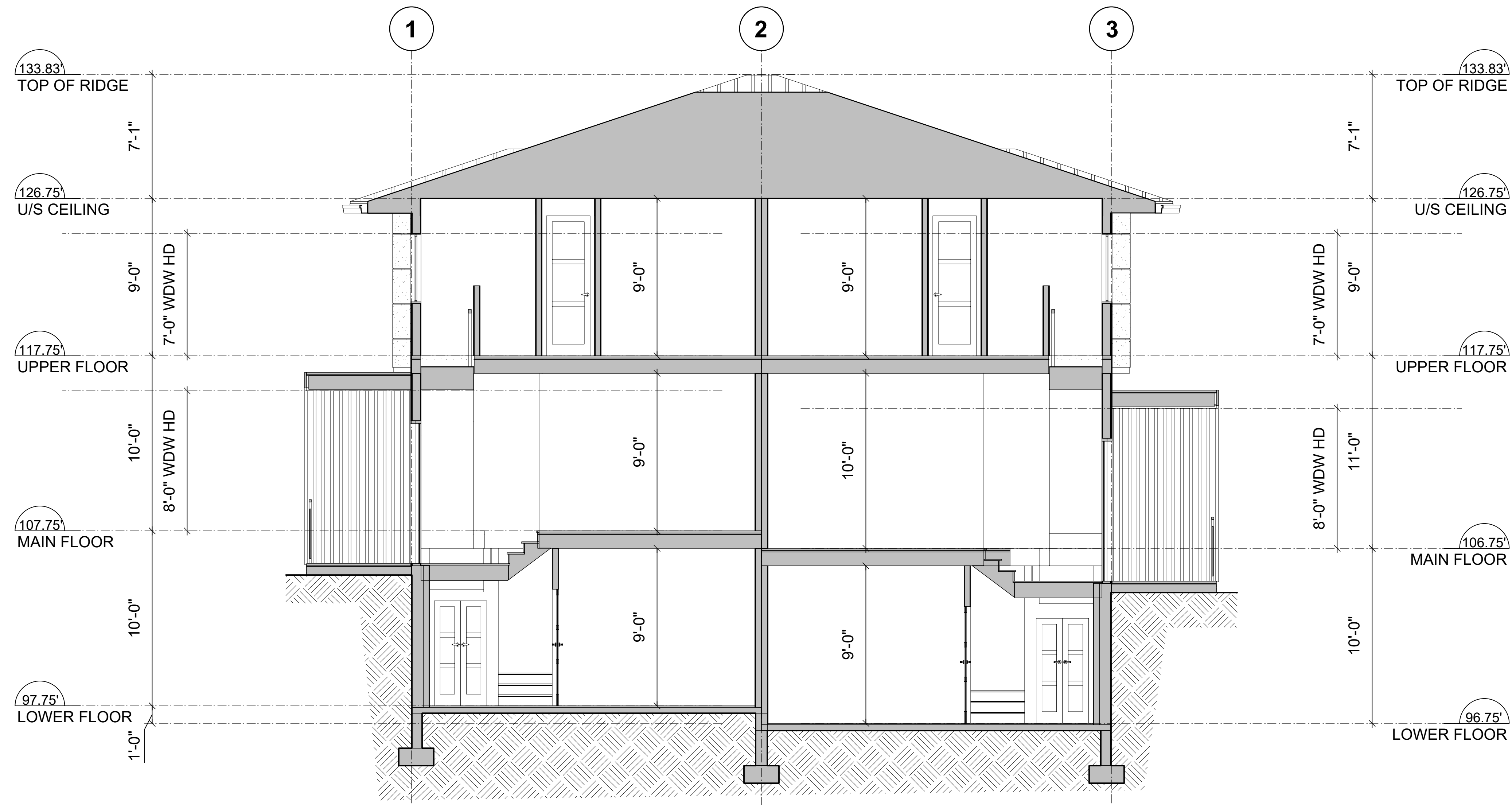


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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



B Section B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D3

DRAWING
SECTION B-B

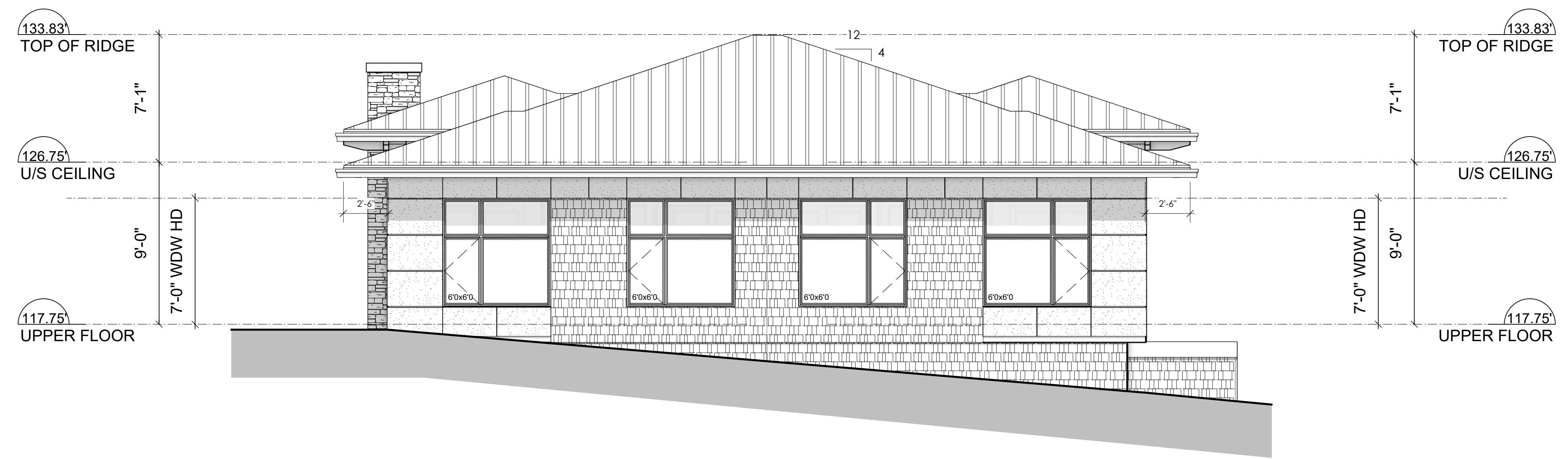
PROJECT#	8030	SHEET	AD3-3.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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LOWER FLOOR / BASEMENT EXEMPTIONS: = 100% LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

FRONT ELEVATION
UNIT D3



BACK ELEVATION
UNIT D3

REVISIONS

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H unit additions	Oct 1, 2023



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D3

DRAWING

FRONT & BACK ELEVATIONS

PROJECT#	8030	SHEET	AD3-4.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



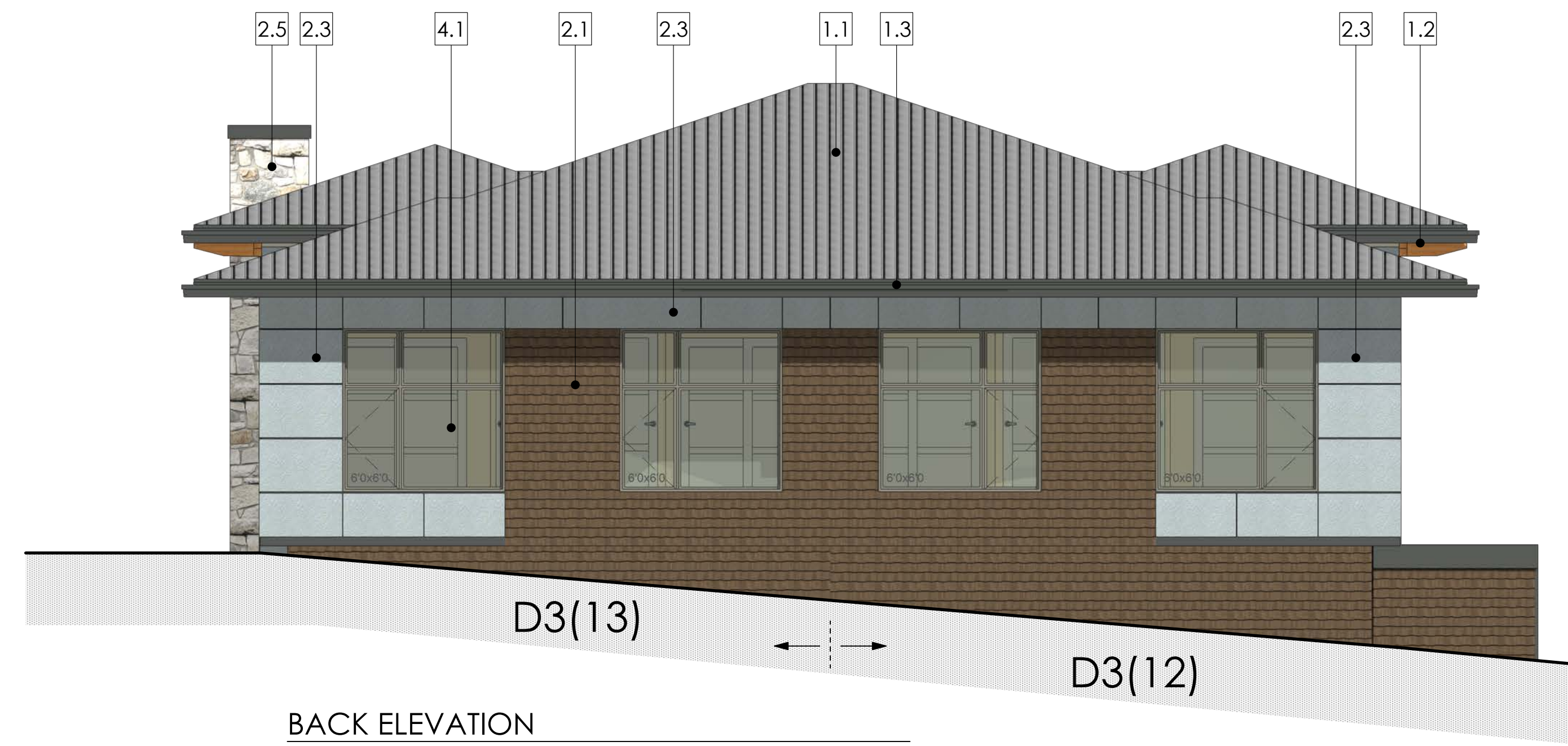
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D3

DRAWING
 EAST & WEST ELEVATIONS

PROJECT#	8030	SHEET	AD3-4.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



FRONT ELEVATION
UNIT D3



BACK ELEVATION
UNIT D3



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

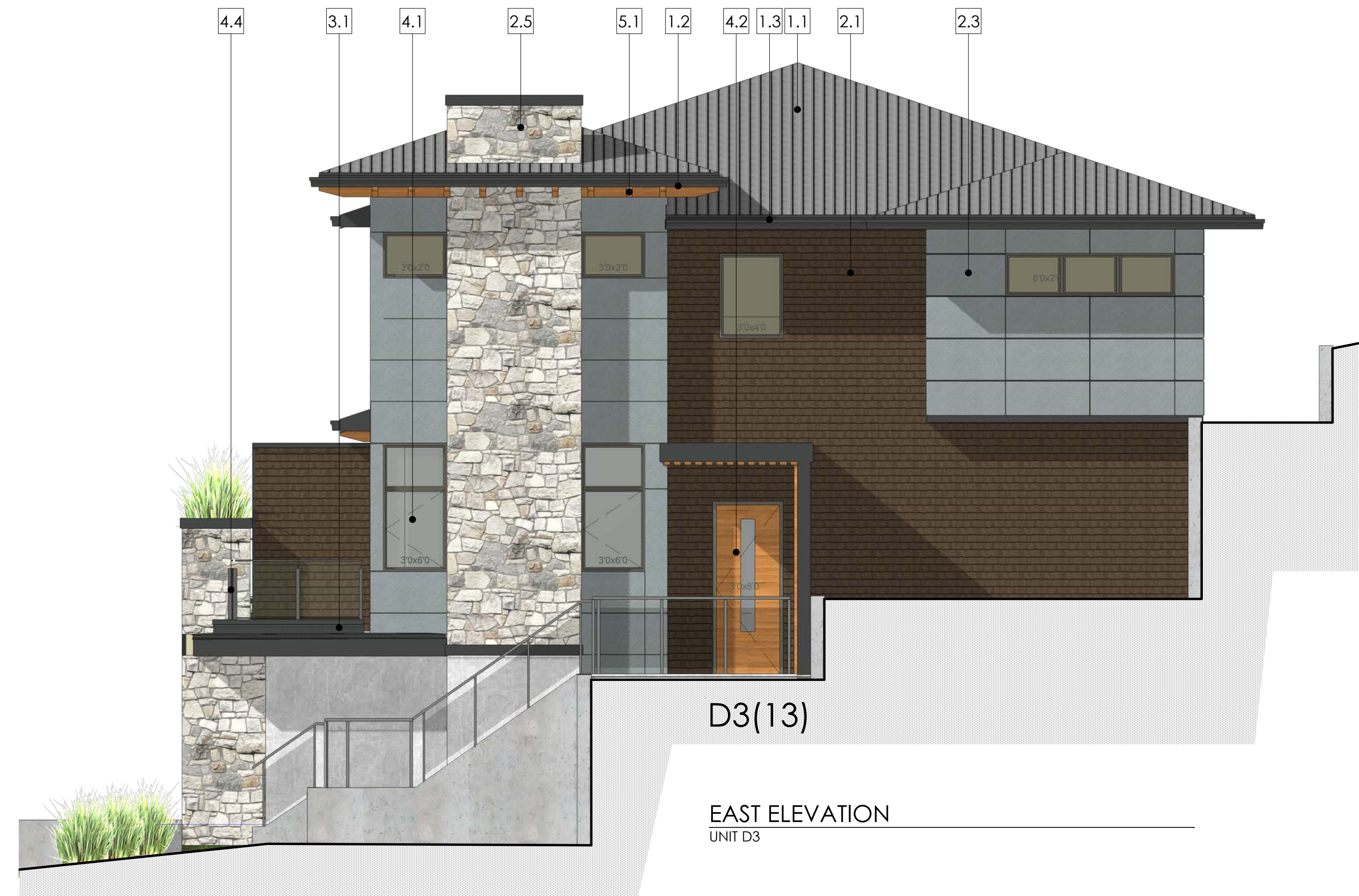
REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D3

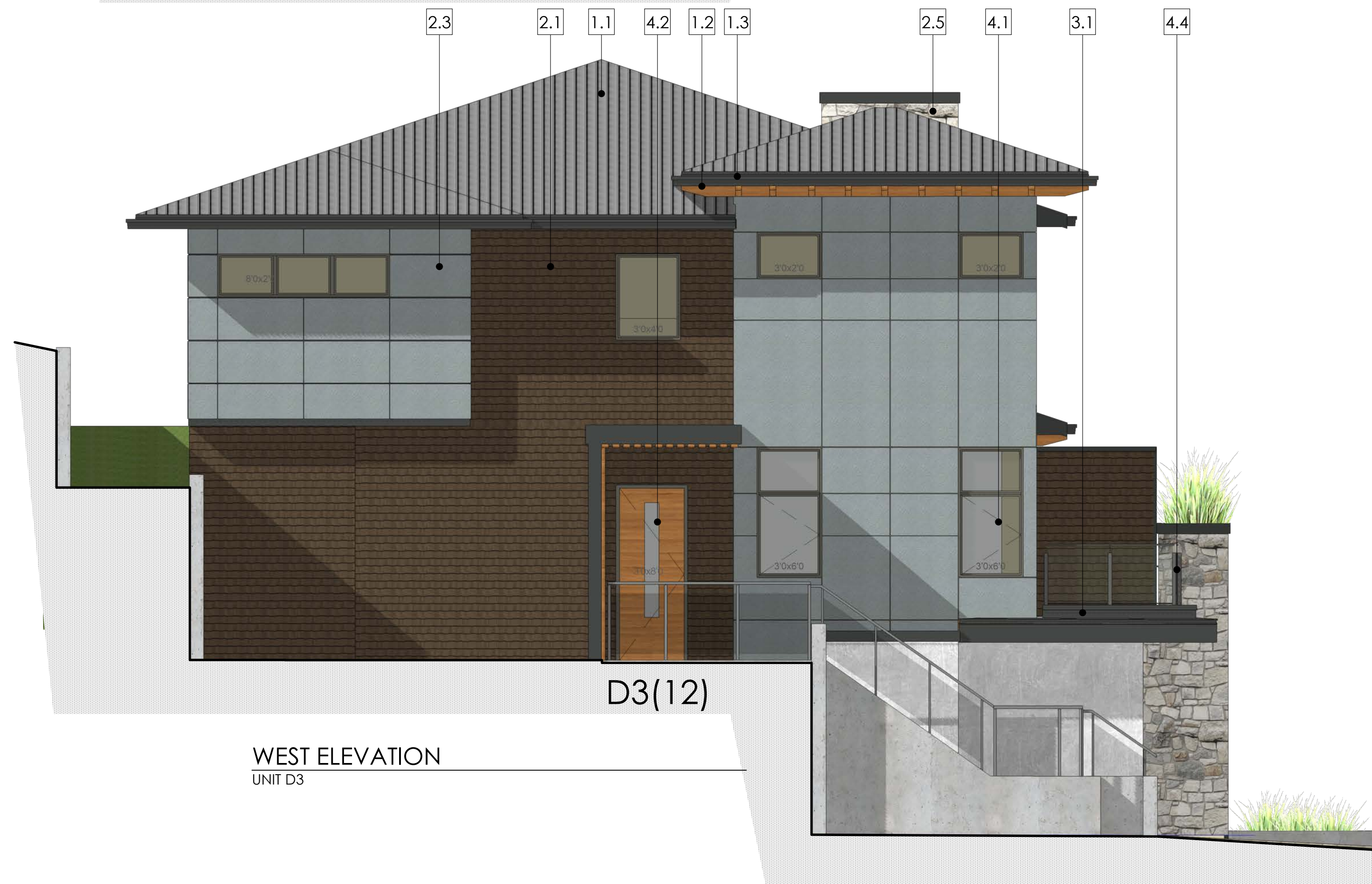
DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT#	8030	SHEET	AD3- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



