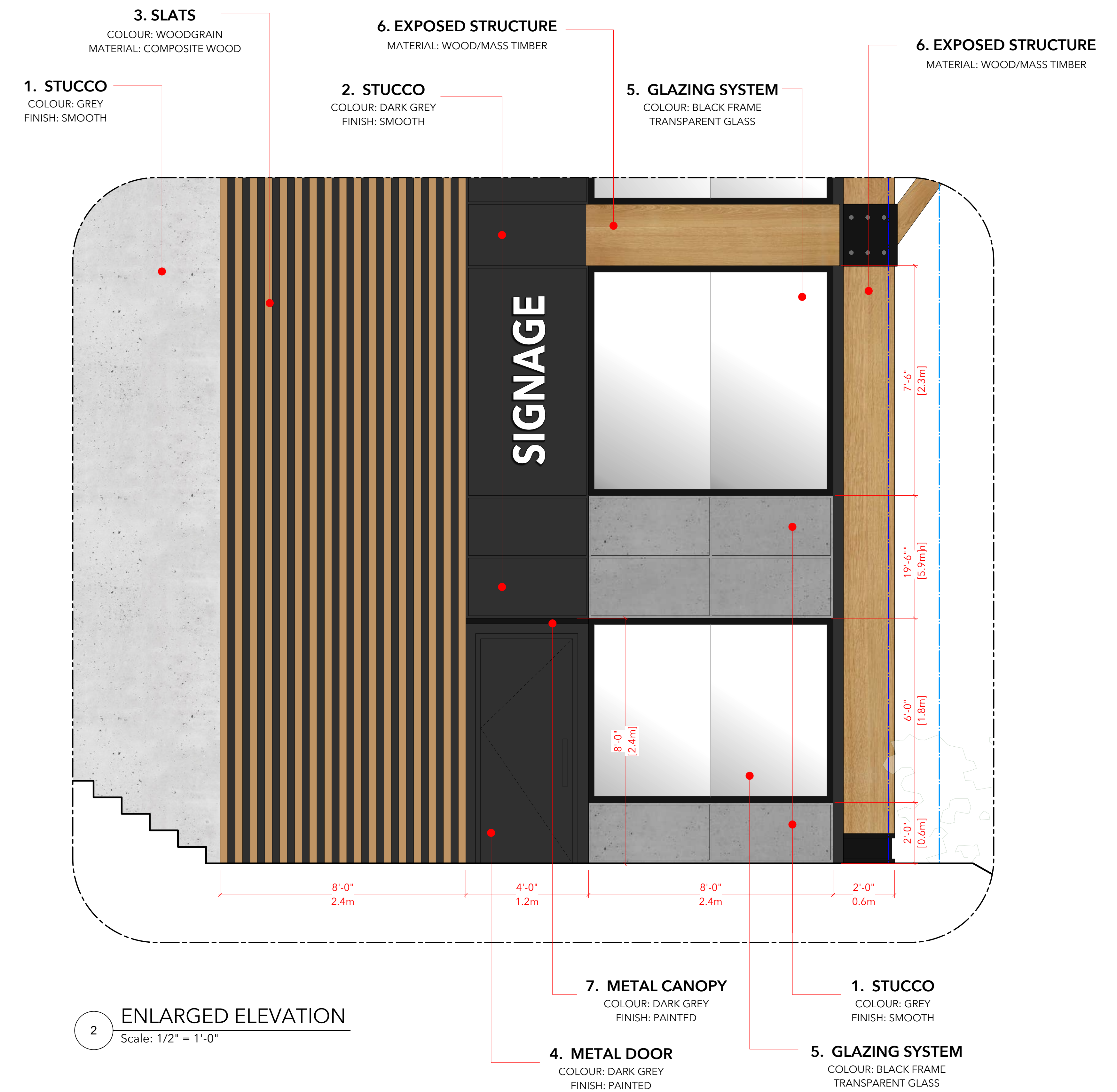
DRAWING NO.	REVISION
A-641	05





1 WEST ELEVATION  
 Scale: 3/16" = 1'-0"

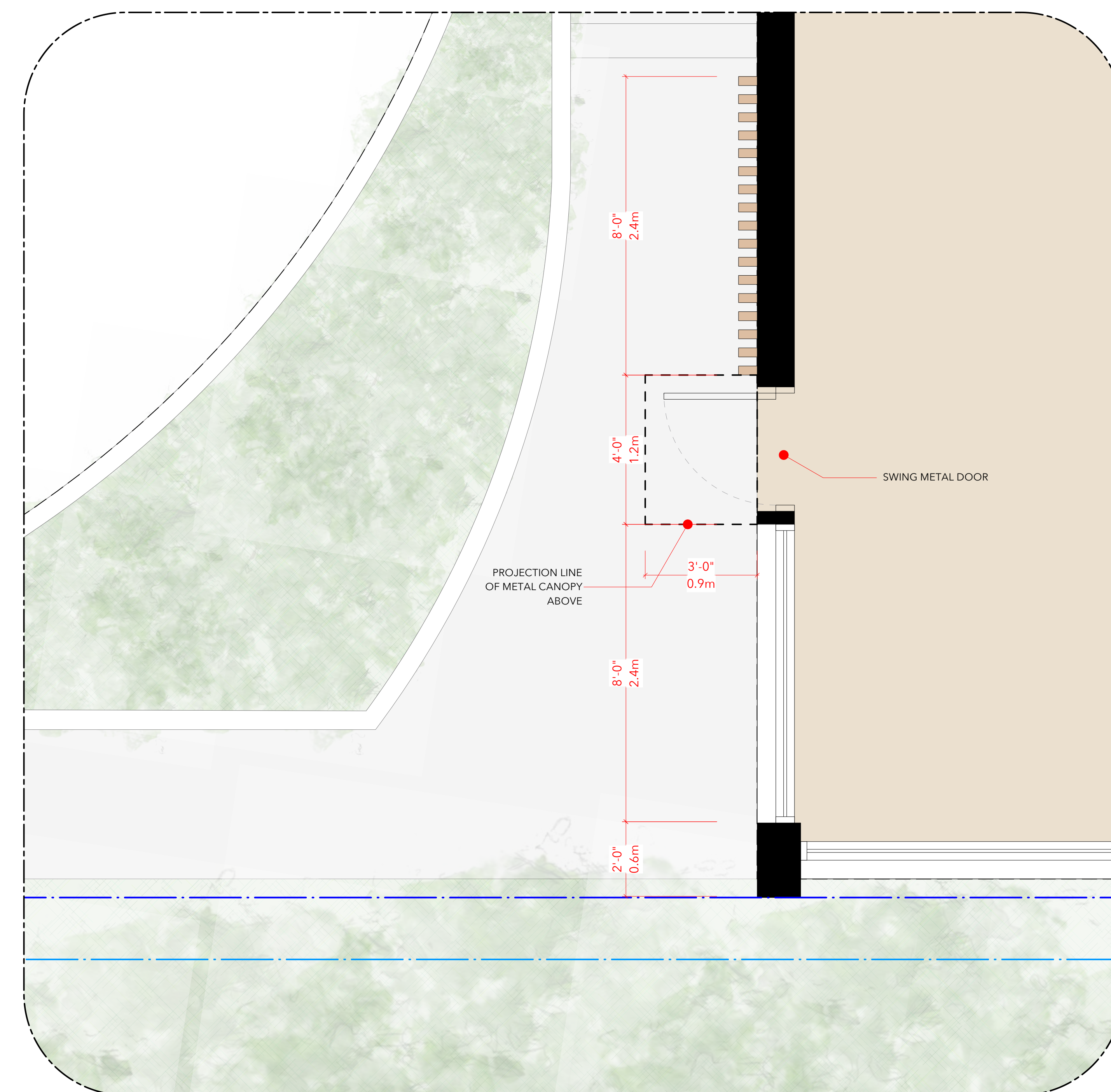
**MATERIAL LEGEND**



2 ENLARGED ELEVATION  
 Scale: 1/2" = 1'-0"



4 PERSPECTIVE @ NW CORNER  
 Scale: 1/2" = 1'-0"



3 ENLARGED PLAN - LOWER LEVEL  
 Scale: 1/2" = 1'-0"

NOTE:  
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05	2023/11/10	ISSUED FOR REZONING & DP	JG	PM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC	PM
03	2023/04/28	ISSUED FOR REZONING	PC	PM
02	2023/12/21	ISSUED FOR REZONING	PC	PM
01	2022/08/19	ISSUED FOR REZONING	PC	PM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC	PM

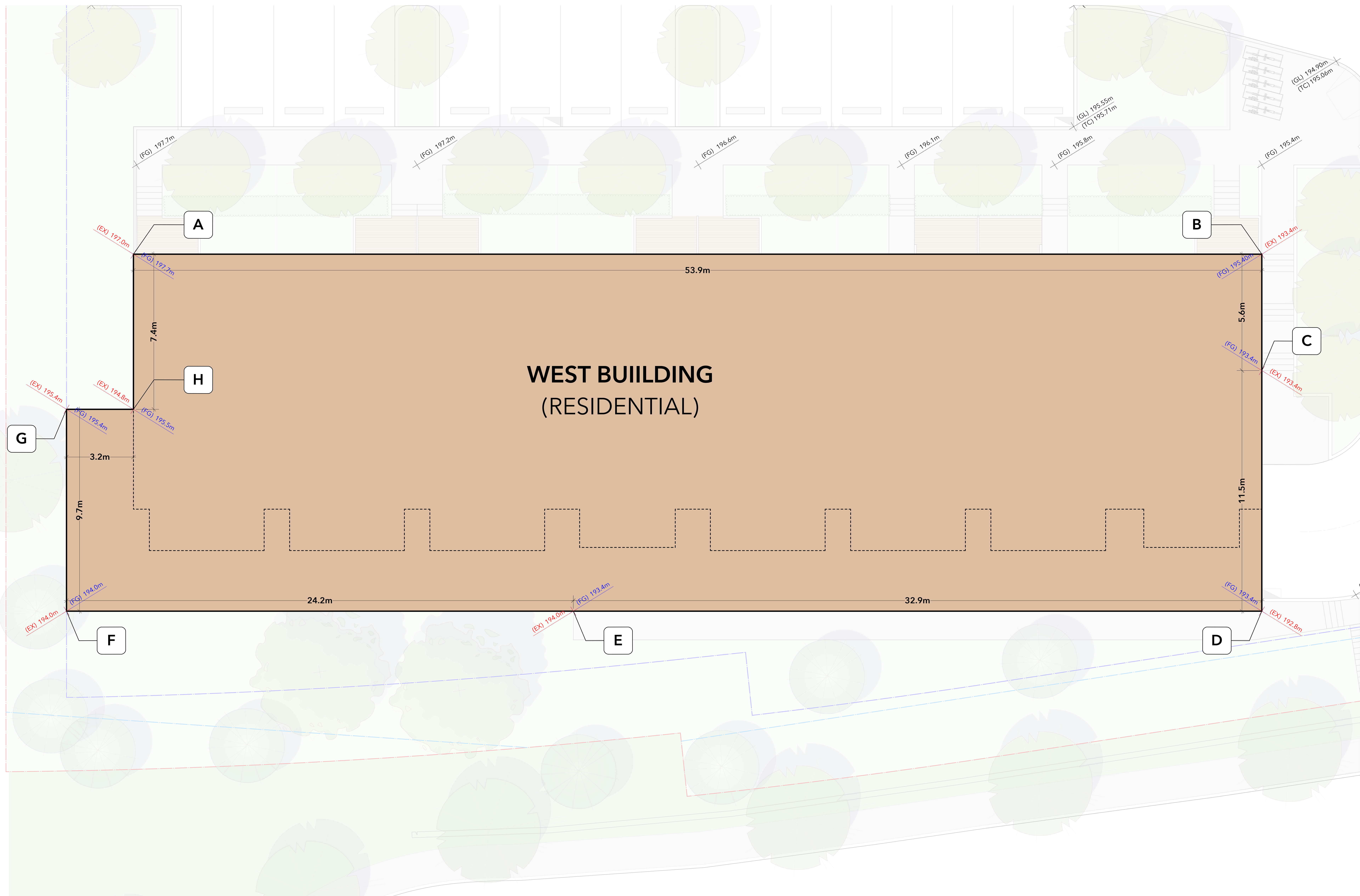
REV DATE DESCRIPTION DWG  
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PROJECT  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE  
**OFFICE ENTRY**  
 EAST BUILDING  
 (RESTAURANT)

PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-650	SCALE	AS NOTED
REVISION	05		





**1 GRADE PLAN**  
 Scale: 3/16" = 1'-0"

**LEGEND**

(EX) 0.0m	EXISTING GRADE
(FG) 0.0m	FINISHED BUILDING GRADE
(DX) 0.00m	PROPOSED GRADE

NOTE:  
 REFER TO ENLARGED PLANS FOR GRADE CALCULATIONS  
 ON SHEETS A-600 AND A-700.

WEST BUILDING GRADE CALCULATION											
ZONING BYLAW SECTION 120.17											
EXISTING GRADE						FINISHED GRADE					
BLDG FACE	GRADE 1	GRADE 2	LENGTH	AVG GRADE		BLDG FACE	GRADE 1	GRADE 2	LENGTH	AVG GRADE	
A - B	(197.0 m + 193.4 m) / 2	X	53.9 m	= 10,521.3 m		A - B	(197.7 m + 195.4 m) / 2	X	53.9 m	= 10,594.0 m	
B - C	(193.4 m + 193.4 m) / 2	X	5.6 m	= 1,083.0 m		B - C	(195.4 m + 193.4 m) / 2	X	5.6 m	= 1,088.6 m	
C - D	(193.4 m + 192.8 m) / 2	X	11.5 m	= 2,220.7 m		C - D	(193.4 m + 193.4 m) / 2	X	11.5 m	= 2,224.1 m	
D - E	(192.8 m + 194.0 m) / 2	X	32.9 m	= 6,362.9 m		D - E	(193.4 m + 193.4 m) / 2	X	32.9 m	= 6,362.9 m	
E - F	(194.0 m + 194.0 m) / 2	X	24.2 m	= 4,694.8 m		E - F	(193.4 m + 194.0 m) / 2	X	24.2 m	= 4,687.5 m	
F - G	(194.0 m + 195.4 m) / 2	X	9.7 m	= 1,888.6 m		F - G	(194.0 m + 195.4 m) / 2	X	9.7 m	= 1,888.6 m	
G - H	(195.4 m + 194.8 m) / 2	X	3.2 m	= 624.3 m		G - H	(195.4 m + 195.5 m) / 2	X	3.2 m	= 625.4 m	
H - A	(194.8 m + 197.0 m) / 2	X	7.4 m	= 1,449.7 m		H - A	(195.5 m + 197.7 m) / 2	X	7.4 m	= 1,454.8 m	
<b>TOTALS</b>			<b>148.4 m</b>	<b>28,845.2 m</b>		<b>TOTALS</b>			<b>148.4 m</b>	<b>28,926.1 m</b>	
			<b>AVERAGE EXISTING GRADE</b>	<b>194.4 m</b>					<b>AVERAGE FINISHED GRADE</b>	<b>194.9 m</b>	

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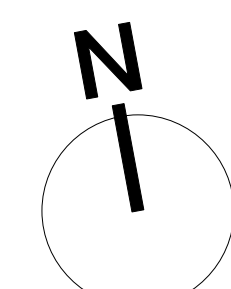
REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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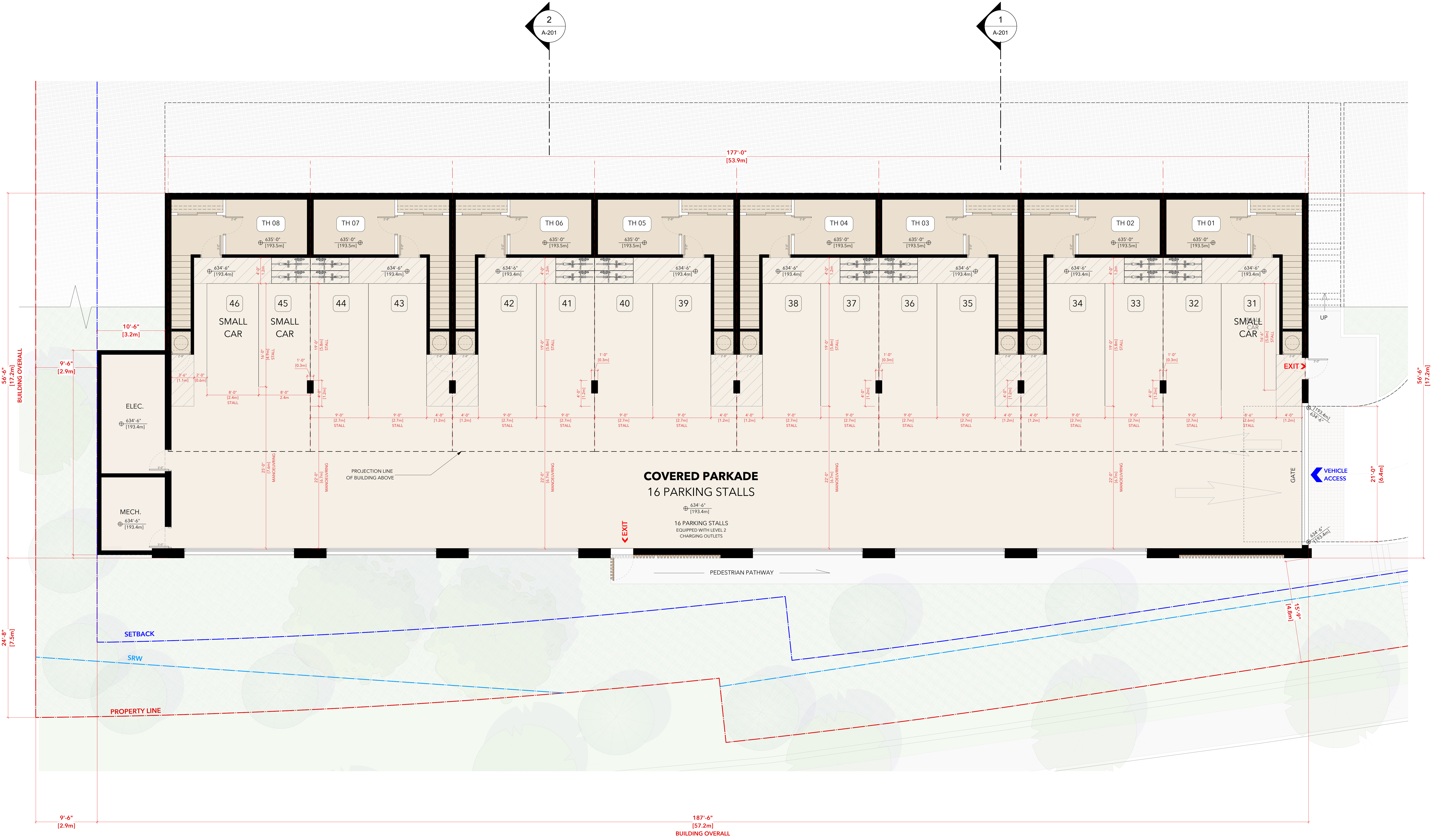
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**GRADE PLAN**  
**WEST BUILDING (RESIDENTIAL)**

PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-700	SCALE	AS NOTED
REVISION	05		