D3(13)

EAST ELEVATION
UNIT D3



D3(12)

WEST ELEVATION
UNIT D3

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
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PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT D3

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT#	8030	SHEET	AD3- 4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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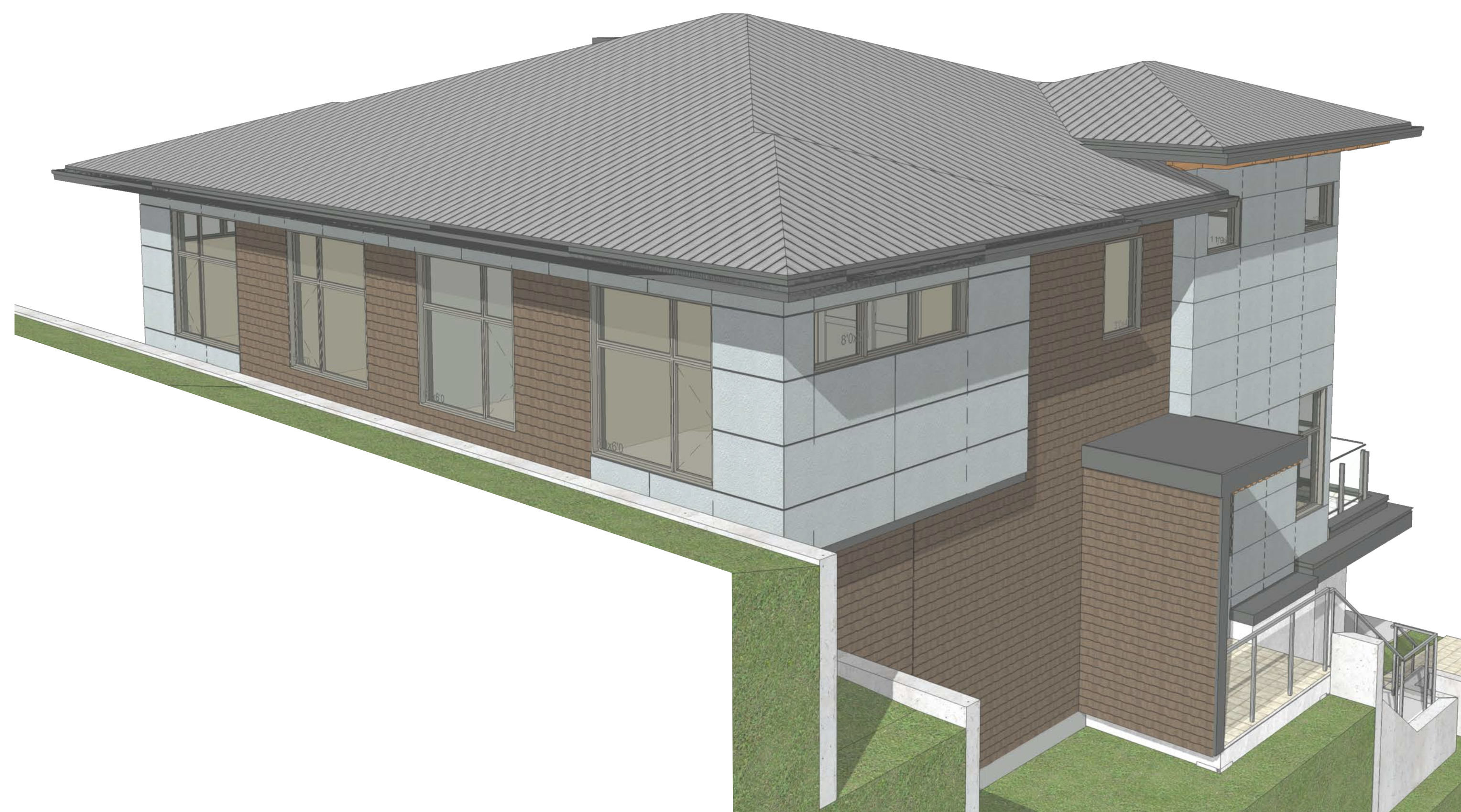
REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
 UNIT D3



SIDE ELEVATION - CAMERA VIEW
 UNIT D3



BACK ELEVATION - CAMERA VIEW
 UNIT D3



SIDE ELEVATION - CAMERA VIEW
 UNIT D3



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D3

DRAWING
 FRONT, BACK &
 SIDE ELEVATIONS

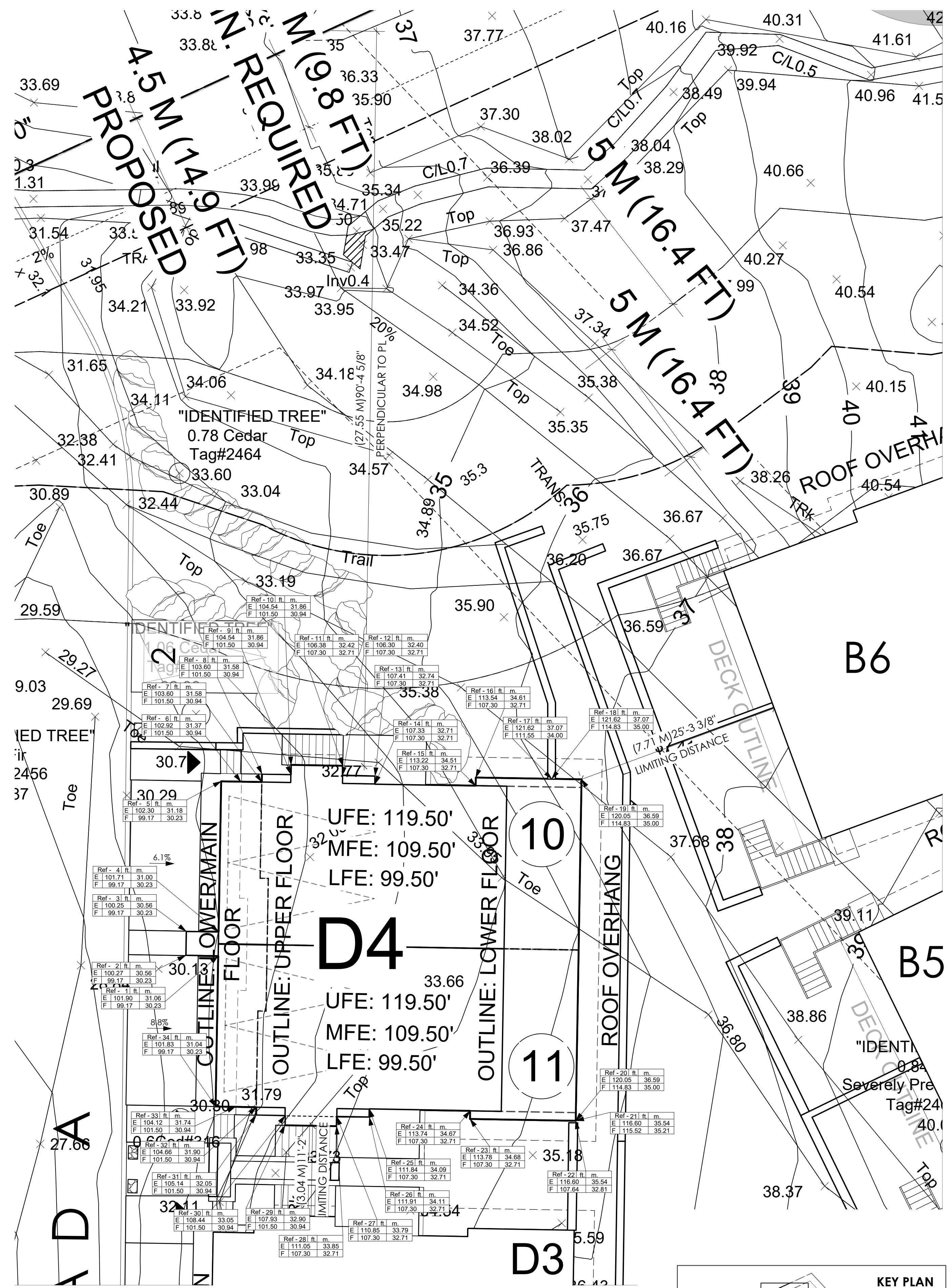
PROJECT#	8030	SHEET	AD3- 4.05
SCALE	N.T.S.		
DATE	OCT 1, 2023		

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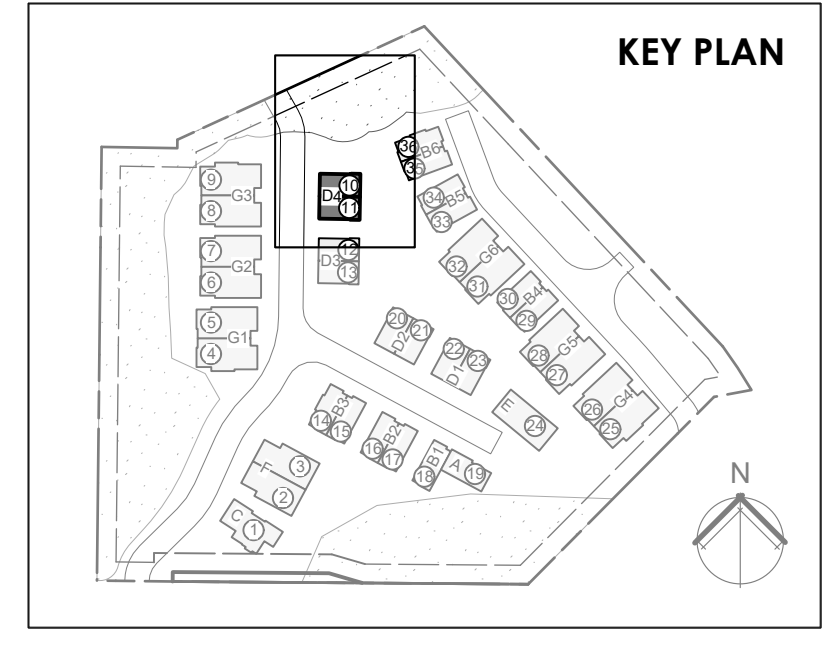
D4 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	101.90	2	100.27	101.09	4.00	404.34
2	100.27	3	100.25	100.26	3.00	300.78
3	100.25	4	101.71	100.98	4.00	403.92
4	101.71	5	102.30	102.01	18.50	1887.09
5	102.30	6	102.92	102.61	2.42	248.01
6	102.92	7	103.60	103.26	2.58	266.72
7	103.60	8	103.60	103.60	1.00	103.60
8	103.60	9	104.54	104.07	3.55	369.66
9	104.54	10	104.54	104.54	1.17	122.00
10	104.54	11	106.38	105.46	6.37	671.25
11	106.38	12	106.30	106.34	1.17	124.10
12	106.30	13	107.41	106.86	4.00	427.42
13	107.41	14	107.33	107.37	1.00	107.37
14	107.33	15	113.22	110.28	12.38	1364.65
15	113.22	16	113.54	113.38	1.00	113.38
16	113.54	17	121.62	117.58	9.33	1097.37
17	121.62	18	121.62	121.62	0.00	0.00
18	121.62	19	120.05	120.84	3.67	443.10
19	120.05	20	120.05	120.05	42.00	5042.10
20	120.05	21	116.60	118.33	0.00	0.00
21	116.60	22	116.60	116.60	0.00	0.00
22	116.60	23	116.60	116.60	0.00	0.00
23	116.60	24	113.78	115.19	13.00	1497.47
24	113.78	25	113.74	113.76	1.00	113.76
25	113.74	26	111.84	112.79	12.38	1395.78
26	111.84	27	111.91	111.88	1.00	111.88
27	111.91	28	110.85	111.38	4.00	445.52
28	110.85	29	111.05	110.95	1.17	129.48
29	111.05	30	108.44	109.75	6.37	698.53
30	108.44	31	107.93	108.19	1.17	126.25
31	107.93	32	105.14	106.54	3.55	378.41
32	105.14	33	104.66	104.90	1.00	104.90
33	104.66	34	104.12	104.39	2.58	269.64
34	104.12	35	101.83	102.98	2.42	248.89
35	101.83	1	101.90	101.87	18.50	1884.50
Total					189.25	20901.87
AVG Existing Grade						110.44
Max. Bldg Height (Ft):	29.85					140.29

D4 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	99.17	2	99.17	99.17	4.00	396.68
2	99.17	3	99.17	99.17	3.00	297.51
3	99.17	4	99.17	99.17	4.00	396.68
4	99.17	5	99.17	99.17	18.50	1834.65
5	99.17	6	101.50	100.34	2.42	242.51
6	101.50	7	101.50	101.50	2.58	262.17
7	101.50	8	101.50	101.50	1.00	101.50
8	101.50	9	101.50	101.50	3.55	360.53
9	101.50	10	101.50	101.50	1.17	118.45
10	101.50	11	107.30	104.40	6.37	664.51
11	107.30	12	107.30	107.30	1.17	125.22
12	107.30	13	107.30	107.30	4.00	429.20
13	107.30	14	107.30	107.30	1.00	107.30
14	107.30	15	107.30	107.30	12.38	1327.84
15	107.30	16	107.30	107.30	1.00	107.30
16	107.30	17	107.78	107.54	9.33	1003.67
17	107.78	18	114.83	111.31	0.00	0.00
18	114.83	19	114.83	114.83	3.67	421.08
19	114.83	20	114.83	114.83	42.00	4822.86
20	114.83	21	115.52	115.18	0.00	0.00
21	115.52	22	107.64	111.58	0.00	0.00
22	107.64	23	107.30	107.47	13.00	1397.11
23	107.30	24	107.30	107.30	1.00	107.30
24	107.30	25	107.30	107.30	12.38	1327.84
25	107.30	26	107.30	107.30	1.00	107.30
26	107.30	27	107.30	107.30	4.00	429.20
27	107.30	28	107.30	107.30	1.17	125.22
28	107.30	29	101.50	104.40	6.37	664.51
29	101.50	30	101.50	101.50	1.17	118.45
30	101.50	31	101.50	101.50	3.55	360.53
31	101.50	32	101.50	101.50	1.00	101.50
32	101.50	33	101.50	101.50	2.58	262.17
33	101.50	34	99.17	100.34	2.42	242.51
34	99.17	1	99.17	99.17	18.50	1834.65
Total					189.25	20097.93
AVG Finish Grade						106.20
Max. Bldg Height (Ft):	29.85					136.05



SITE PLAN
 SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - D4 (10)			TOP OF FINISH FLOOR - D4 (11)		
Lower	Main	Upper	Lower	Main	Upper
30.33 m	33.38 m	36.42 m	30.33 m	33.38 m	36.42 m
99.50'	109.50'	119.50'	99.50'	109.50'	119.50'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT D4