**1 LOWER LEVEL - FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

NOTE:  
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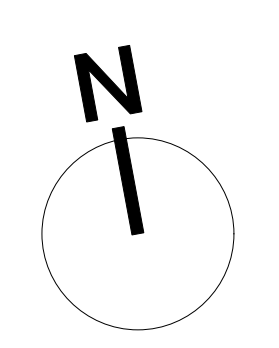
REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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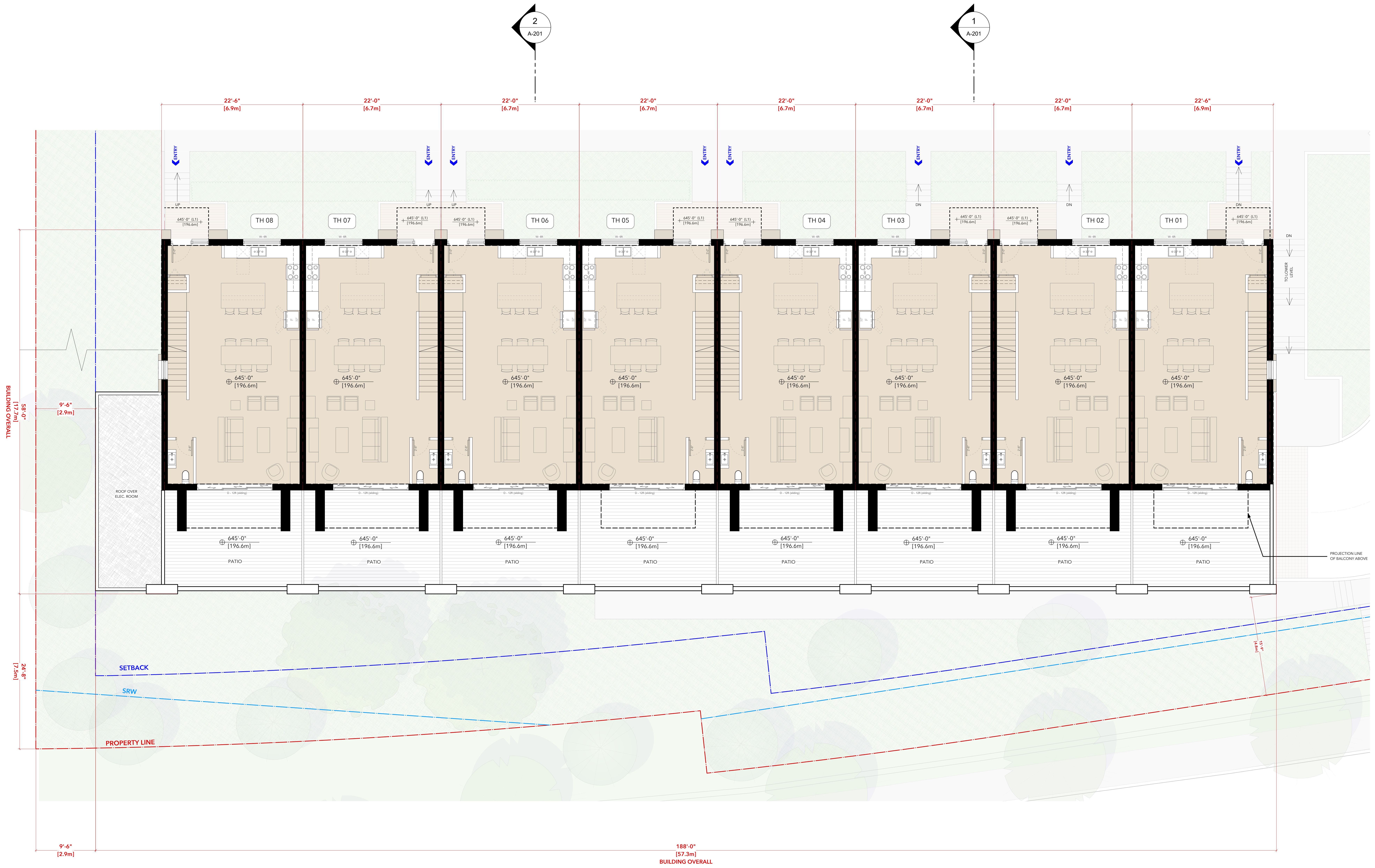
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**LOWER LEVEL**  
 WEST BUILDING  
 (RESIDENTIAL)

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05
DRAWING NO. <b>A-701</b>			







**1 MAIN LEVEL - FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & OP	JG PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230428	ISSUED FOR REZONING	PC PJM
02	20231221	ISSUED FOR REZONING	PC PJM
01	20220819	ISSUED FOR REZONING	PC PJM
-	20220729	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

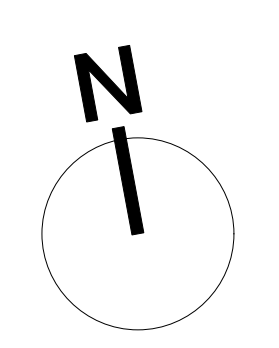
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

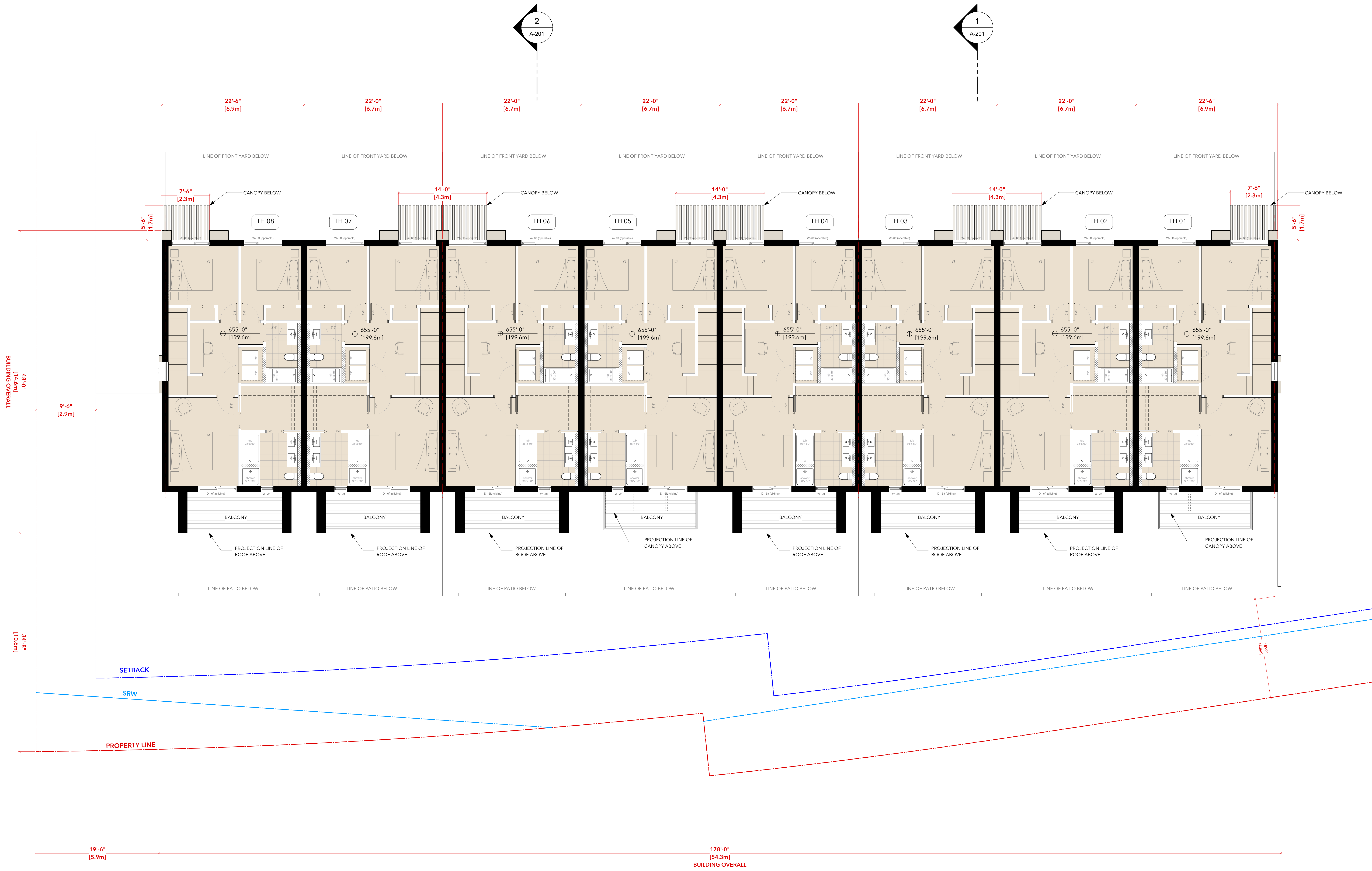
SHEET TITLE:  
**MAIN LEVEL**  
**WEST BUILDING**  
**(RESIDENTIAL)**

PROJECT NO.	DATE
21050	Nov. 10, 2023

DRAWING NO.	REVISION
A-702	05







**1 UPPER LEVEL - FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & DP	JG PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230428	ISSUED FOR REZONING	PC PJM
02	20231221	ISSUED FOR REZONING	PC PJM
01	20220819	ISSUED FOR REZONING	PC PJM
-	20220729	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

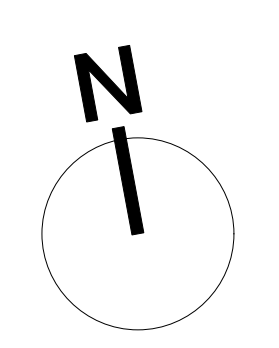
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

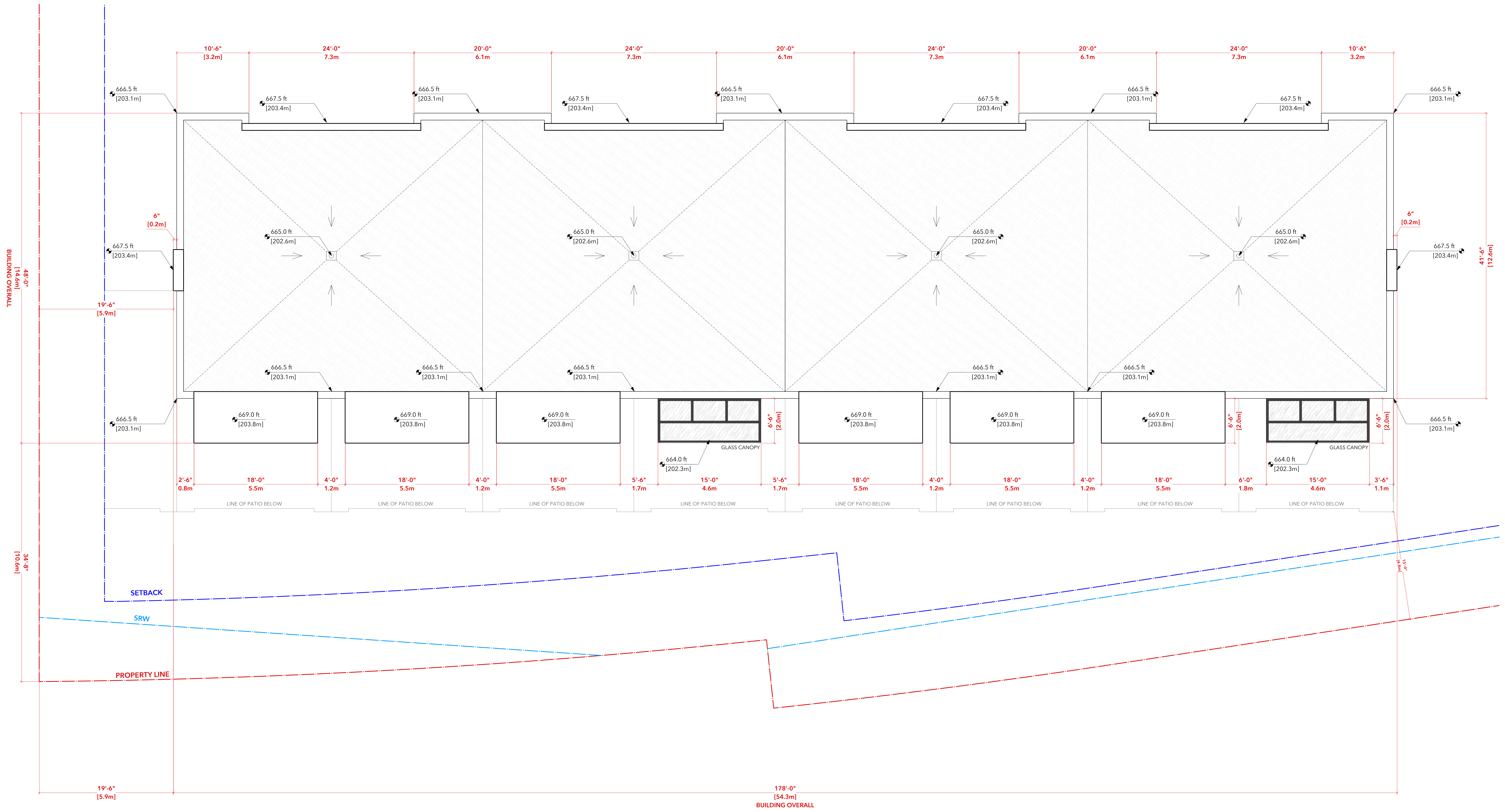
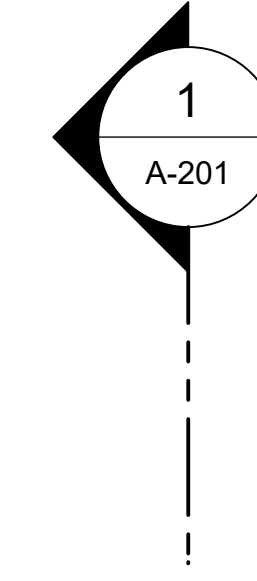
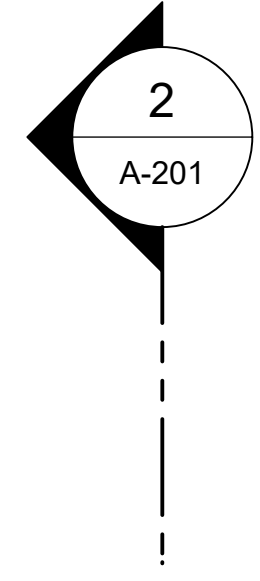
SHEET TITLE:  
**UPPER LEVEL**  
**WEST BUILDING**  
**(RESIDENTIAL)**

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05

DRAWING NO.: **A-703**







NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & OP	JC PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230428	ISSUED FOR REZONING	PC PJM
02	20231221	ISSUED FOR REZONING	PC PJM
01	20220819	ISSUED FOR REZONING	PC PJM
-	20220729	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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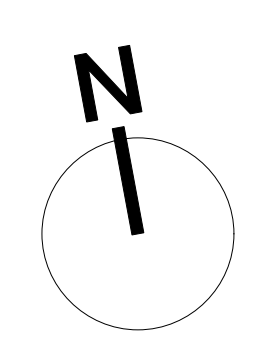
PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**ROOF PLAN**  
 WEST BUILDING  
 (RESIDENTIAL)

PROJECT NO.	21050	DATE	Nov. 10, 2023
DRAWING NO.	A-704	SCALE	AS NOTED

REVISION	05
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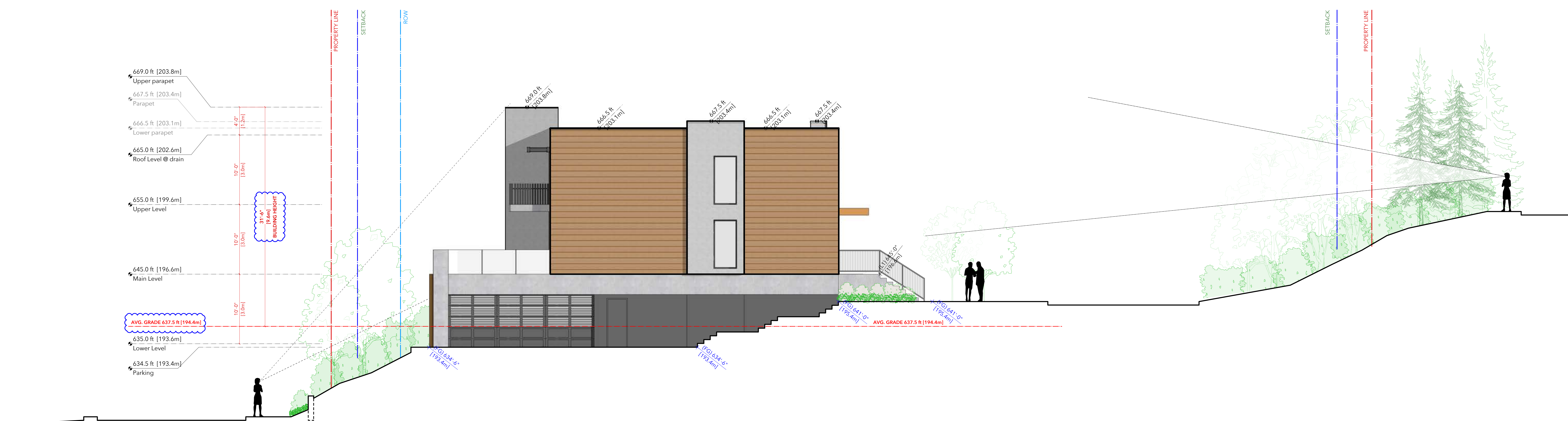
**1 ROOF PLAN**  
 Scale: 3/16" = 1'-0"







**1 NORTH ELEVATION**  
 Scale: 3/16" = 1'-0"



**2 EAST ELEVATION**  
 Scale: 3/16" = 1'-0"

NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

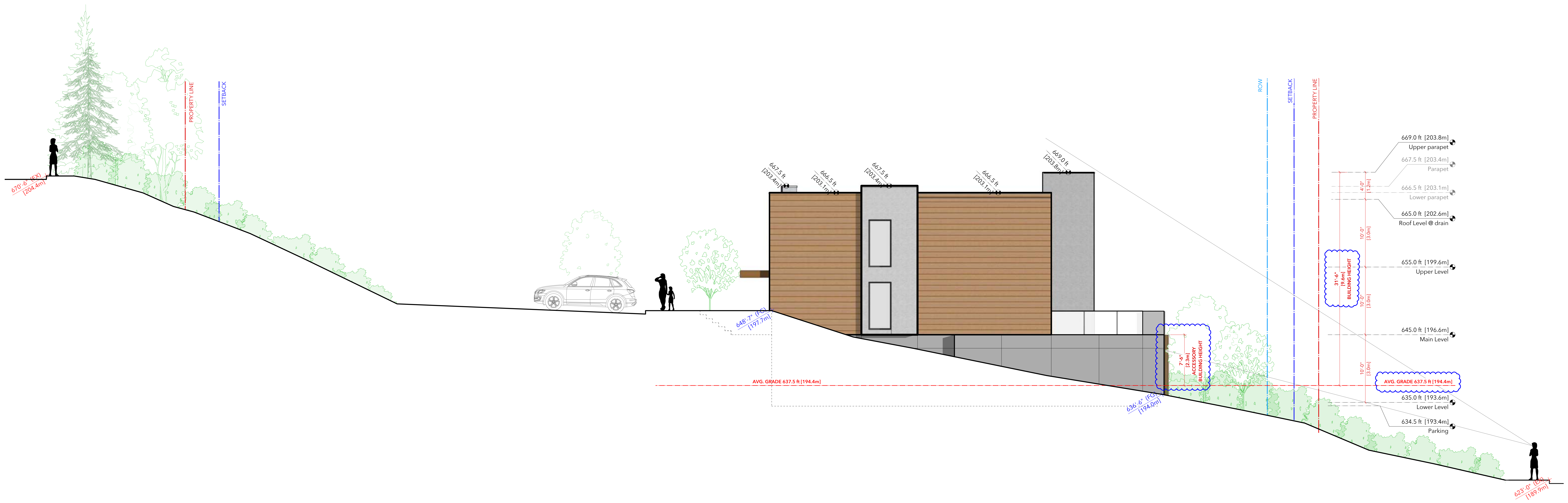
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PROJECT	
SALMON HOUSE	
2221 - 2229 FOLKESTONE WAY WEST VANCOUVER, BC	
SHEET TITLE	
ENLARGED ELEVATIONS	
WEST BUILDING (RESIDENTIAL)	
PROJECT NO.	21050
PLANT DATE	Nov. 10, 2023
SCALE	AS NOTED
DRAWING NO.	A-730
REVISION	05





1 SOUTH ELEVATION  
 Scale: 3/16" = 1'-0"



2 WEST ELEVATION  
 Scale: 3/16" = 1'-0"

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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	JC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2022/08/19	ISSUED FOR REZONING	PC P/M
-	2022/07/09	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