DRAWING
 SITE PLAN

PROJECT# 8030
 SCALE 1/8"=1'-0"
 DATE OCT 1, 2023
 SHEET
AD4-1.01

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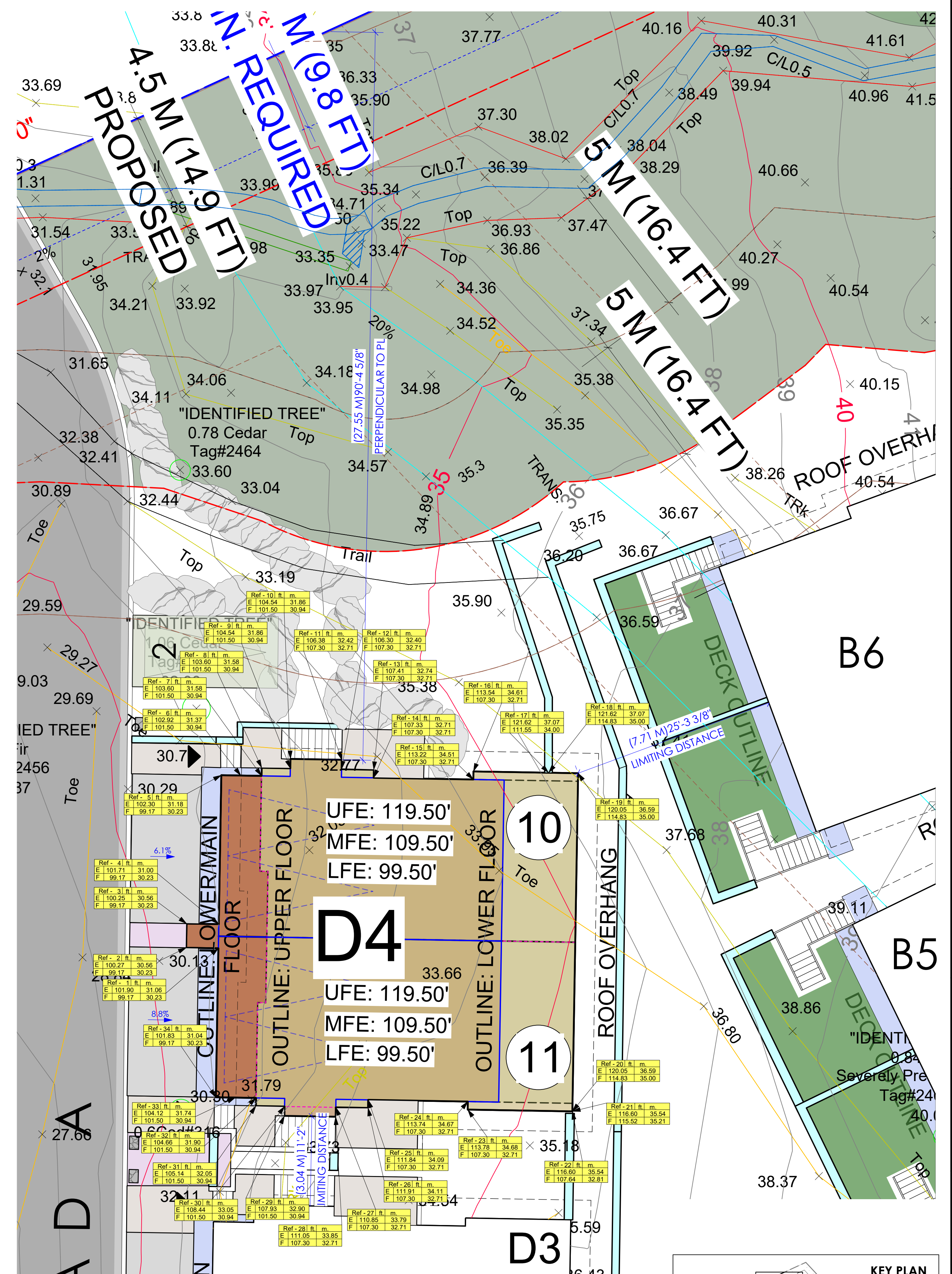
REVISIONS
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D4 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	101.90	2	100.27	101.09	4.00	404.34
2	100.27	3	100.25	100.26	3.00	300.78
3	100.25	4	101.71	100.98	4.00	403.92
4	101.71	5	102.30	102.01	18.50	1887.09
5	102.30	6	102.92	102.61	2.42	248.01
6	102.92	7	103.60	103.26	2.58	266.72
7	103.60	8	103.60	103.60	1.00	103.60
8	103.60	9	104.54	104.07	3.55	369.66
9	104.54	10	104.54	104.54	1.17	122.00
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13	107.41	14	107.33	107.37	1.00	107.37
14	107.33	15	113.22	110.28	12.38	1364.65
15	113.22	16	113.54	113.38	1.00	113.38
16	113.54	17	121.62	117.58	9.33	1097.37
17	121.62	18	121.62	121.62	0.00	0.00
18	121.62	19	120.05	120.84	3.67	443.10
19	120.05	20	120.05	120.05	42.00	5042.10
20	120.05	21	116.60	118.33	0.00	0.00
21	116.60	22	116.60	116.60	0.00	0.00
22	116.60	23	116.60	116.60	0.00	0.00
23	116.60	24	113.78	115.19	13.00	1497.47
24	113.78	25	113.74	113.76	1.00	113.76
25	113.74	26	111.84	112.79	12.38	1395.78
26	111.84	27	111.91	111.88	1.00	111.88
27	111.91	28	110.85	111.38	4.00	445.52
28	110.85	29	111.05	110.95	1.17	129.48
29	111.05	30	108.44	109.75	6.37	698.53
30	108.44	31	107.93	108.19	1.17	126.25
31	107.93	32	105.14	106.54	3.55	378.41
32	105.14	33	104.66	104.90	1.00	104.90
33	104.66	34	104.12	104.39	2.58	269.64
34	104.12	35	101.83	102.98	2.42	248.89
35	101.83	1	101.90	101.87	18.50	1884.50
Total					189.25	20901.87
Avg Existing Grade						110.44
Max. Bldg Height (Ft):	29.85					140.29

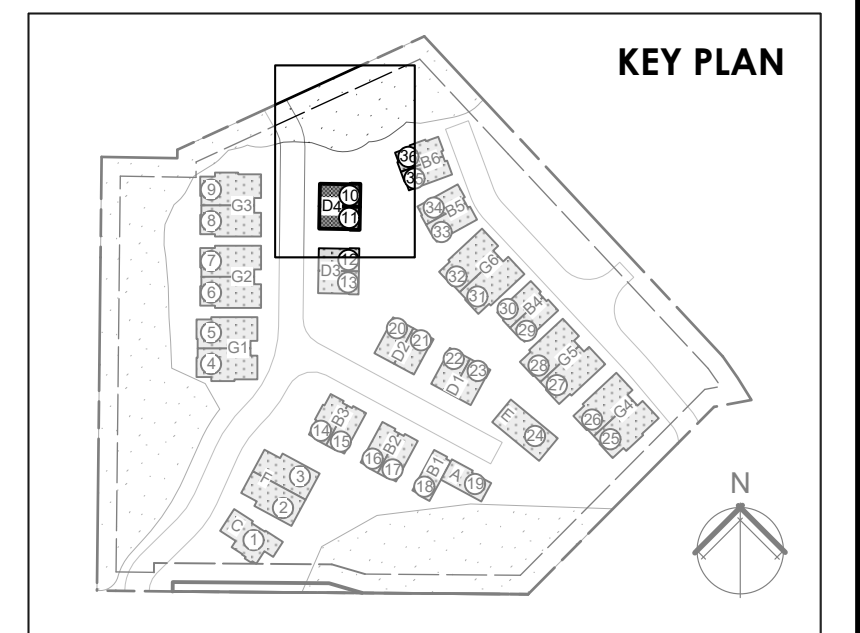
D4 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	99.17	2	99.17	99.17	4.00	396.68
2	99.17	3	99.17	99.17	3.00	297.51
3	99.17	4	99.17	99.17	4.00	396.68
4	99.17	5	99.17	99.17	18.50	1834.65
5	99.17	6	101.50	100.34	2.42	242.51
6	101.50	7	101.50	101.50	2.58	262.17
7	101.50	8	101.50	101.50	1.00	101.50
8	101.50	9	101.50	101.50	3.55	360.53
9	101.50	10	101.50	101.50	1.17	118.45
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11	107.30	12	107.30	107.30	1.17	125.22
12	107.30	13	107.30	107.30	4.00	429.20
13	107.30	14	107.30	107.30	1.00	107.30
14	107.30	15	107.30	107.30	12.38	1327.84
15	107.30	16	107.30	107.30	1.00	107.30
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17	107.78	18	114.83	111.31	0.00	0.00
18	114.83	19	114.83	114.83	3.67	421.08
19	114.83	20	114.83	114.83	42.00	4822.86
20	114.83	21	115.52	115.18	0.00	0.00
21	115.52	22	107.64	111.58	0.00	0.00
22	107.64	23	107.30	107.47	13.00	1397.11
23	107.30	24	107.30	107.30	1.00	107.30
24	107.30	25	107.30	107.30	12.38	1327.84
25	107.30	26	107.30	107.30	1.00	107.30
26	107.30	27	107.30	107.30	4.00	429.20
27	107.30	28	107.30	107.30	1.17	125.22
28	107.30	29	101.50	104.40	6.37	664.51
29	101.50	30	101.50	101.50	1.17	118.45
30	101.50	31	101.50	101.50	3.55	360.53
31	101.50	32	101.50	101.50	1.00	101.50
32	101.50	33	101.50	101.50	2.58	262.17
33	101.50	34	99.17	100.34	2.42	242.51
34	99.17	1	99.17	99.17	18.50	1834.65
Total					189.25	20097.93
Avg Finish Grade						106.20
Max. Bldg Height (Ft):	29.85					136.05



SITE PLAN
 SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - D4 (10)			TOP OF FINISH FLOOR - D4 (11)		
Lower	Main	Upper	Lower	Main	Upper
30.33 m	33.38 m	36.42 m	30.33 m	33.38 m	36.42 m
99.50'	109.50'	119.50'	99.50'	109.50'	119.50'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D4

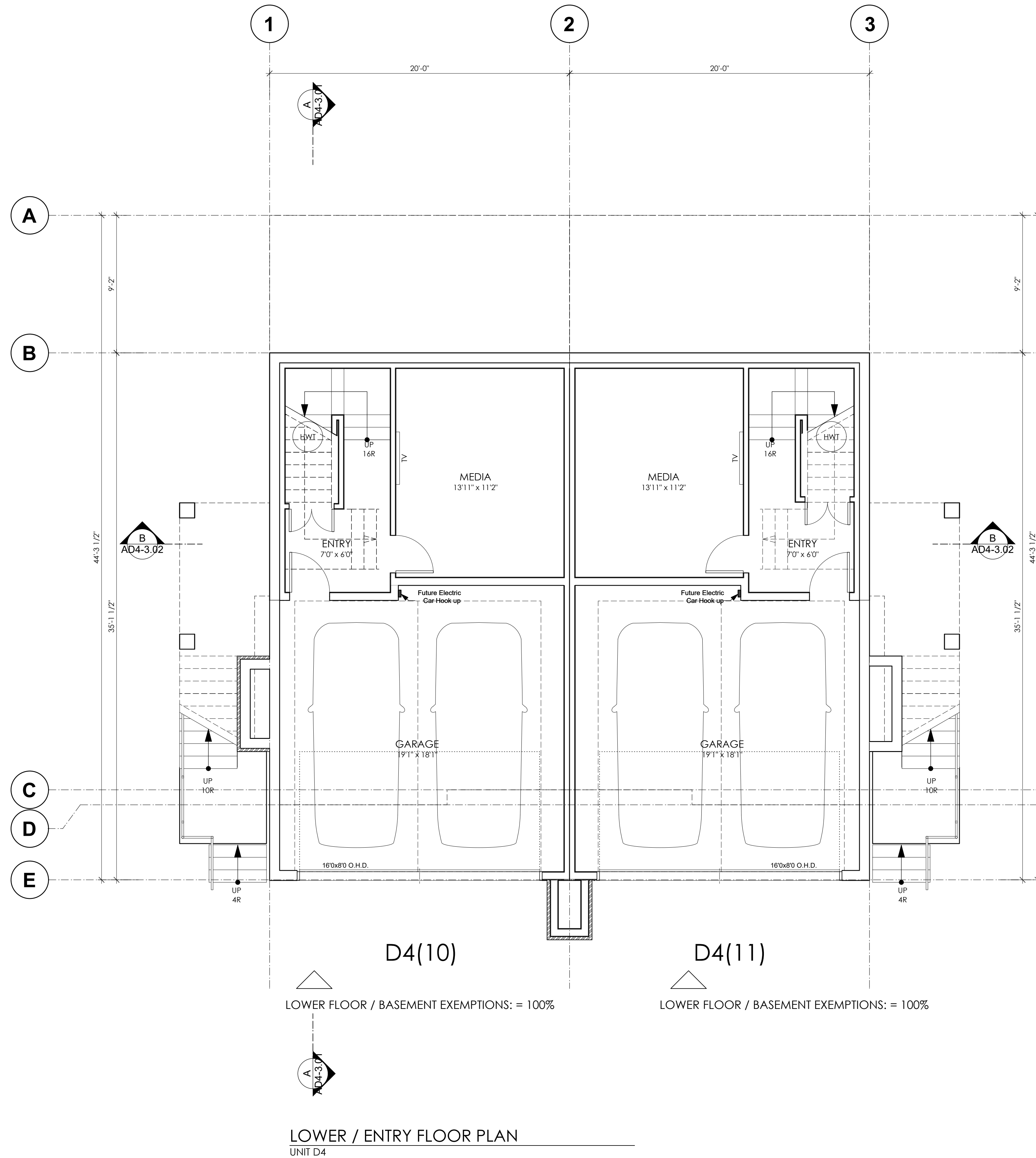
DRAWING
 SITE PLAN

PROJECT# 8030
 SCALE 1/8"=1'-0"
 DATE OCT 1, 2023
 SHEET
AD4-1.01

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REVISIONS

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H unit additions	Oct 1, 2023



D4(10) D4(11)

LOWER FLOOR / BASEMENT EXEMPTIONS: = 100% LOWER FLOOR / BASEMENT EXEMPTIONS: = 100%

LOWER / ENTRY FLOOR PLAN
UNIT D4



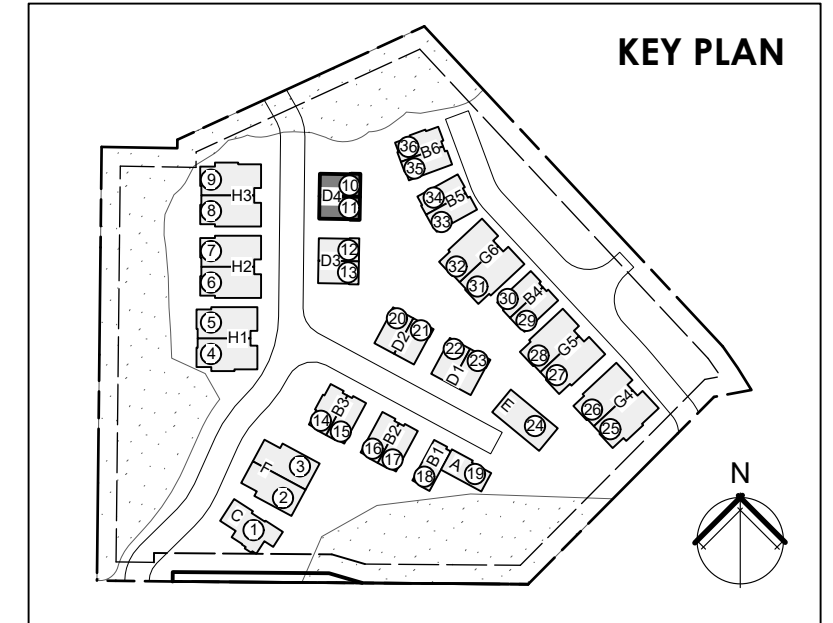
PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D4

DRAWING

LOWER FLOOR PLAN



UNIT 10 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 10 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

UNIT 11 FLOOR AREAS IMPERIAL

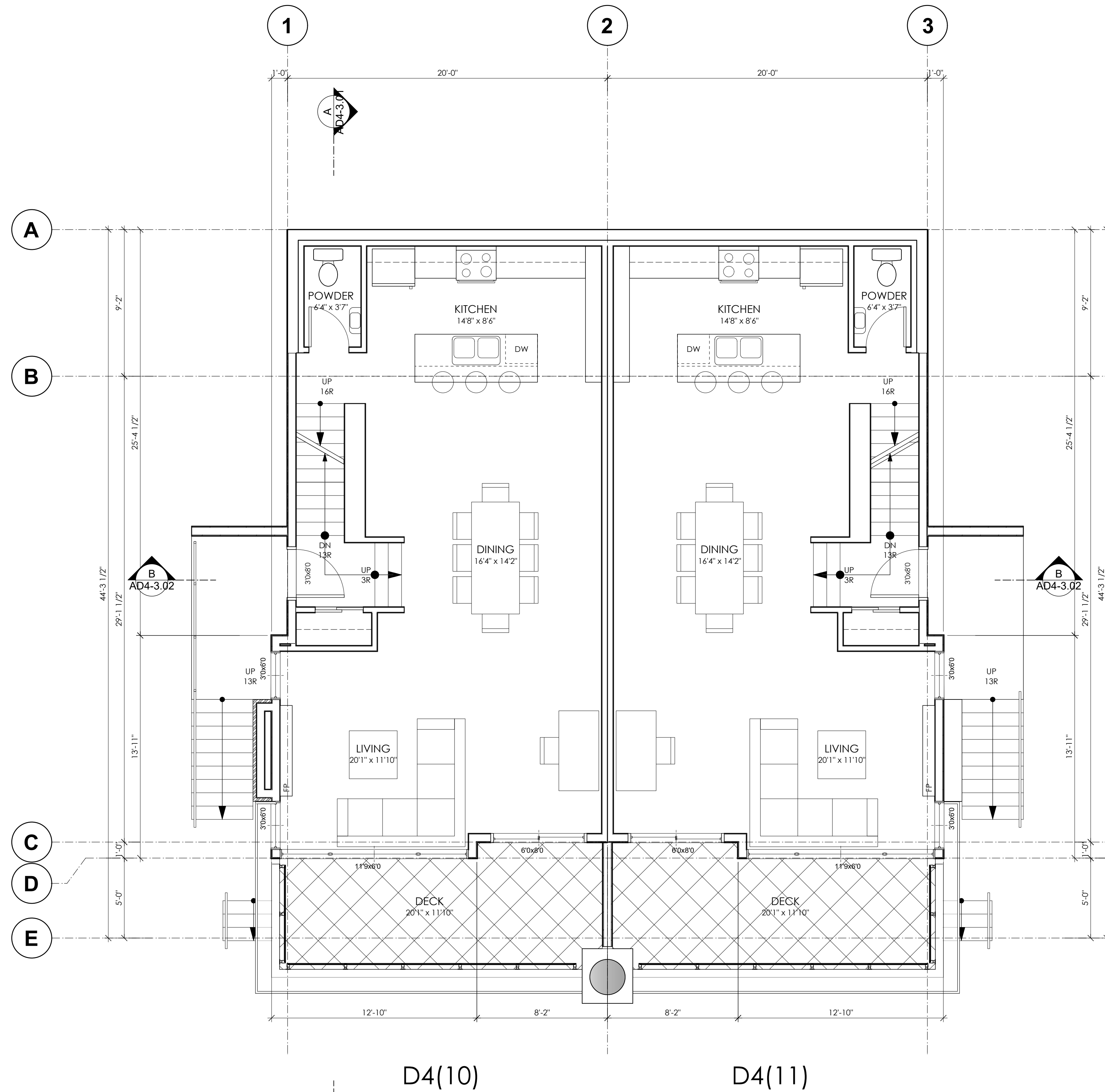
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 11 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.2 SM