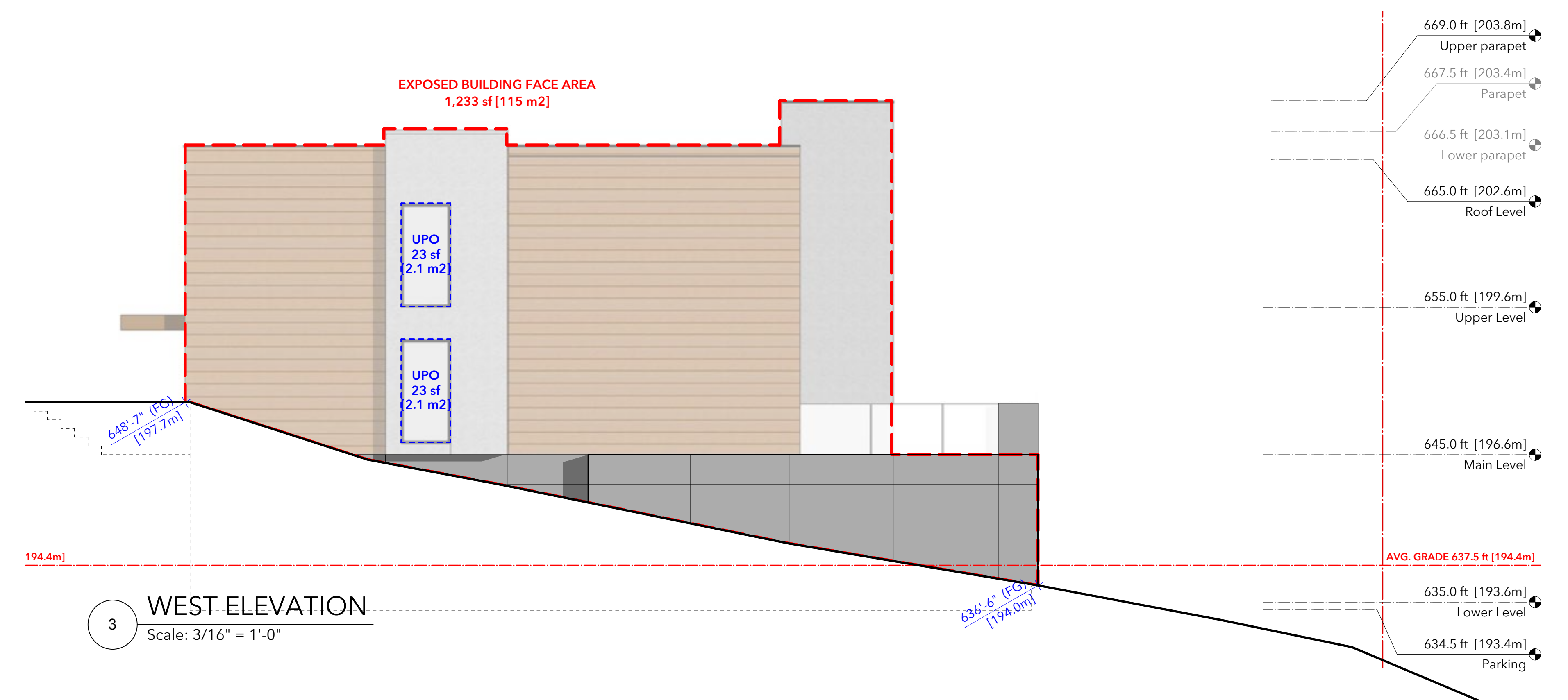
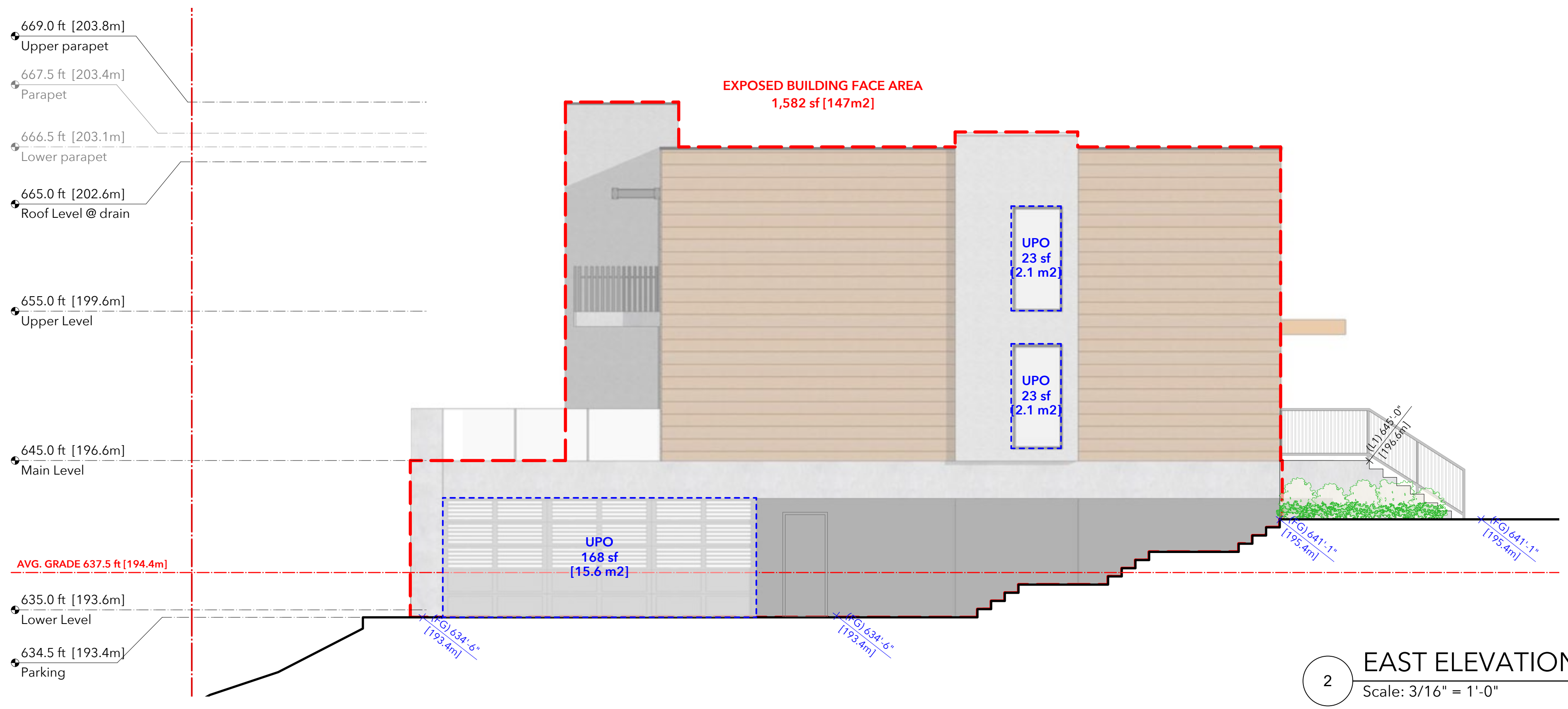
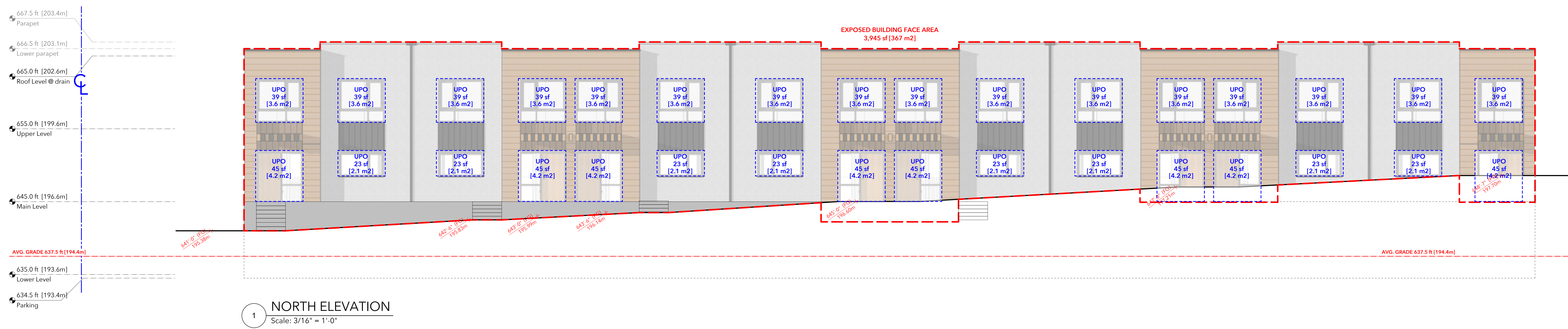
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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**ENLARGED ELEVATIONS**  
 WEST BUILDING  
 (RESIDENTIAL)

PROJECT NO.	DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	05
DRAWING NO. <b>A-731</b>			

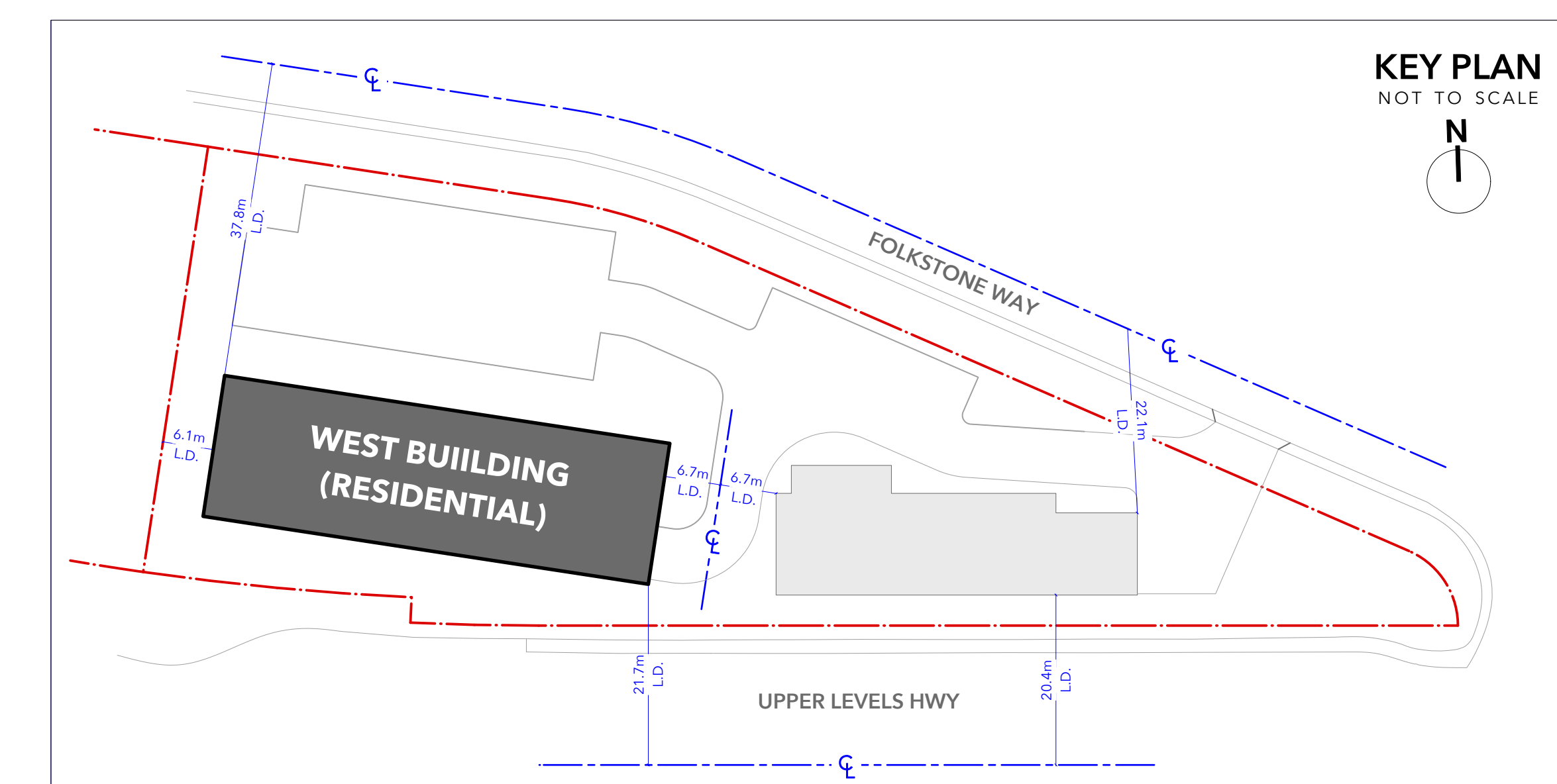




**SPATIAL SEPARATION - WEST BUILDING (RESIDENTIAL)**

REFERENCE  
Building Code BCBC 2018  
Occupancy Group C  
Sprinkler YES  
Unprotected Opening Table 3.2.3.1. D  
Exposing Building Faces Table 3.2.3.7