PROJECT#	8030	SHEET	AD4-2.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

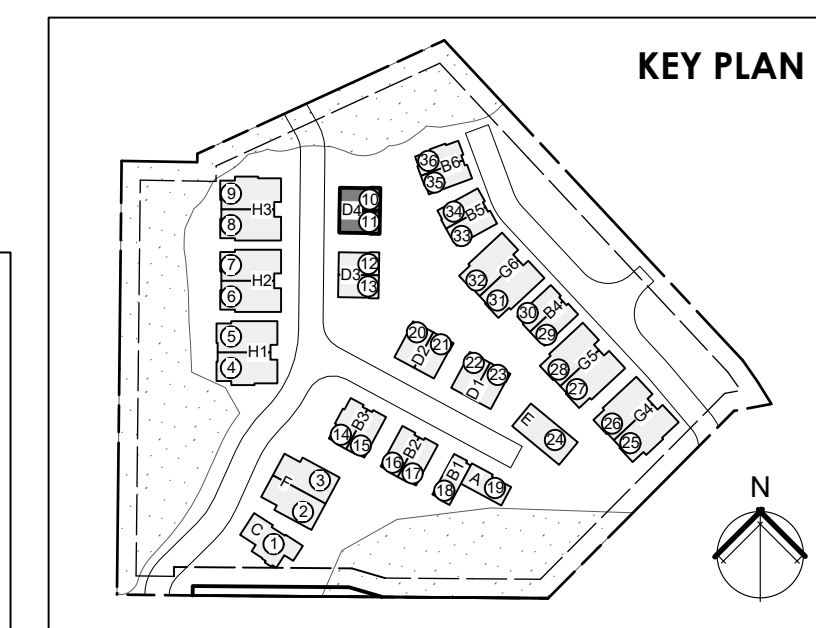


MAIN FLOOR PLAN
UNIT D4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
MAIN FLOOR PLAN



UNIT 10 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 10 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

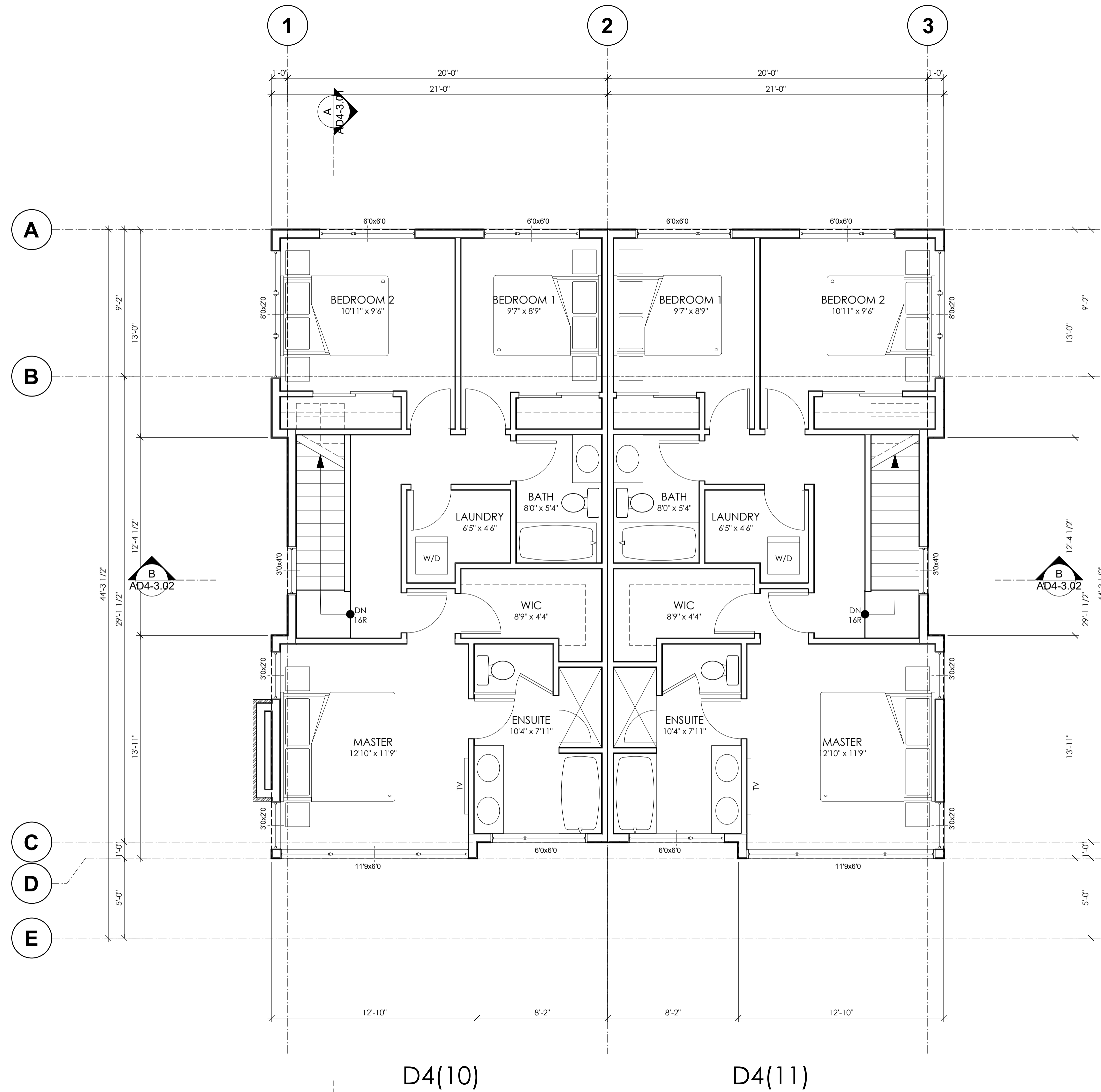
UNIT 11 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

UNIT 11 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.2 SM

PROJECT#	8030	SHEET	AD4-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



D4(10) D4(11)

UPPER FLOOR PLAN
UNIT D4



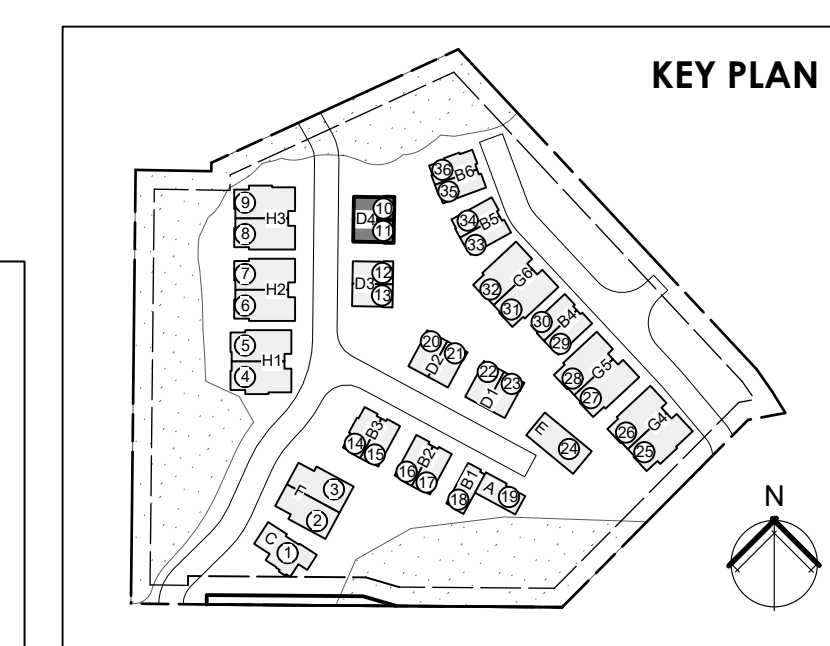
PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT D4

DRAWING

UPPER FLOOR PLAN



UNIT 10 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	797.3 SF	810.3 SF	2310.1 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	797.3 SF	810.3 SF	1607.6 SF

UNIT 10 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	74.1 SM	75.3 SM	214.6 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	74.1 SM	75.3 SM	149.3 SM

UNIT 11 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	702.5 SF	791.6 SF	804.6 SF	2298.7 SF
GARAGE EXCLUSIONS	389.6 SF	0.0 SF	0.0 SF	389.6 SF
BASEMENT EXCLUSIONS 100%	312.9 SF	0.0 SF	0.0 SF	312.9 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	0.0 SF	791.6 SF	804.6 SF	1596.2 SF

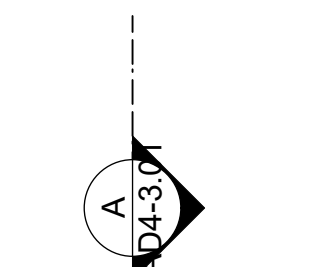
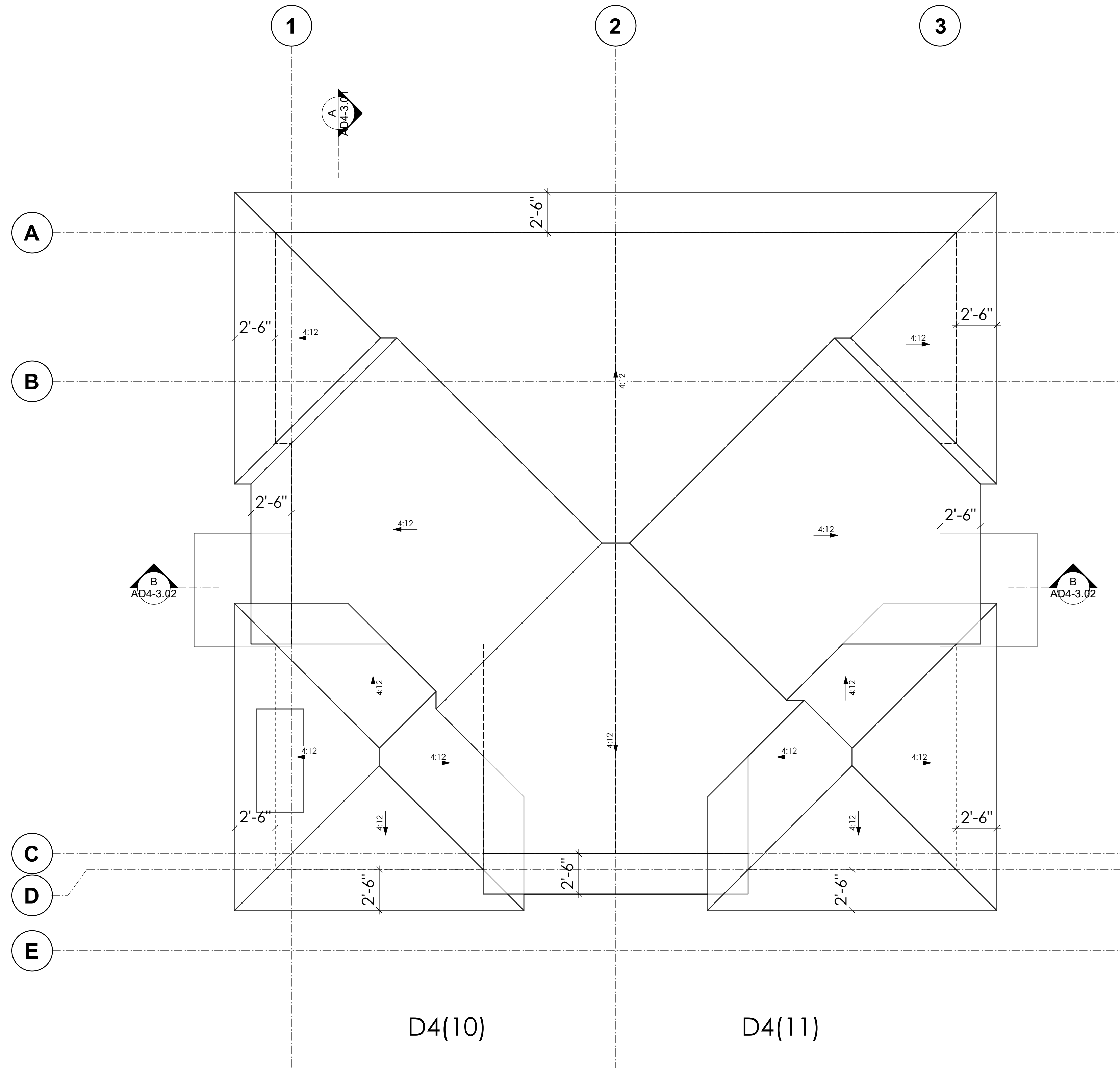
UNIT 11 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	65.3 SM	73.5 SM	74.7 SM	213.5 SM
GARAGE EXCLUSIONS	36.2 SM	0.0 SM	0.0 SM	36.2 SM
BASEMENT EXCLUSIONS 100%	29.1 SM	0.0 SM	0.0 SM	29.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	0.0 SM	73.5 SM	74.7 SM	148.2 SM

PROJECT#	8030	SHEET	AD4-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

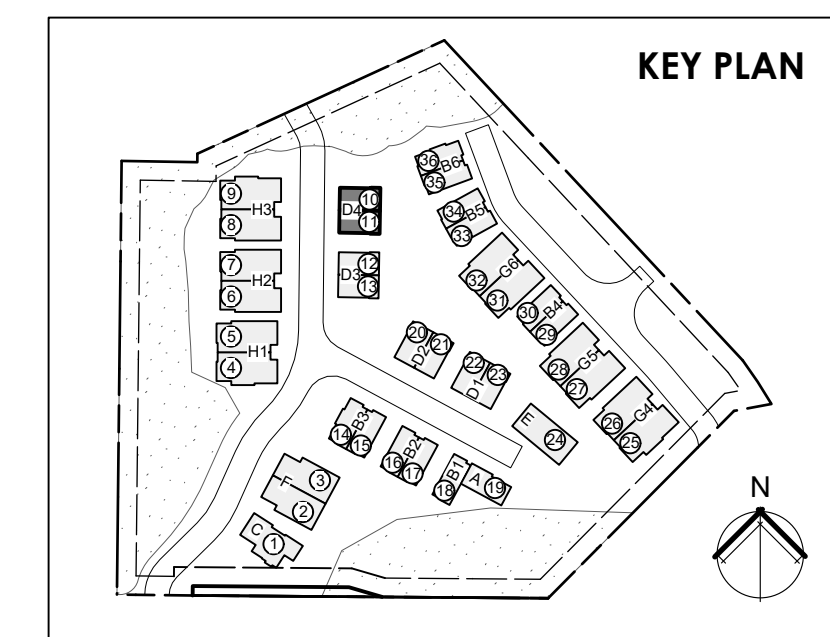


ROOF PLAN
UNIT D4



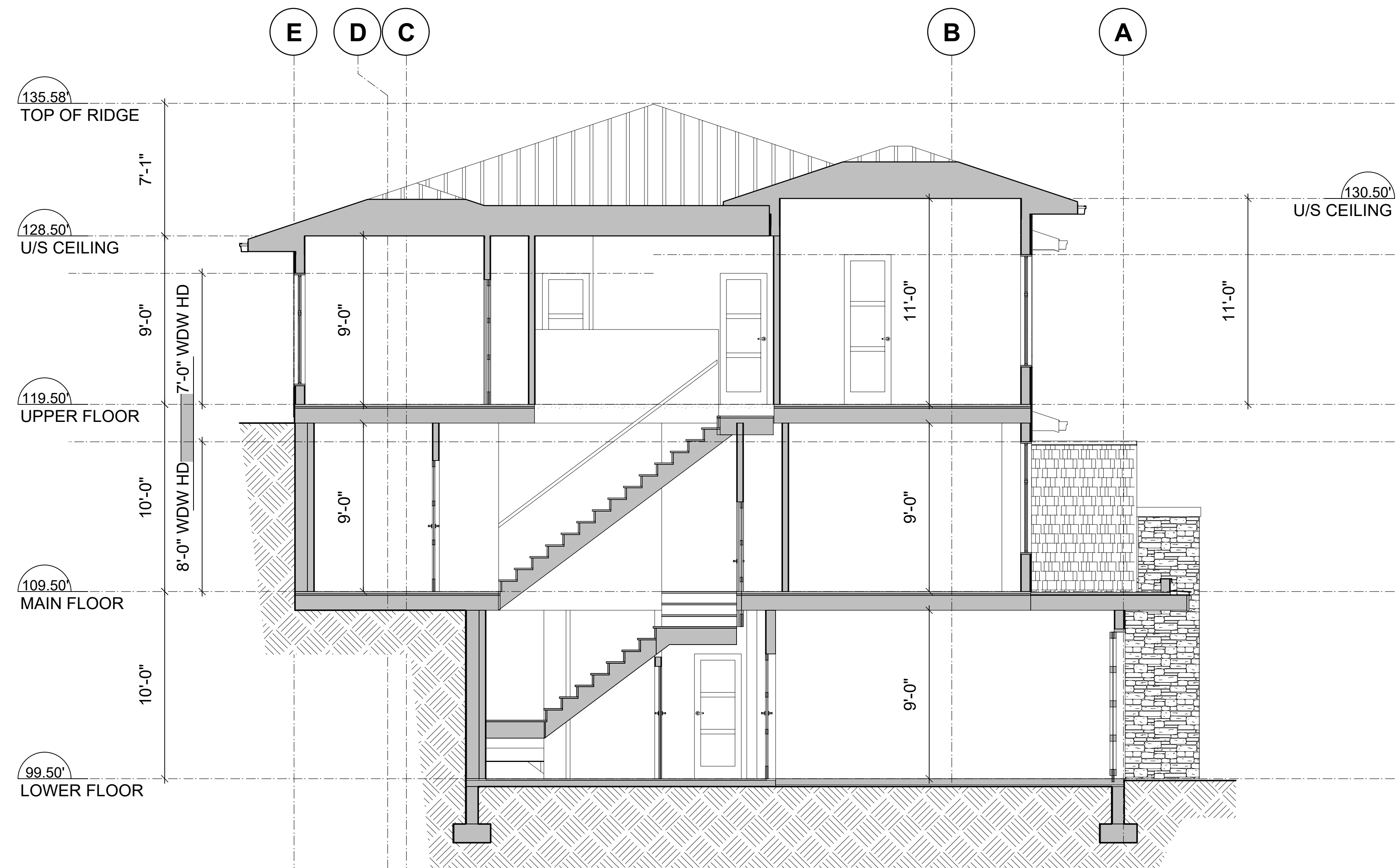
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
ROOF PLAN



PROJECT#	SHEET
8030	AD4- 2.04
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A
Scale: 1/4" = 1'-0"



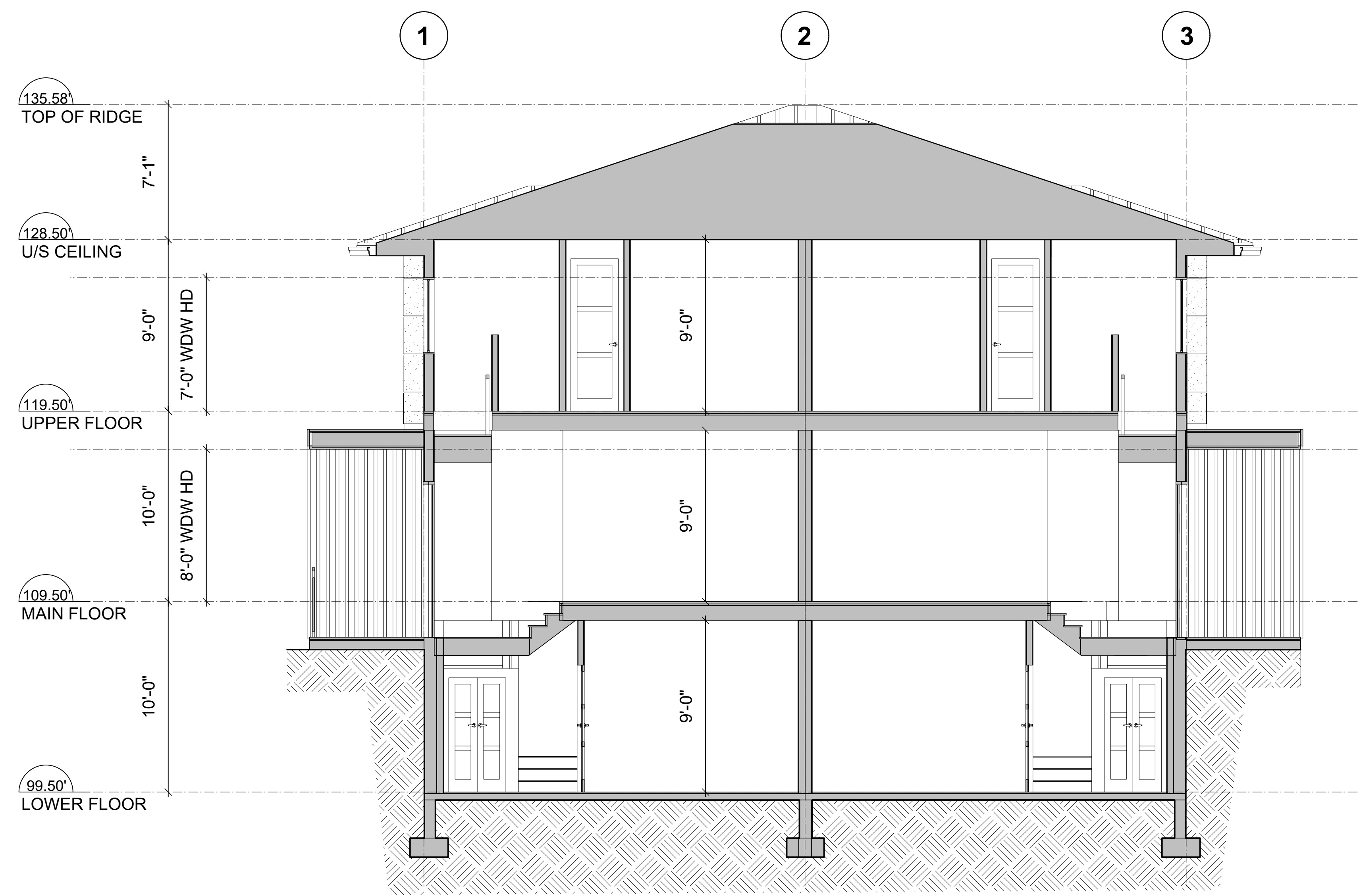
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D4

DRAWING
SECTION A-A

PROJECT#	8030	SHEET	AD4-3.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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B Section B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
SECTION B-B

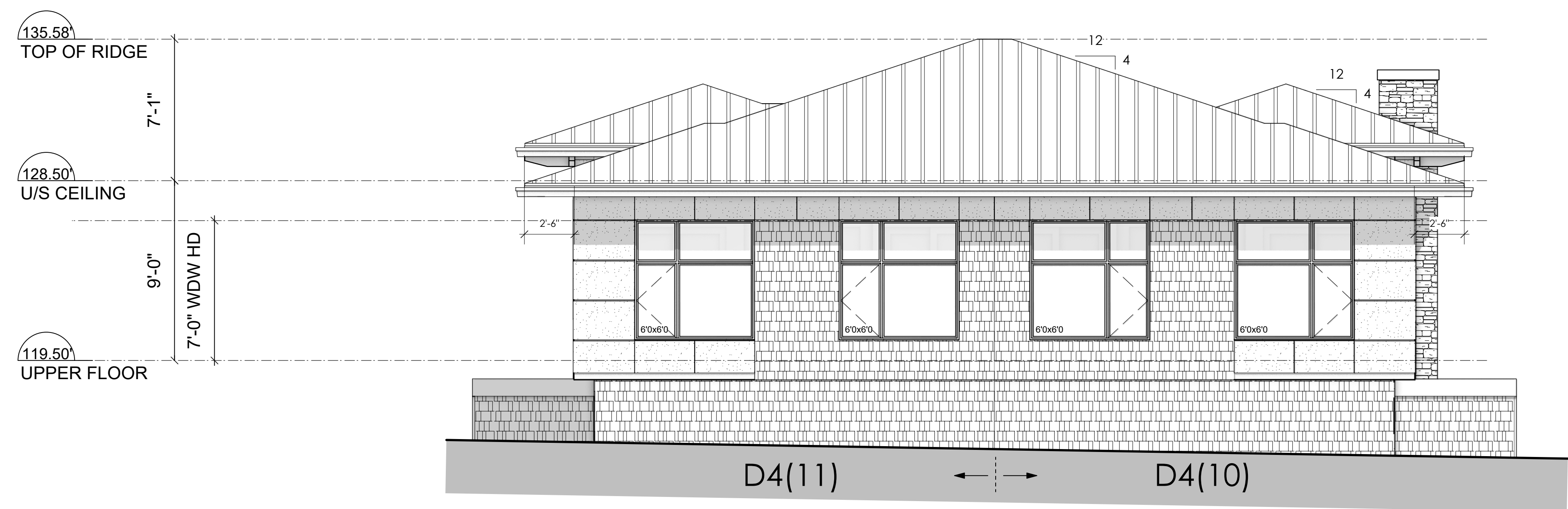
PROJECT#	SHEET
8030	AD4- 3.02
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

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FRONT ELEVATION
UNIT D4



BACK ELEVATION
UNIT D4

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	559.29 SF (51.96 SM)
LIMITING DISTANCE:	12.63' (3.86 M)
UNPROTECTED OPENING:	144.00 SF (13.38 SM)
PROPOSED OPENING:	25.75%
PERMITTED OPENINGS:	45.16%



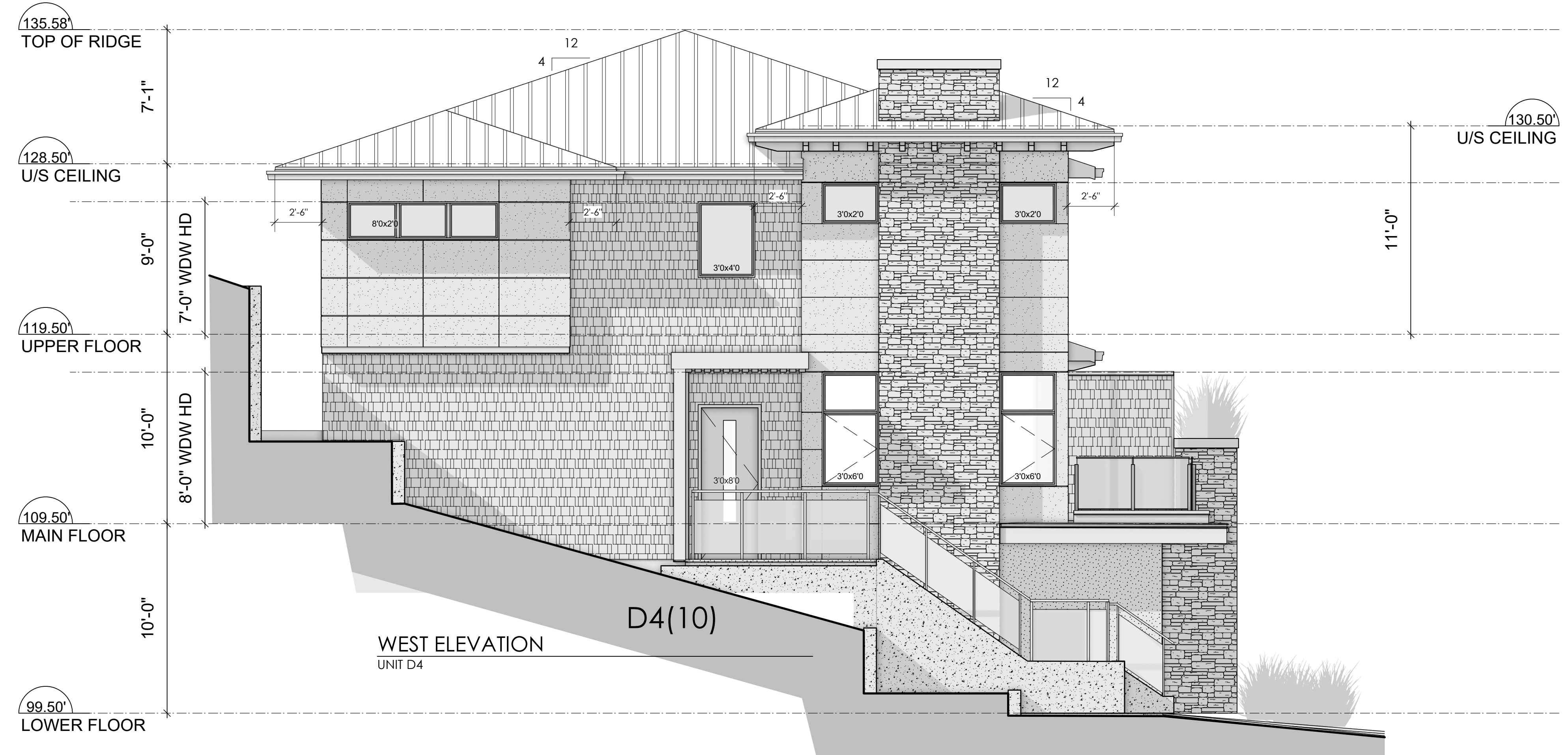
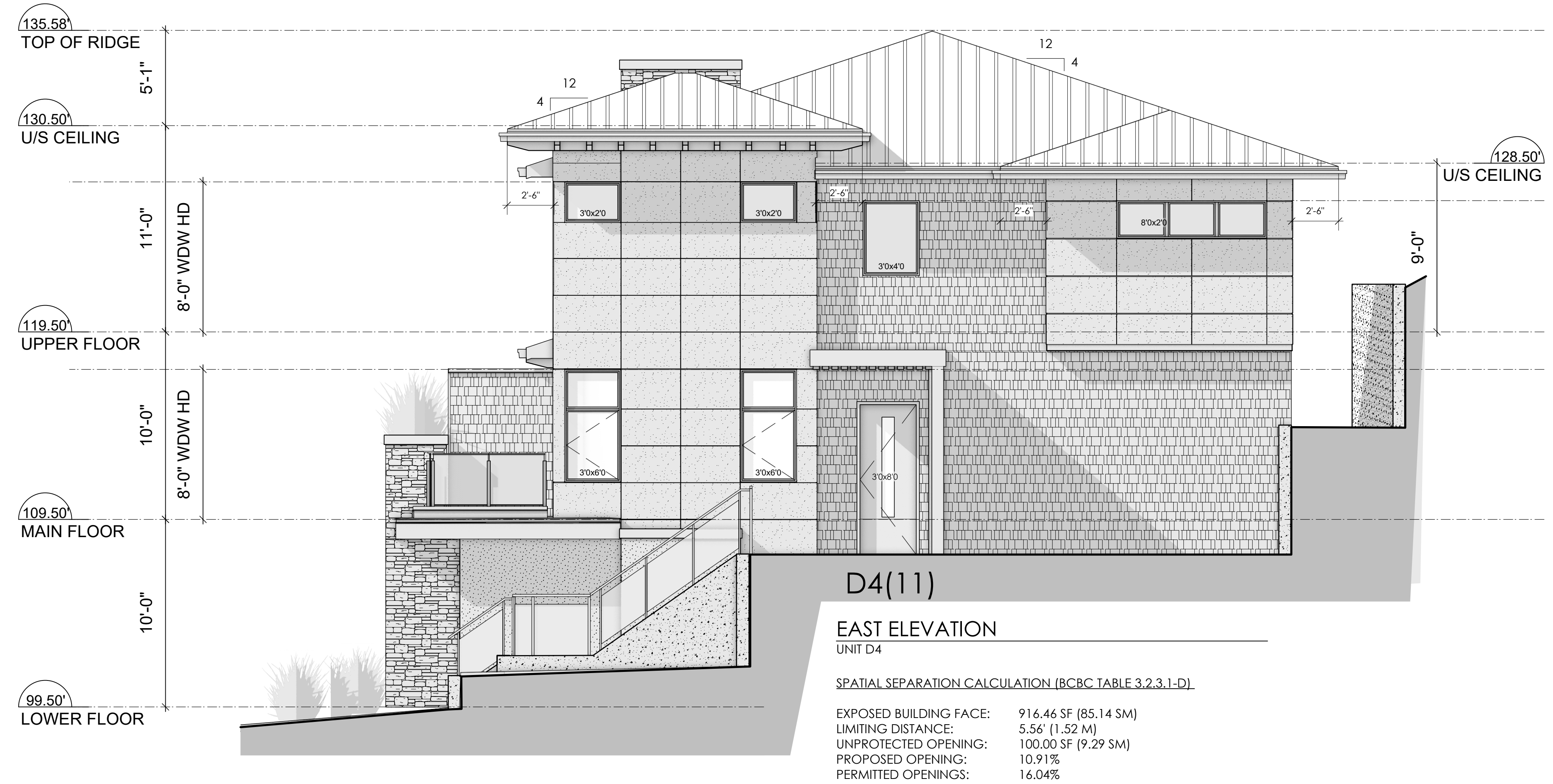
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT D4

DRAWING
FRONT & BACK ELEVATIONS B/W

PROJECT#	SHEET
8030	AD4-4.01
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

REVISIONS	
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



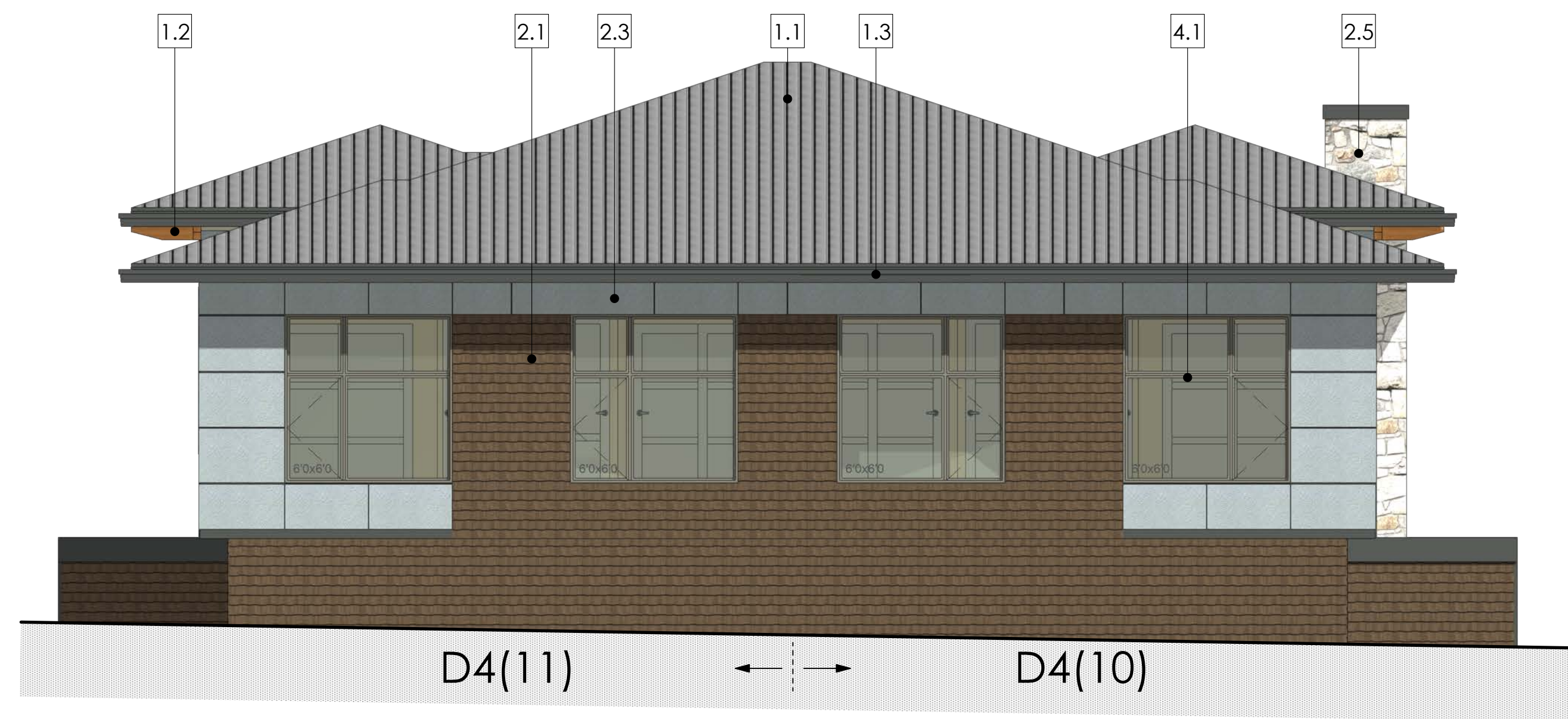
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT D4