	NORTH	WEST	SOUTH	EAST
AVG GRADE	195.1 m	195.1 m	195.1 m	195.1 m
LIMITING DISTANCE	37.8 m	6.1 m	21.7 m	6.7 m
EXPOSED BUILDING FACE	367 m2	115 m2	566 m2	147 m2
UNPROTECTED OPENING	100.0% 366.5 m2 Proposed 29.5% 108.0 m2	74.2% 85.3 m2 4.2 m2	100.0% 566.0 m2 30.5% 172.8 m2	75.9% 111.6 m2 13.5% 19.8 m2
CONSTRUCTION	Permitted Comb. or Noncomb. Proposed TBD	Permitted Comb. or Noncomb. Proposed TBD	Permitted Comb. or Noncomb. Proposed TBD	Permitted Comb. or Noncomb. Proposed TBD



NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	AG PUM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PUM
03	2023/04/28	ISSUED FOR REZONING	PC PUM
02	2023/02/01	ISSUED FOR REZONING	PC PUM
01	2022/08/19	ISSUED FOR REZONING	PC PUM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PUM

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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKSTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**SPATIAL SEPARATION**  
WEST BUILDING (RESIDENTIAL)

PROJECT NO.	PLLOT DATE	SCALE	REVISION
21050	Nov. 10, 2023	AS NOTED	A-732





NORTH EAST PERSPECTIVE VIEW



SOUTH EAST PERSPECTIVE VIEW

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REV	DATE	DESCRIPTION	DWG
05	20231110	ISSUED FOR REZONING & DP	JG PJM
04	20230714	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	20230408	ISSUED FOR REZONING	PC PJM
02	20231201	ISSUED FOR REZONING	PC PJM
01	20220819	ISSUED FOR REZONING	PC PJM
-	20220709	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

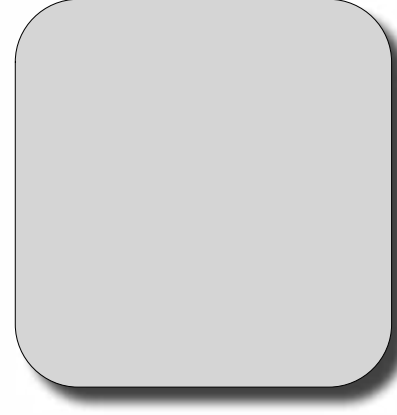


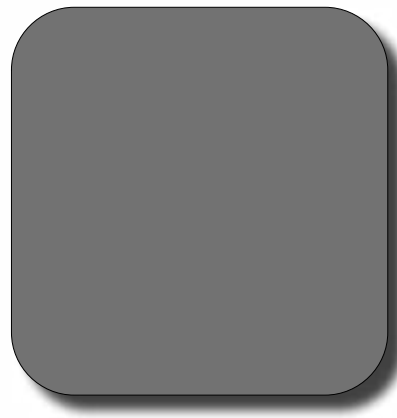

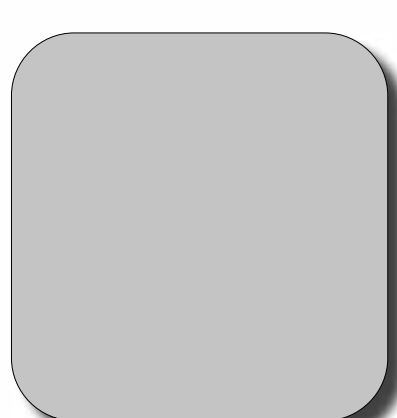

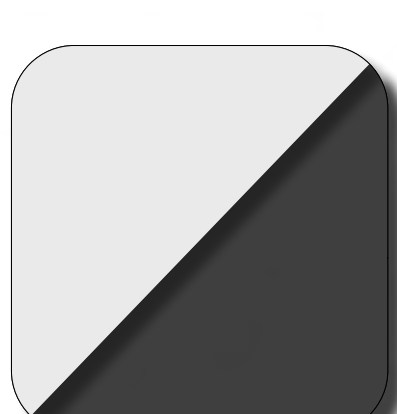





SHEET TITLE:  
**PERSPECTIVES**  
 WEST BUILDING  
 (RESIDENTIAL)

PROJECT NO.	21050	PLANT DATE	Nov. 10, 2023
SCALE	AS NOTED		

DRAWING NO.	<b>A-740</b>	REVISION	<b>05</b>
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**MATERIAL LEGEND**

	
<b>1. STUCCO</b> COLOUR: LIGHT GREY FINISH: SMOOTH	<b>6. GLAZING SYSTEM</b> COLOUR: BLACK FRAME TRANSPARENT GLASS
	
<b>2. SIDING</b> MATERIAL: FIBER CEMENT PLANK COLOUR: WOODGRAIN	<b>7. PAINTED CONCRETE</b> COLOUR: DARK GRAY
	
<b>3. SLATS</b> COLOUR: WOODGRAIN MATERIAL: COMPOSITE WOOD	<b>8. PAINTED CONCRETE</b> COLOUR: GRAY
	
<b>4. ENTRY DOOR</b> MATERIAL: COMPOSITE WOOD	<b>9. GLASS GUARD SYSTEM</b> COLOUR: BLACK FRAME TRANSPARENT GLASS
	
<b>5. TRELLIS/CANOPY</b> MATERIAL: WOOD	<b>10. LOUVRES</b> MATERIAL: METAL COLOUR: BLACK
	
<b>11. GLASS CANOPY SYSTEM</b> COLOUR: BLACK FRAME TRANSPARENT GLASS	<b>12. RAILING</b> MATERIAL: METAL COLOUR: BLACK
	
<b>13. SIDING</b> MATERIAL: FIBER CEMENT PLANK COLOUR: BLACK	



NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & OP	AC P/M
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC P/M
03	2023/04/28	ISSUED FOR REZONING	PC P/M
02	2023/12/21	ISSUED FOR REZONING	PC P/M
01	2023/08/19	ISSUED FOR REZONING	PC P/M
-	2023/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC P/M

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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**MATERIAL BOARD**  
WEST BUILDING  
(RESIDENTIAL)