DRAWING
 EAST & WEST ELEVATIONS B/W

PROJECT#	SHEET
8030	AD4-4.02
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023



FRONT ELEVATION
UNIT D4



BACK ELEVATION
UNIT D4



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



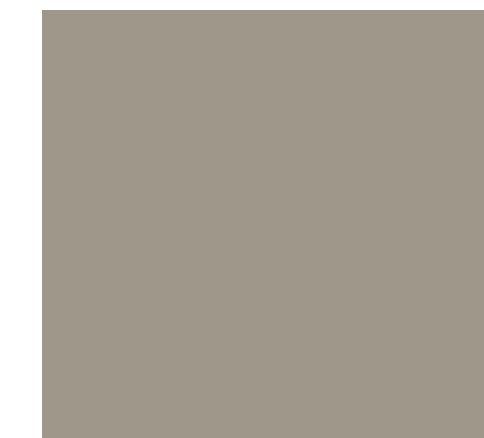
METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

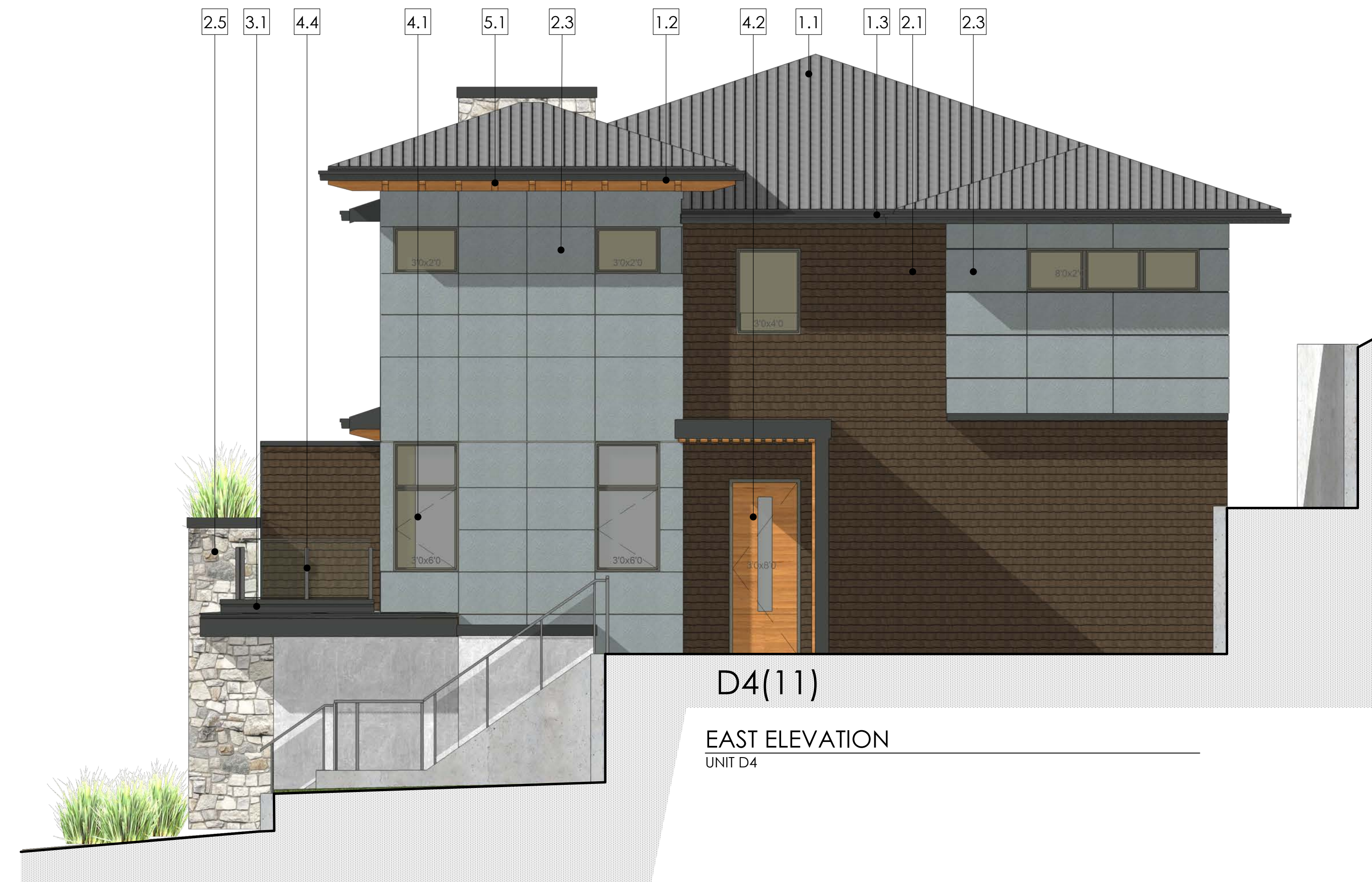
REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	



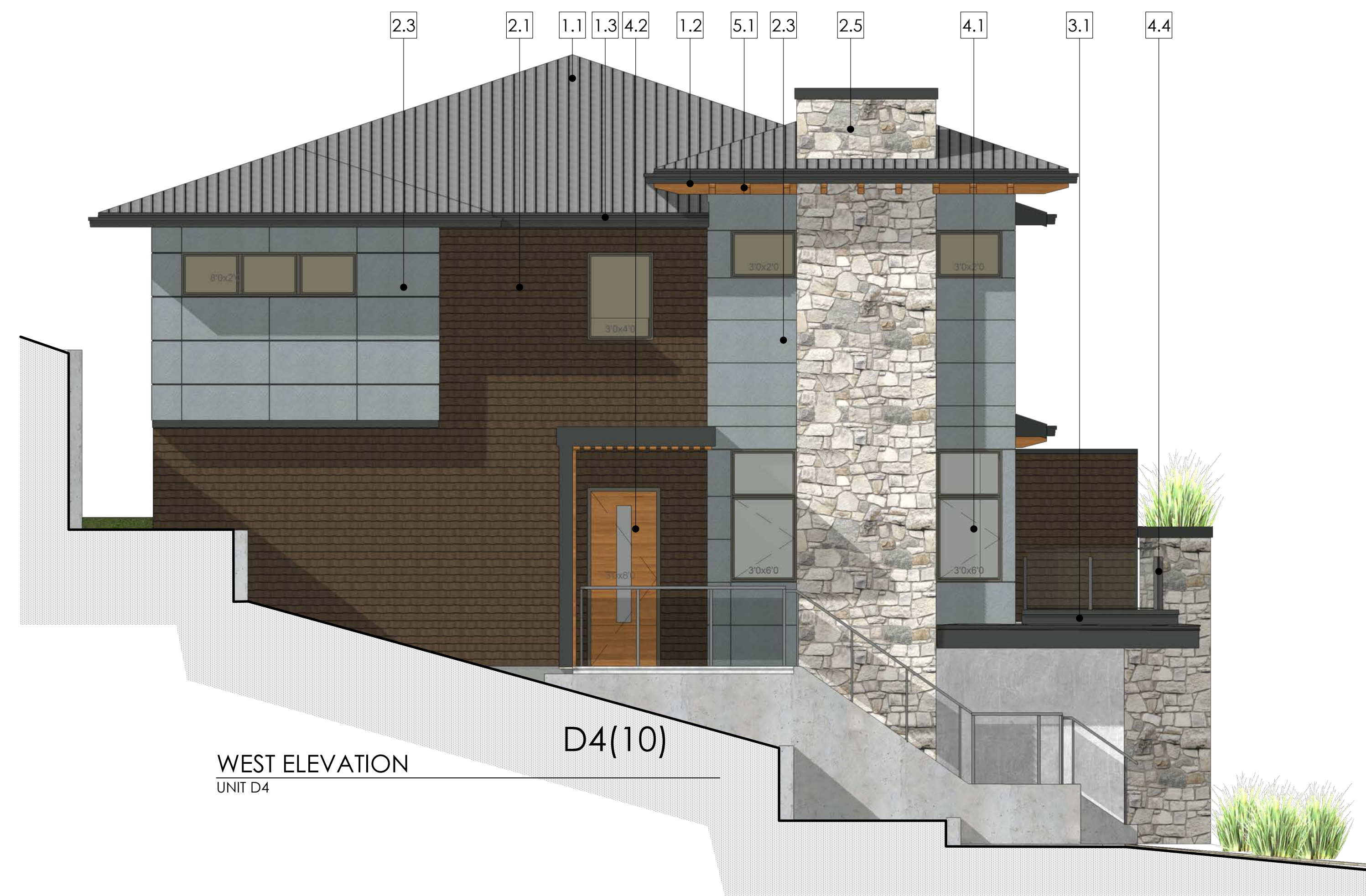
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT#	8030	SHEET	AD4- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



D4(11)
EAST ELEVATION
UNIT D4



WEST ELEVATION
UNIT D4
D4(10)

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
3.2		Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

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PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT D4

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT#	8030	SHEET	AD4- 4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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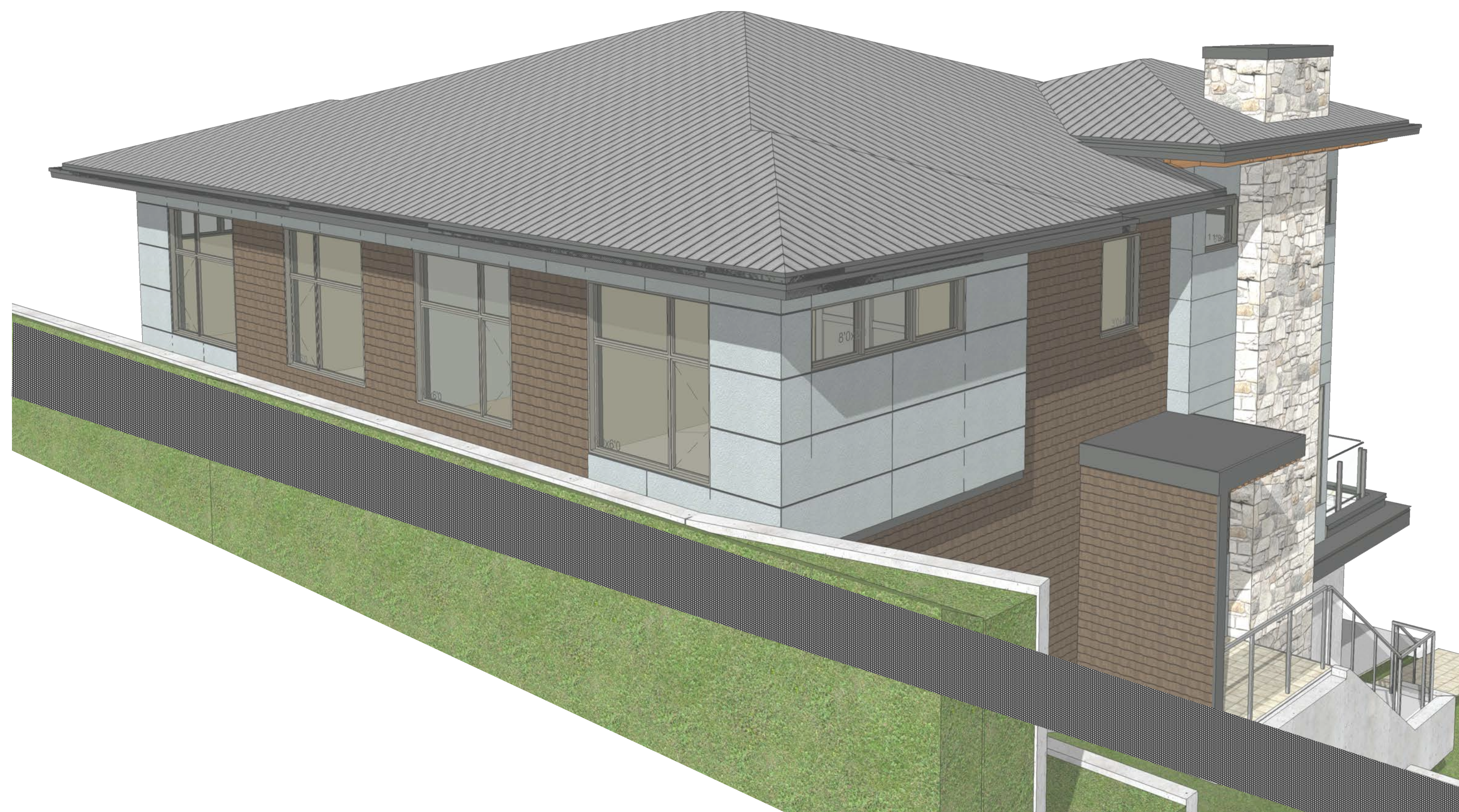
REVISIONS	
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H unit additions	Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT D4



SIDE ELEVATION - CAMERA VIEW
UNIT D4



BACK ELEVATION - CAMERA VIEW
UNIT D4



SIDE ELEVATION - CAMERA VIEW
UNIT D4



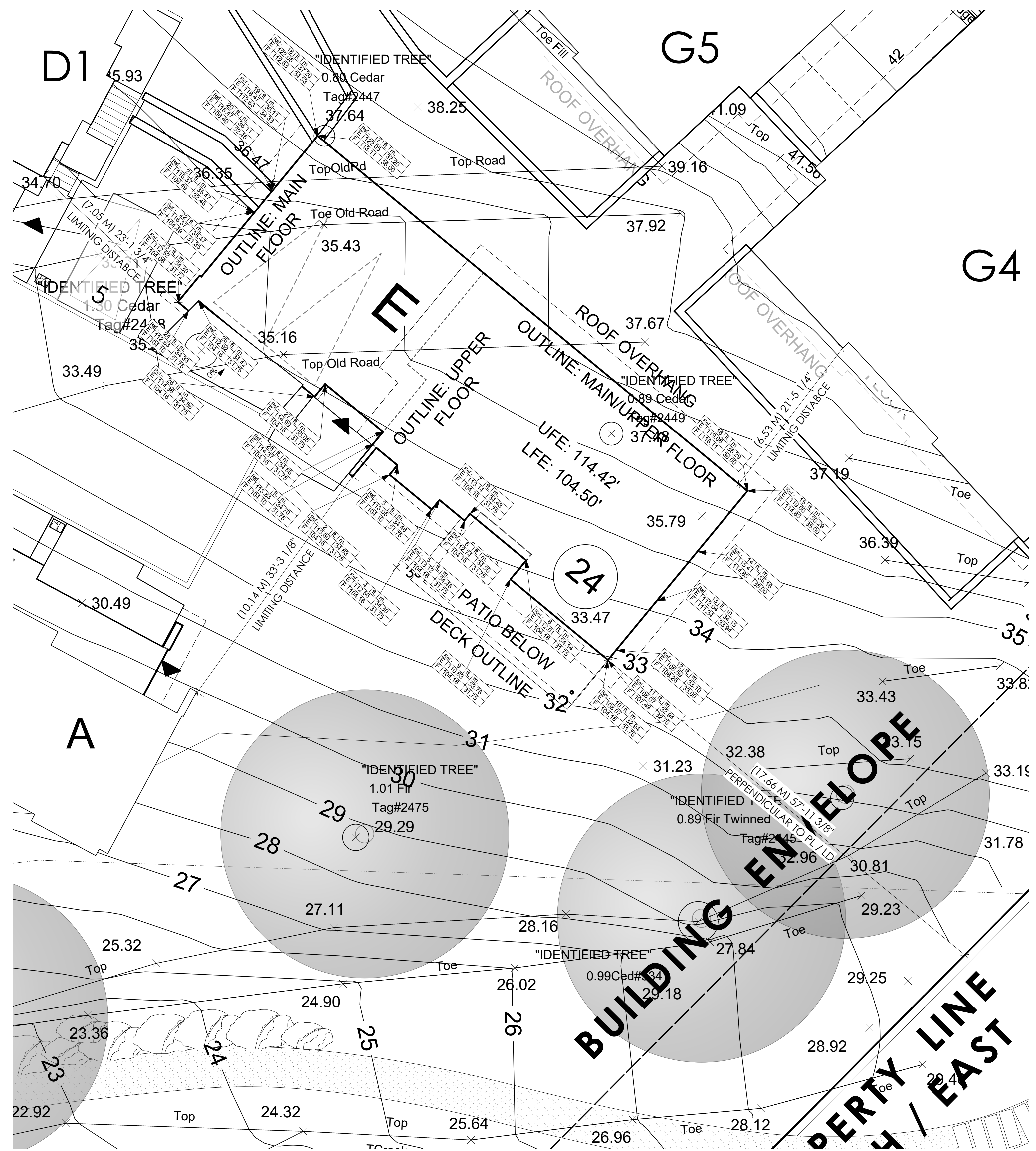
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT D4