PROJECT NO.	PLANT DATE	REVISION
21050	Nov. 10, 2023	05
DRAWING NO.	SCALE	
<b>A-741</b>	AS NOTED	

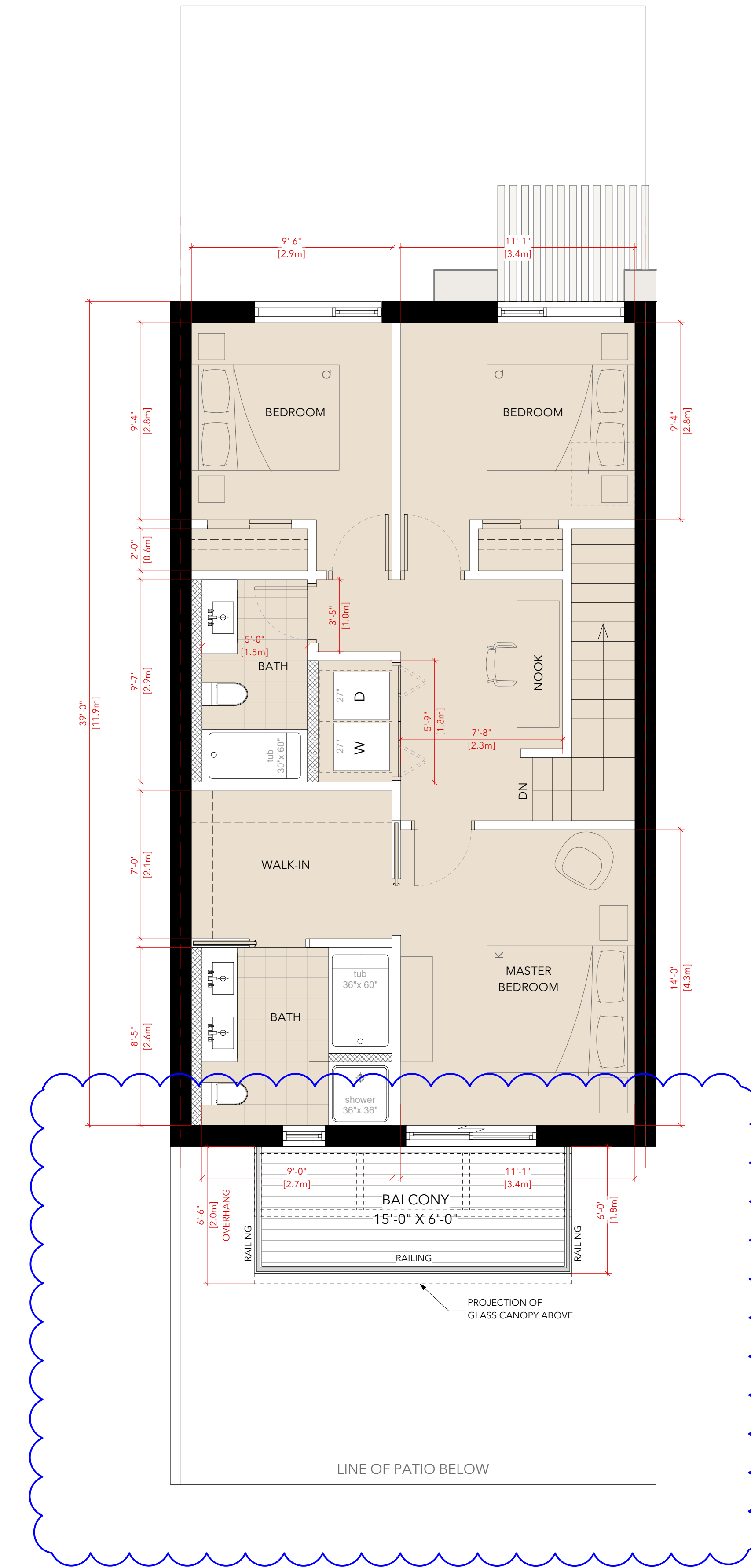
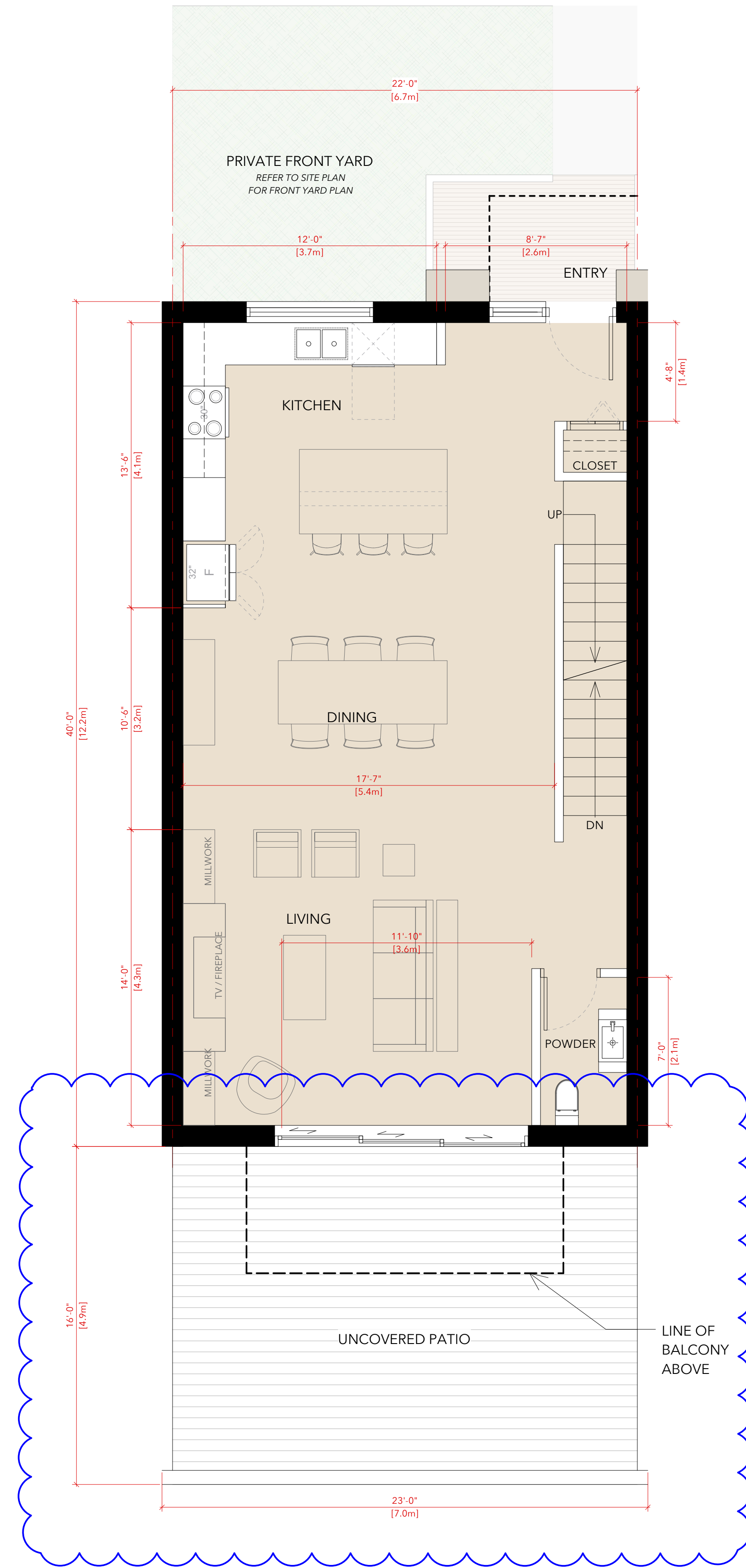
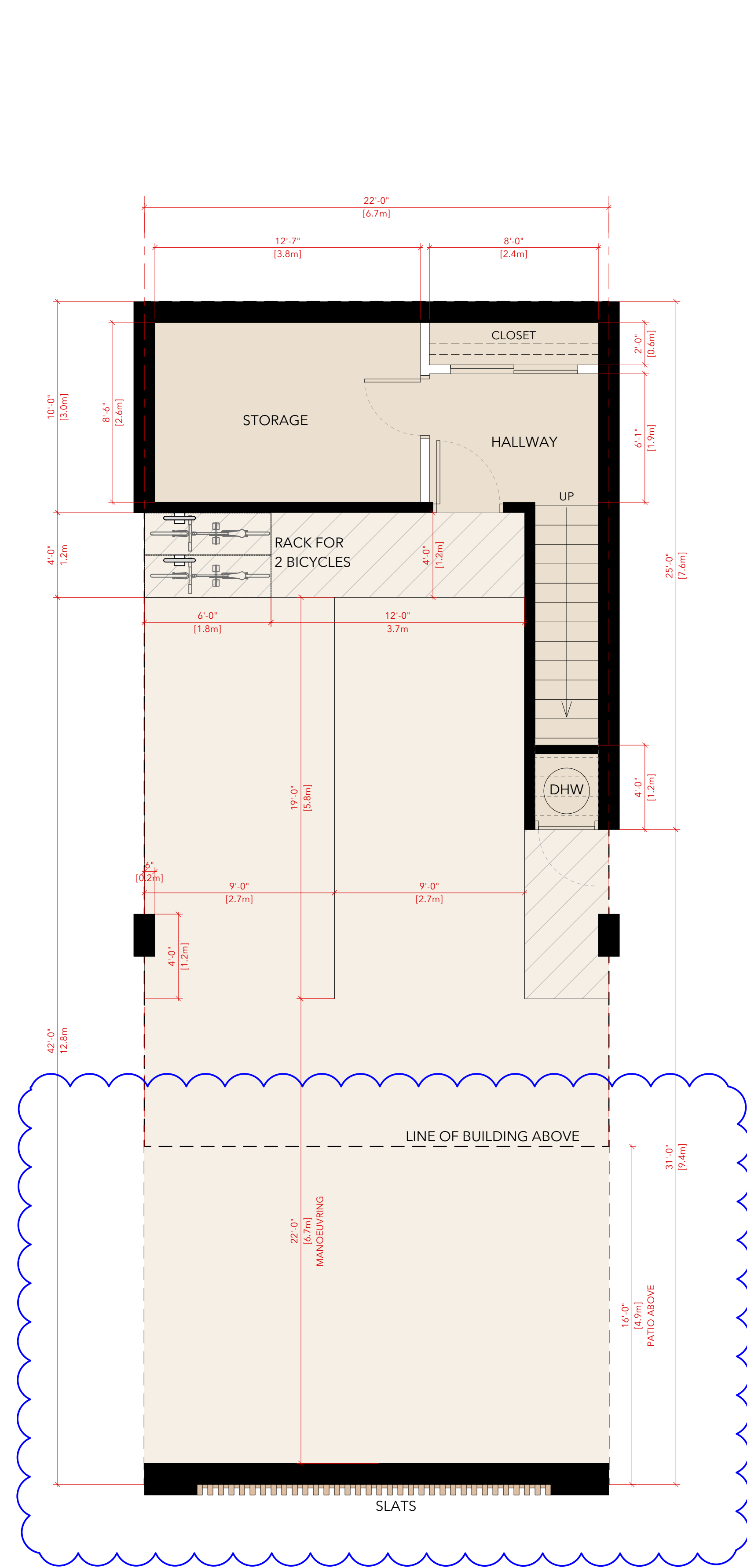


# TOWNHOUSE TYPE 1

UNITS: TH.01, TH.05

**TOWNHOUSE AREA**  
(per unit)

LEVEL 1 = 280 sf  
LEVEL 2 = 880 sf  
LEVEL 3 = 880 sf  
TOTAL = 2,040 sf



NOTE:  
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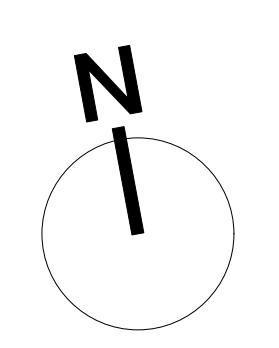
REV	DATE	DESCRIPTION	PC	PJM
05	2023/11/10	ISSUED FOR REZONING & OP	AC	PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC	PJM
03	2023/04/28	ISSUED FOR REZONING	PC	PJM
02	2023/12/21	ISSUED FOR REZONING	PC	PJM
01	2022/08/19	ISSUED FOR REZONING	PC	PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC	PJM

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PROJECT:  
**SALMON HOUSE**  
2221 - 2229 FOLKESTONE WAY  
WEST VANCOUVER, BC

SHEET TITLE:  
**ENLARGED PLANS**  
WEST BUILDING  
(RESIDENTIAL)

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		
DRAWING NO.	A-750	REVISION	05