DRAWING
**FRONT, BACK &
SIDE ELEVATIONS**

PROJECT#	SHEET	
8030	AD4- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

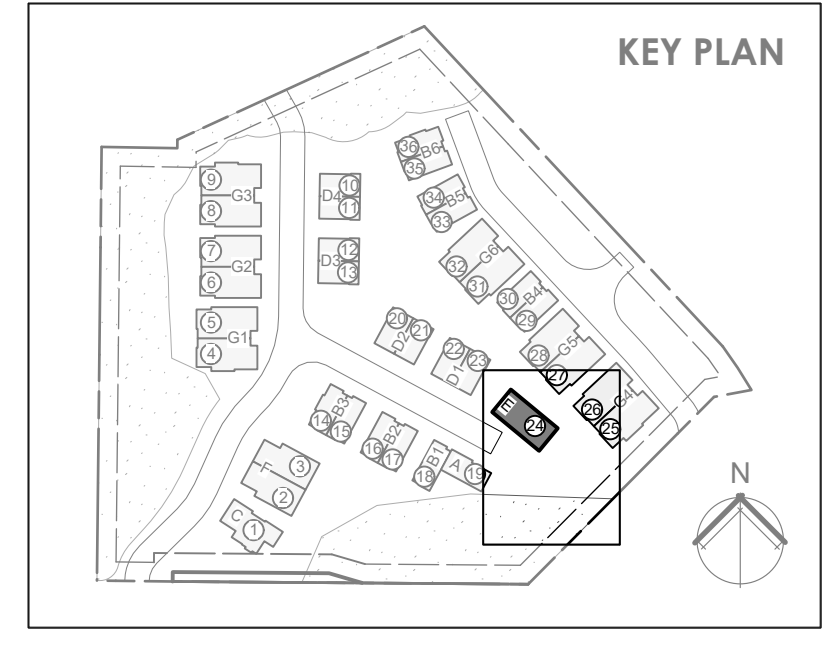
E - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	104.16	2	104.16	104.16	4.04	421.01
2	104.16	3	104.16	104.16	1.54	160.61
3	104.16	4	104.16	104.16	6.83	711.73
4	104.16	5	104.16	104.16	1.54	160.61
5	104.16	6	104.16	104.16	4.04	421.01
6	104.16	7	104.16	104.16	1.08	112.81
7	104.16	8	104.16	104.16	9.13	950.46
8	104.16	9	104.16	104.16	3.08	321.13
9	104.16	10	104.16	104.16	15.83	1649.17
10	104.16	11	107.49	105.83	0.00	0.00
11	107.49	12	108.26	107.88	1.88	203.13
12	108.26	13	111.34	109.80	7.91	868.96
13	111.34	14	114.83	113.09	8.11	916.78
14	114.83	15	114.83	114.83	9.51	1092.26
15	114.83	16	118.11	116.47	0.00	0.00
16	118.11	17	118.11	118.11	69.79	8243.13
17	118.11	18	112.63	115.37	0.00	0.00
18	112.63	19	112.63	112.63	8.99	1011.98
19	112.63	20	106.49	109.56	0.00	0.00
20	106.49	21	106.49	106.49	3.41	362.92
21	106.49	22	104.49	105.49	0.00	0.00
22	104.49	23	104.06	104.28	14.77	1540.56
23	104.06	24	104.16	104.11	1.67	173.55
24	104.16	25	104.16	104.16	1.75	182.28
25	104.16	26	104.16	104.16	18.83	1961.65
26	104.16	27	104.16	104.16	2.08	216.97
27	104.16	28	104.16	104.16	9.42	980.87
28	104.16	1	104.16	104.16	2.08	216.97
Total					207.33	22880.54
AVG Finish Grade						110.36
Max. Bldg Height (Ft):	29.85					140.21

E - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	113.83	2	113.60	113.72	4.04	459.64
2	113.60	3	113.05	113.33	1.54	174.75
3	113.05	4	112.56	112.81	6.83	770.80
4	112.56	5	113.12	112.84	1.54	174.00
5	113.12	6	112.74	112.93	4.04	456.46
6	112.74	7	113.14	112.94	1.08	122.31
7	113.14	8	112.01	112.58	9.13	1027.25
8	112.01	9	110.83	111.42	3.08	343.51
9	110.83	10	108.07	109.45	15.83	1732.92
10	108.07	11	108.59	108.59	0.00	0.00
11	108.07	12	108.59	108.33	1.88	203.99
12	108.59	13	112.04	110.32	7.91	873.03
13	112.04	14	115.41	113.73	8.11	921.97
14	115.41	15	119.06	117.24	9.51	1115.14
15	119.06	16	119.06	119.06	0.00	0.00
16	119.06	17	122.05	120.56	69.79	8413.77
17	122.05	18	122.05	122.05	0.00	0.00
18	122.05	19	118.47	120.26	8.99	1080.54
19	118.47	20	118.47	118.47	0.00	0.00
20	118.47	21	116.37	117.42	3.41	400.17
21	116.37	22	116.37	116.37	0.00	0.00
22	116.37	23	112.52	114.45	14.77	1690.81
23	112.52	24	112.63	112.58	1.67	187.66
24	112.63	25	112.92	112.78	1.75	197.36
25	112.92	26	114.36	113.64	18.83	2140.18
26	114.36	27	114.99	114.68	2.08	238.87
27	114.99	28	114.37	114.68	9.42	1079.94
28	114.37	1	113.83	114.10	2.08	237.67
Total					209.22	24042.73
AVG Existing Grade						114.92
Max. Bldg Height (Ft):	29.85					144.77



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - E (24)	
Main	Upper
31.85 m 104.50'	34.88 m 114.42'



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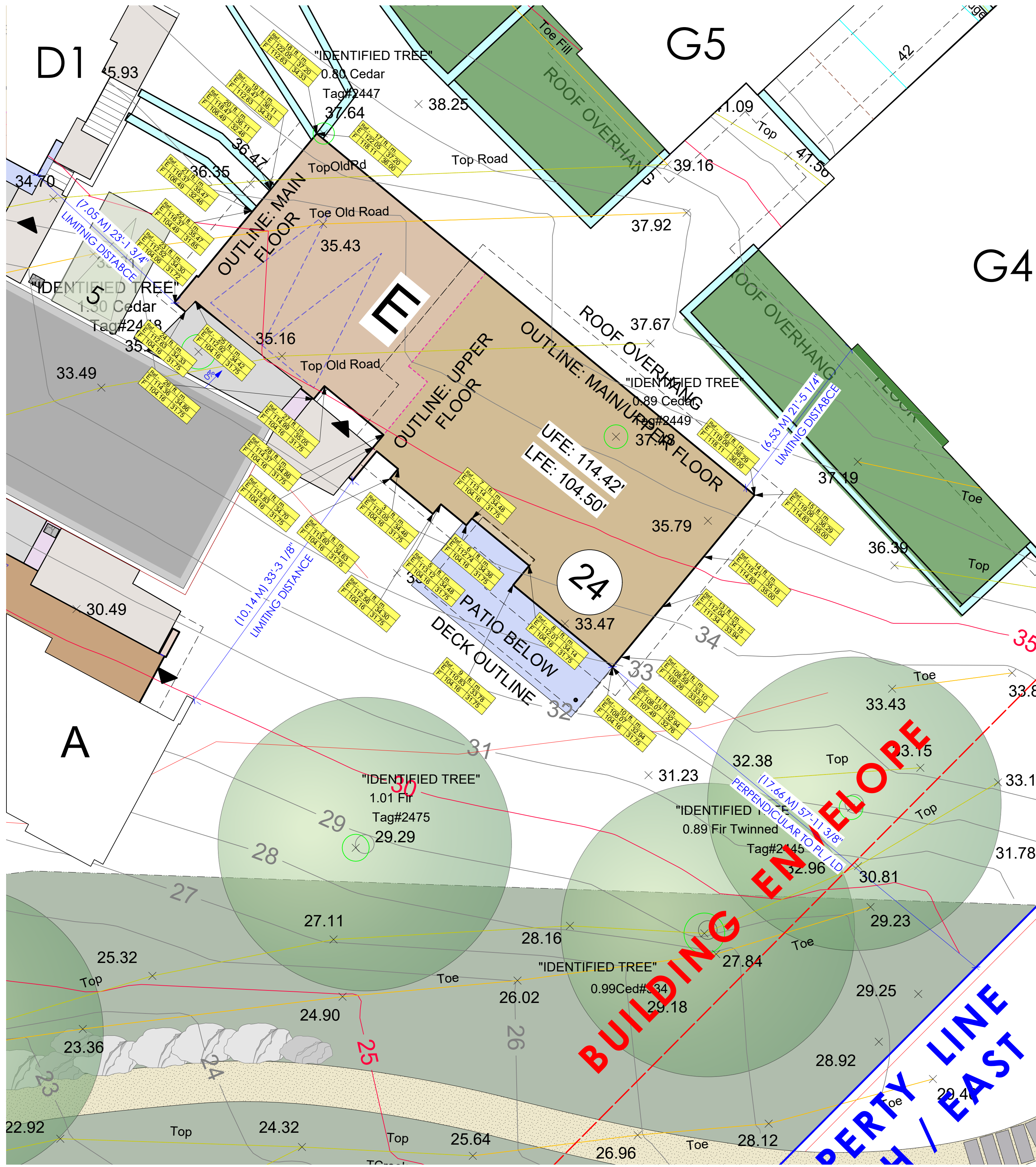
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT E

DRAWING
SITE PLAN

PROJECT#	SHEET
8030	AE-1.
SCALE 1/8" = 1'-0"	01
DATE OCT 1, 2023	

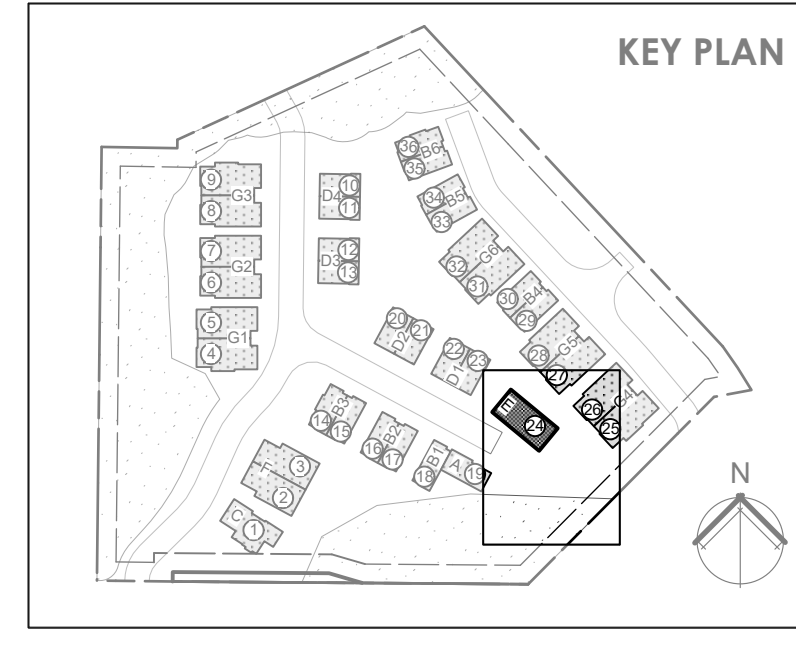
E - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	104.16	2	104.16	104.16	4.04	421.01
2	104.16	3	104.16	104.16	1.54	160.61
3	104.16	4	104.16	104.16	6.83	711.73
4	104.16	5	104.16	104.16	1.54	160.61
5	104.16	6	104.16	104.16	4.04	421.01
6	104.16	7	104.16	104.16	1.08	112.81
7	104.16	8	104.16	104.16	9.13	950.46
8	104.16	9	104.16	104.16	3.08	321.13
9	104.16	10	104.16	104.16	15.83	1649.17
10	104.16	11	107.49	105.83	0.00	0.00
11	107.49	12	108.26	107.88	1.88	203.13
12	108.26	13	111.34	109.80	7.91	868.96
13	111.34	14	114.83	113.09	8.11	916.78
14	114.83	15	114.83	114.83	9.51	1092.26
15	114.83	16	118.11	116.47	0.00	0.00
16	118.11	17	118.11	118.11	69.79	8243.13
17	118.11	18	112.63	115.37	0.00	0.00
18	112.63	19	112.63	112.63	8.99	1011.98
19	112.63	20	106.49	109.56	0.00	0.00
20	106.49	21	106.49	106.49	3.41	362.92
21	106.49	22	104.49	105.49	0.00	0.00
22	104.49	23	104.06	104.28	14.77	1540.56
23	104.06	24	104.16	104.11	1.67	173.55
24	104.16	25	104.16	104.16	1.75	182.28
25	104.16	26	104.16	104.16	18.83	1961.65
26	104.16	27	104.16	104.16	2.08	216.97
27	104.16	28	104.16	104.16	9.42	980.87
28	104.16	1	104.16	104.16	2.08	216.97
Total					207.33	22880.54
AVG Finish Grade						110.36
Max. Bldg Height (Ft):	29.85					140.21

E - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	113.83	2	113.60	113.72	4.04	459.64
2	113.60	3	113.05	113.33	1.54	174.75
3	113.05	4	112.56	112.81	6.83	770.80
4	112.56	5	113.12	112.84	1.54	174.00
5	113.12	6	112.74	112.93	4.04	456.46
6	112.74	7	113.14	112.94	1.08	122.31
7	113.14	8	112.01	112.58	9.13	1027.25
8	112.01	9	110.83	111.42	3.08	343.51
9	110.83	10	108.07	109.45	15.83	1732.92
10	108.07	11	108.59	108.33	1.88	203.99
11	108.59	12	108.59	108.33	1.88	203.99
12	108.59	13	112.04	110.32	7.91	873.03
13	112.04	14	115.41	113.73	8.11	921.97
14	115.41	15	119.06	117.24	9.51	1115.14
15	119.06	16	119.06	119.06	0.00	0.00
16	119.06	17	122.05	120.56	69.79	8413.77
17	122.05	18	122.05	122.05	0.00	0.00
18	122.05	19	118.47	120.26	8.99	1080.54
19	118.47	20	118.47	118.47	0.00	0.00
20	118.47	21	116.37	117.42	3.41	400.17
21	116.37	22	116.37	116.37	0.00	0.00
22	116.37	23	112.52	114.45	14.77	1690.81
23	112.52	24	112.63	112.58	1.67	187.66
24	112.63	25	112.92	112.78	1.75	197.36
25	112.92	26	114.36	113.64	18.83	2140.18
26	114.36	27	114.99	114.68	2.08	238.87
27	114.99	28	114.37	114.68	9.42	1079.94
28	114.37	1	113.83	114.10	2.08	237.67
Total					209.22	24042.73
AVG Existing Grade						114.92
Max. Bldg Height (Ft):	29.85					144.77



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - E (24)	
Main	Upper
31.85 m 104.50'	34.88 m 114.42'



These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Comment Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



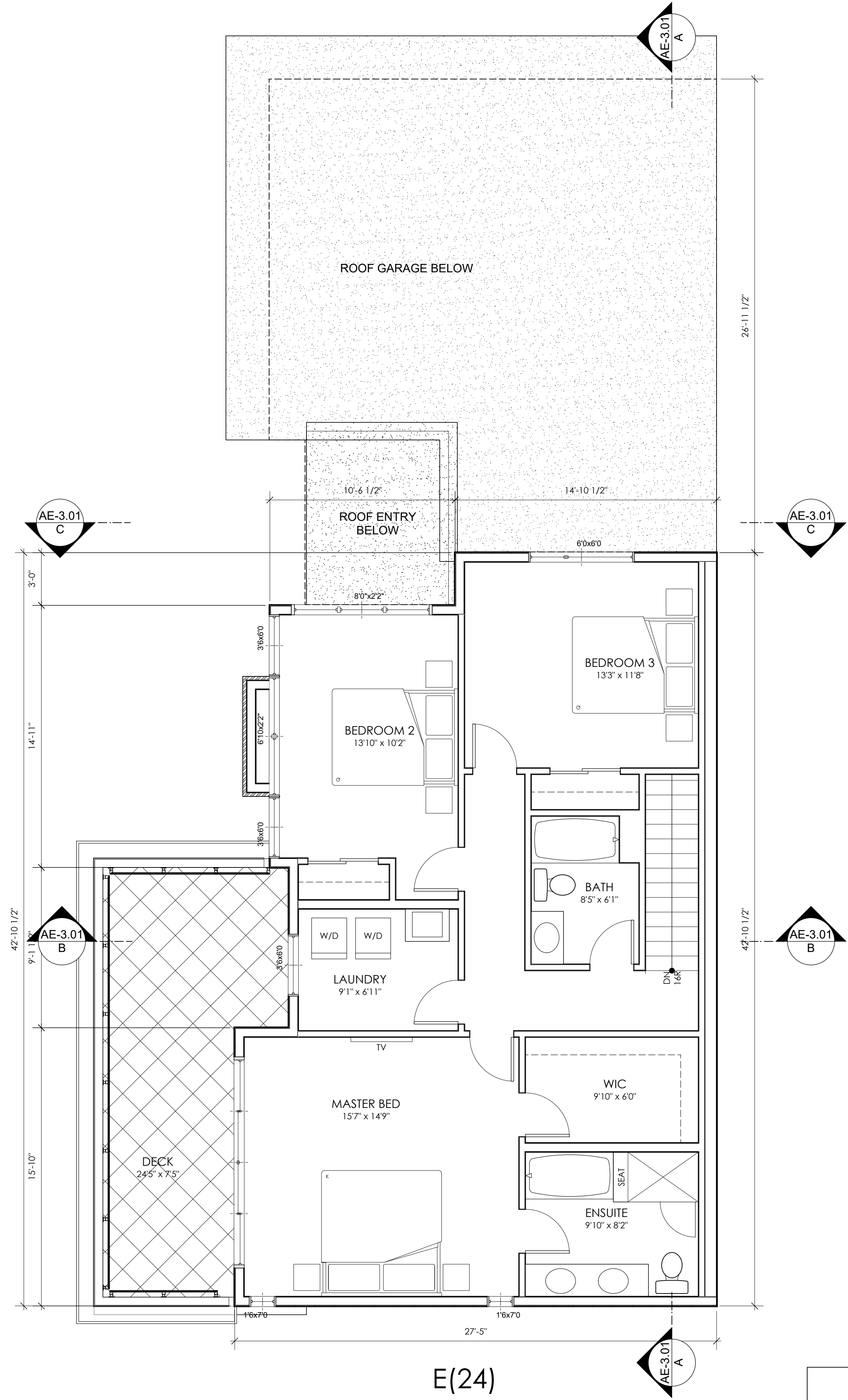
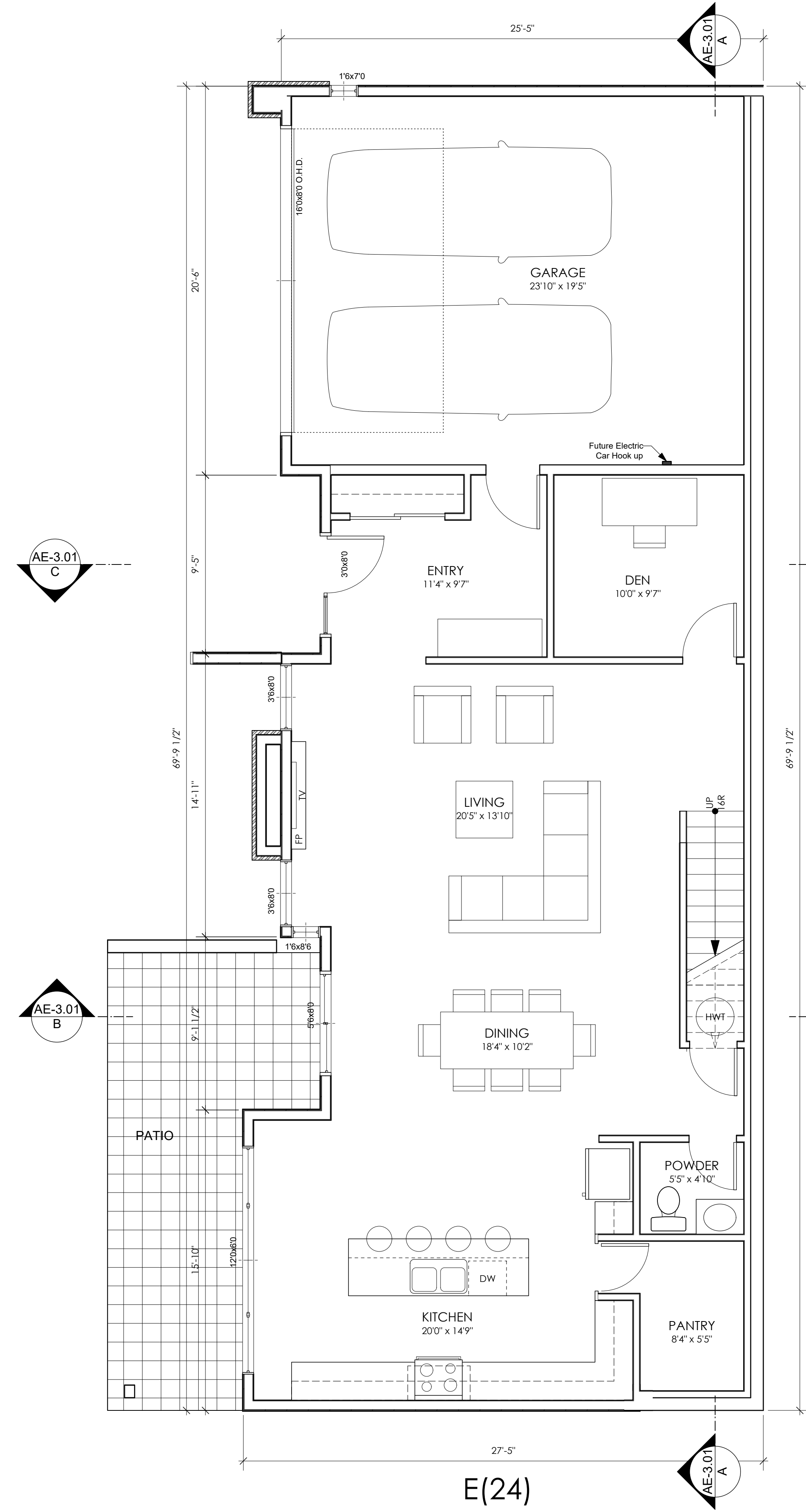
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT E