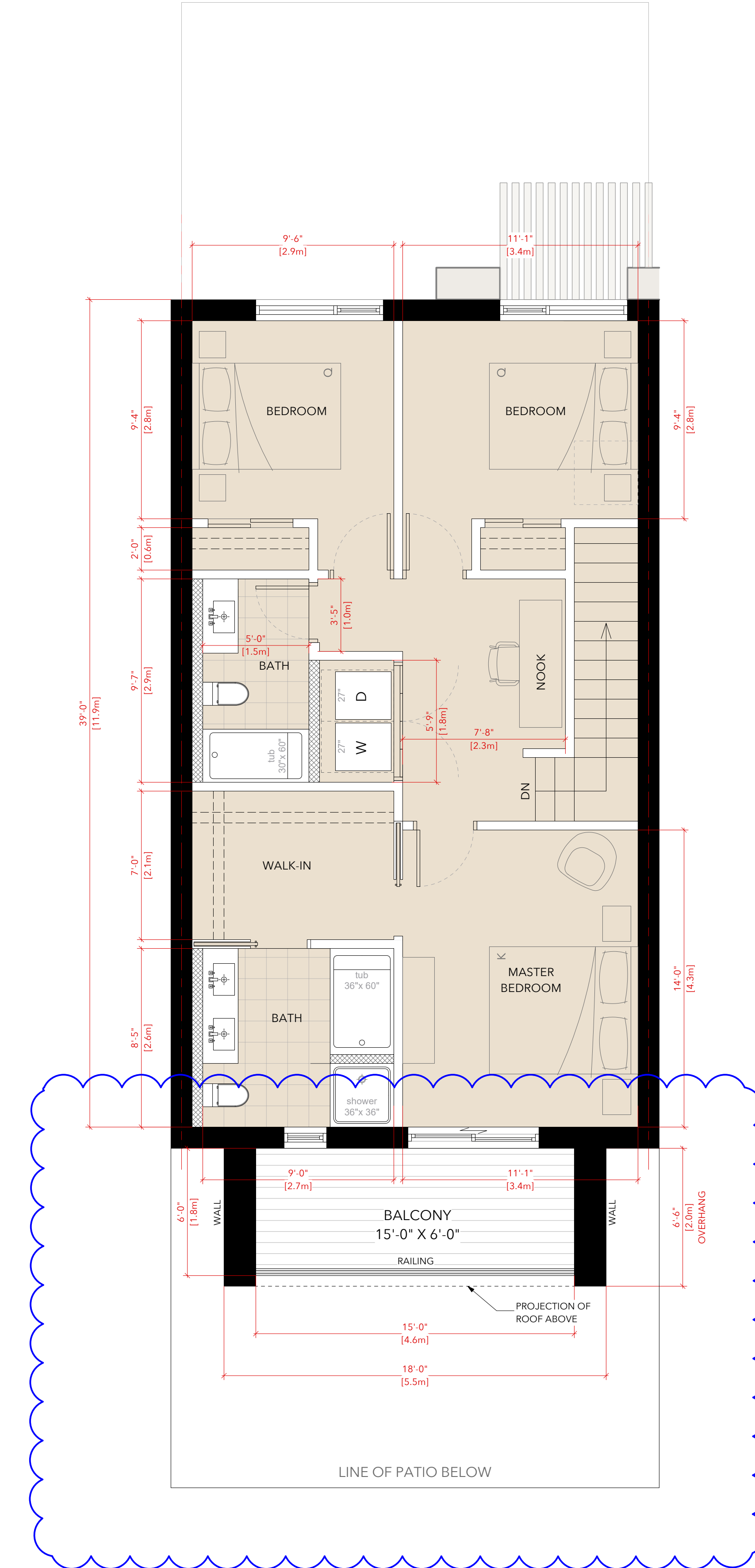
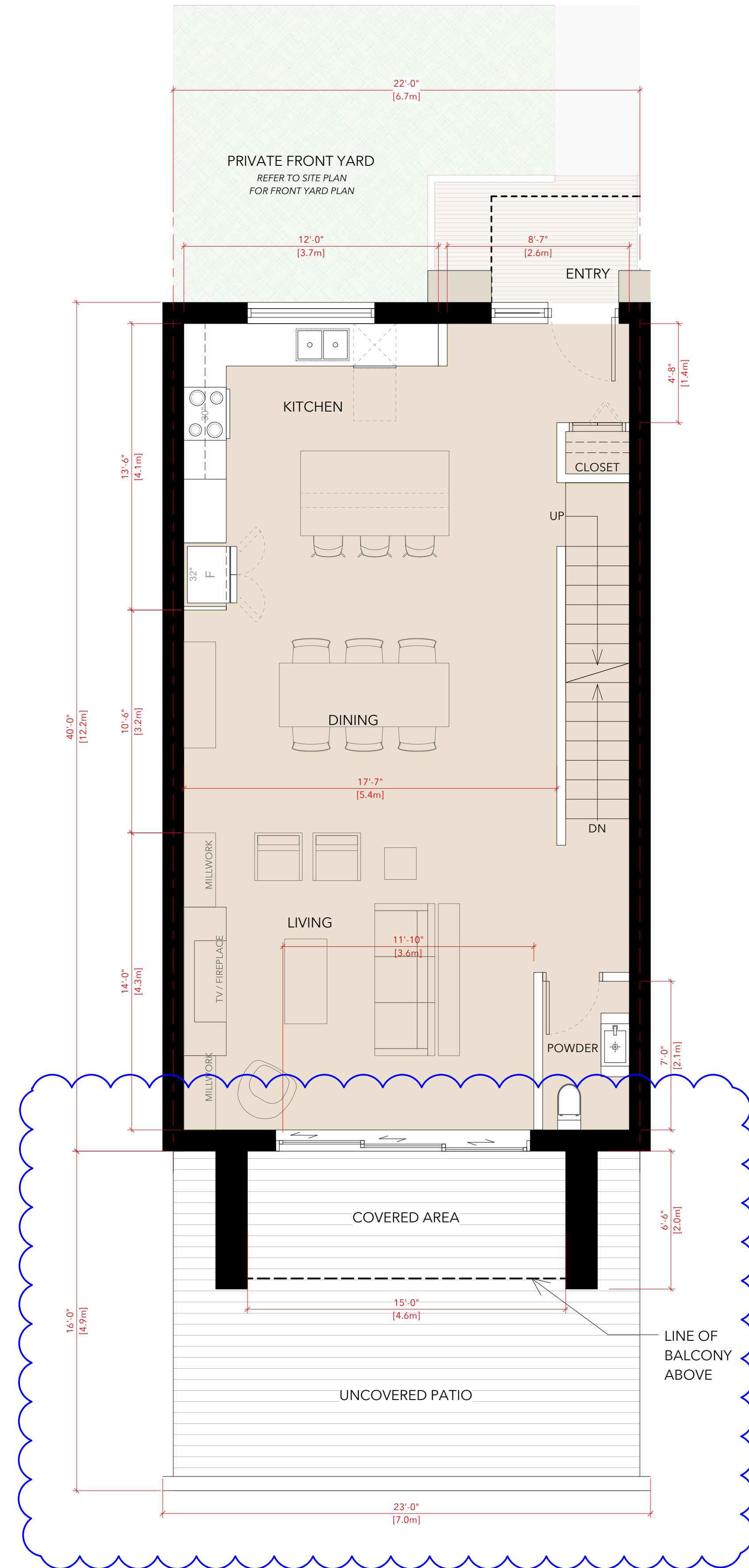
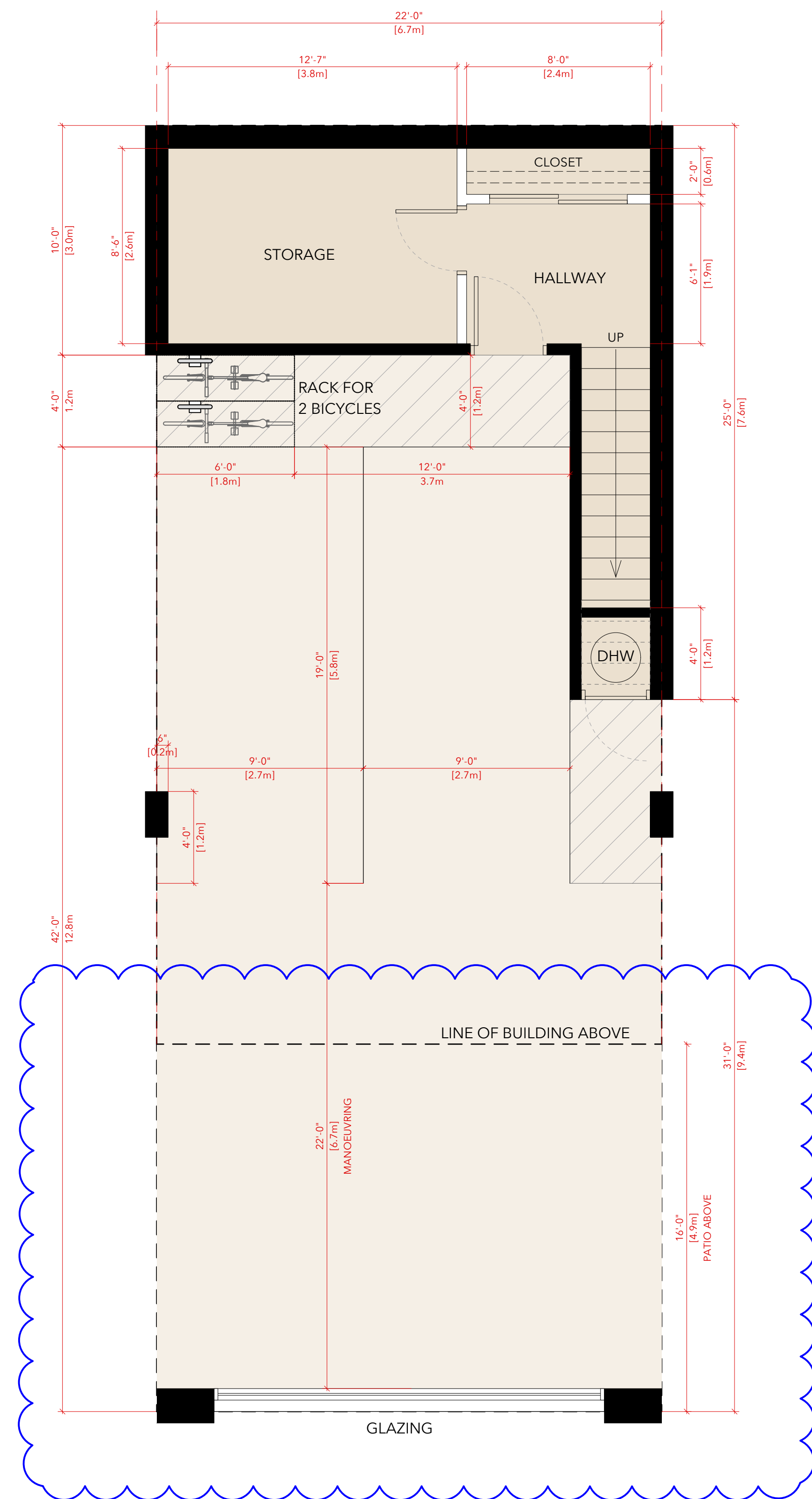


# TOWNHOUSE TYPE 2

UNITS: TH.02, TH.03, TH.04, TH.06, TH.07, TH.08

**TOWNHOUSE AREA**  
(per unit)

LEVEL 1 = 280 sf  
 LEVEL 2 = 880 sf  
 LEVEL 3 = 880 sf  
 TOTAL = 2,040 sf



NOTE:  
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REV	DATE	DESCRIPTION	DWG
05	2023/11/10	ISSUED FOR REZONING & DP	JG PJM
04	2023/07/14	ISSUED FOR REZONING - OAC RESPONSE	PC PJM
03	2023/04/28	ISSUED FOR REZONING	PC PJM
02	2023/12/21	ISSUED FOR REZONING	PC PJM
01	2022/08/19	ISSUED FOR REZONING	PC PJM
-	2022/07/29	ISSUED FOR REZONING - PRE APPLICATION	PC PJM

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PROJECT:  
**SALMON HOUSE**  
 2221 - 2229 FOLKESTONE WAY  
 WEST VANCOUVER, BC

SHEET TITLE:  
**ENLARGED PLANS**  
 WEST BUILDING  
 (RESIDENTIAL)

PROJECT NO.	21050	DATE	Nov. 10, 2023
SCALE	AS NOTED		
DRAWING NO.	A-751		
REVISION	05		