DRAWING
SITE PLAN

PROJECT#	SHEET
8030	AE-1.01
SCALE	1/8" = 1'-0"
DATE	OCT 1, 2023

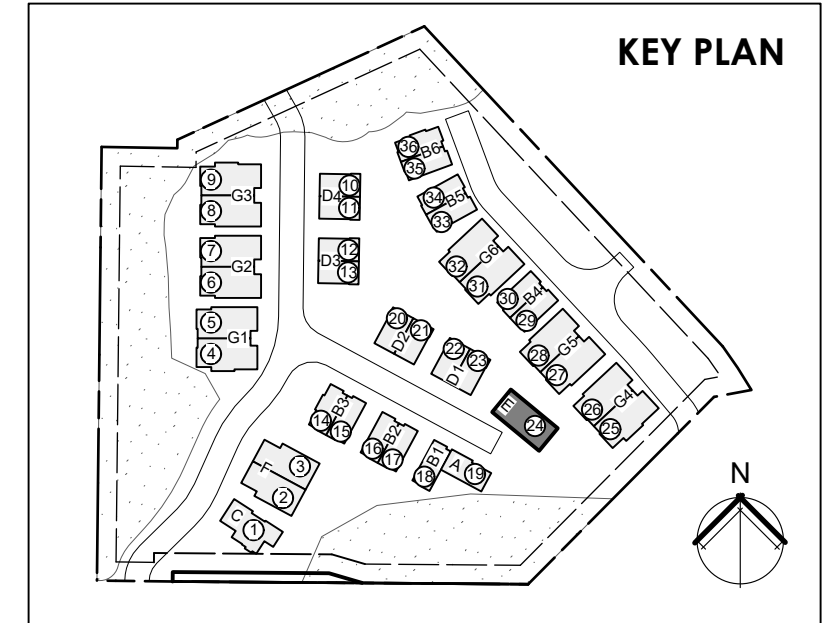
These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



UNIT 24 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1775.5 SF	1088.5 SF	0.0 SF	2863.9 SF
GARAGE EXCLUSIONS	441.0 SF	0.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 59.07%	788.3 SF	0.0 SF	0.0 SF	788.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	546.2 SF	1088.5 SF	0.0 SF	1634.6 SF

UNIT 24 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	164.9 SM	101.1 SM	0.0 SM	266.1 SM
GARAGE EXCLUSIONS	41.0 SM	0.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 59.07%	73.2 SM	0.0 SM	0.0 SM	73.2 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	50.7 SM	101.1 SM	0.0 SM	151.9 SM



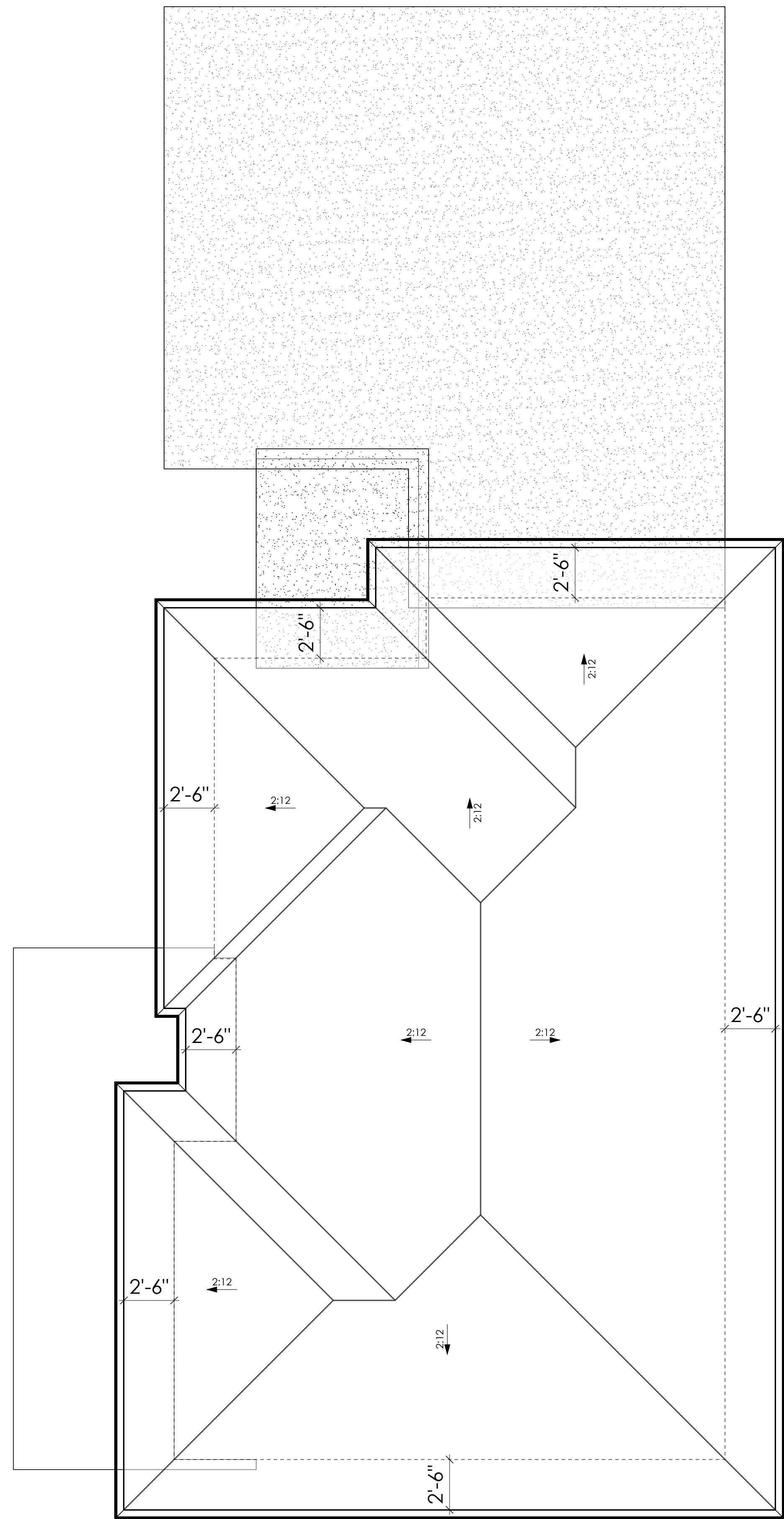
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT E

DRAWING
BUILDING PLANS

PROJECT# 8030
 SHEET **AE-2.01**
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023

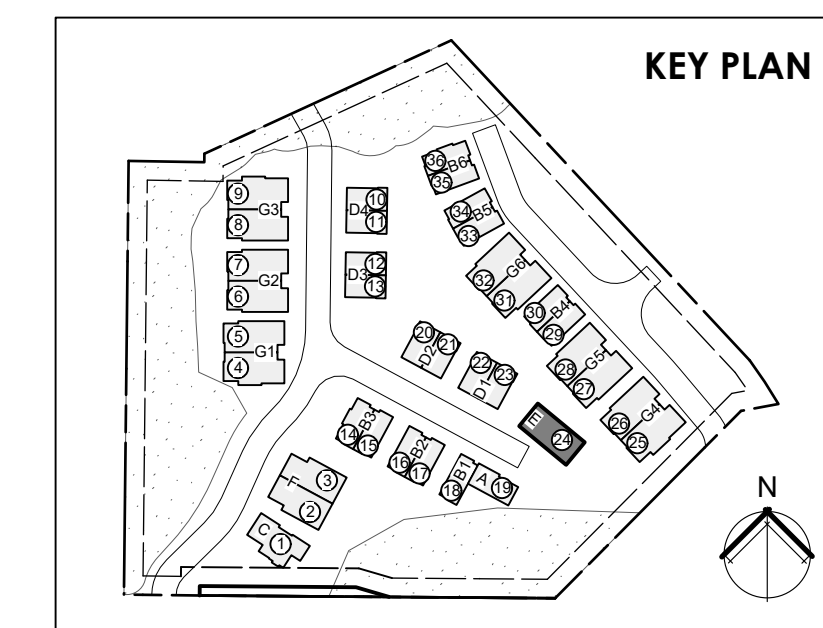
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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



E(24)

ROOF PLAN
UNIT E



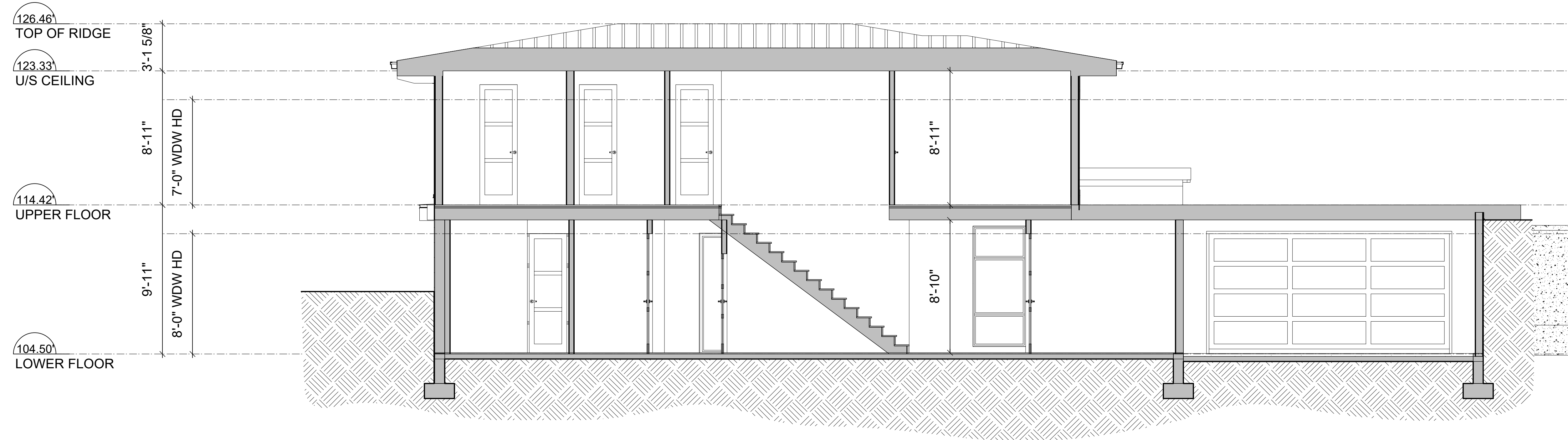
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

DRAWING
ROOF PLAN

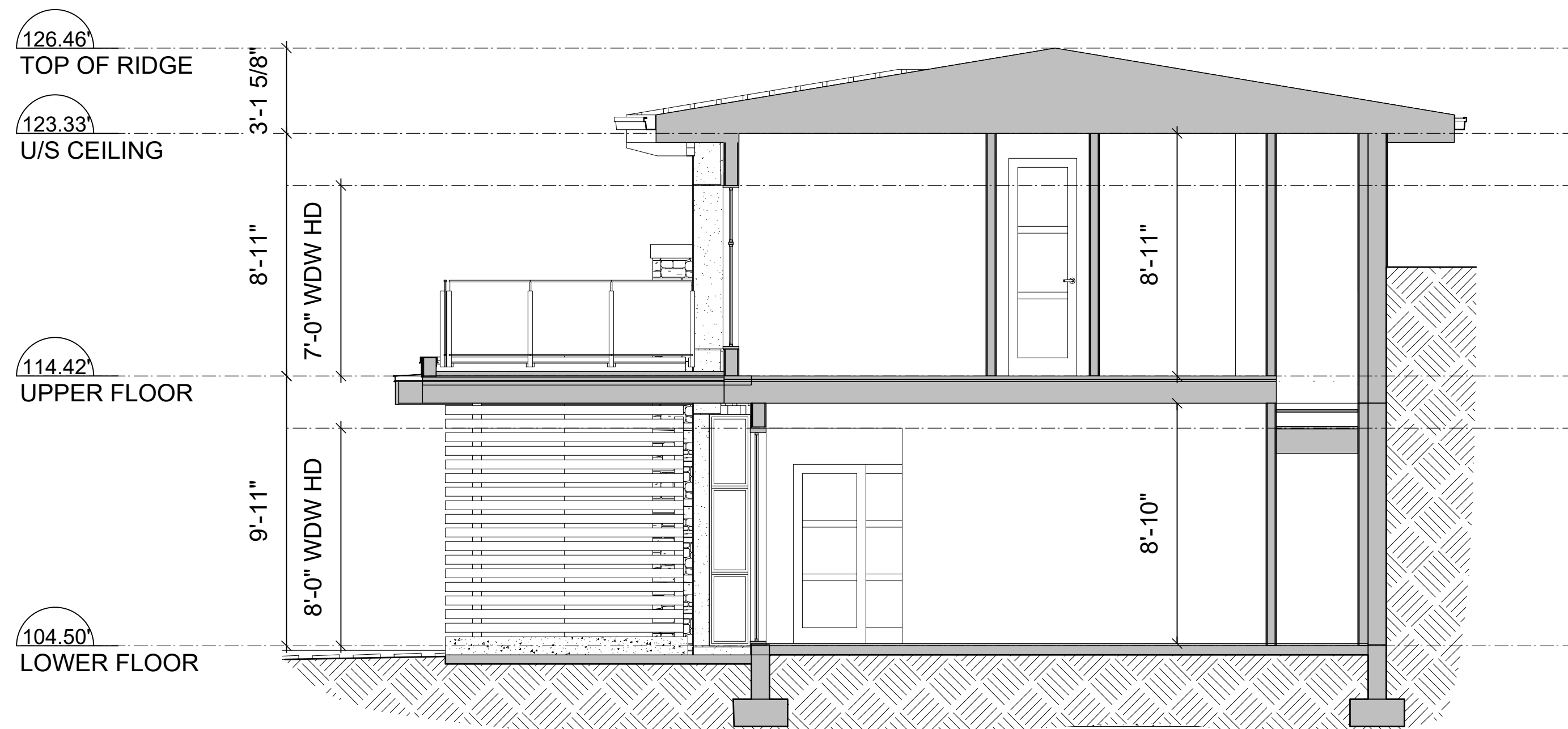
PROJECT#	SHEET
8030	AE-2. 02
SCALE	
DATE	

1/8"=1'-0"
OCT 1, 2023

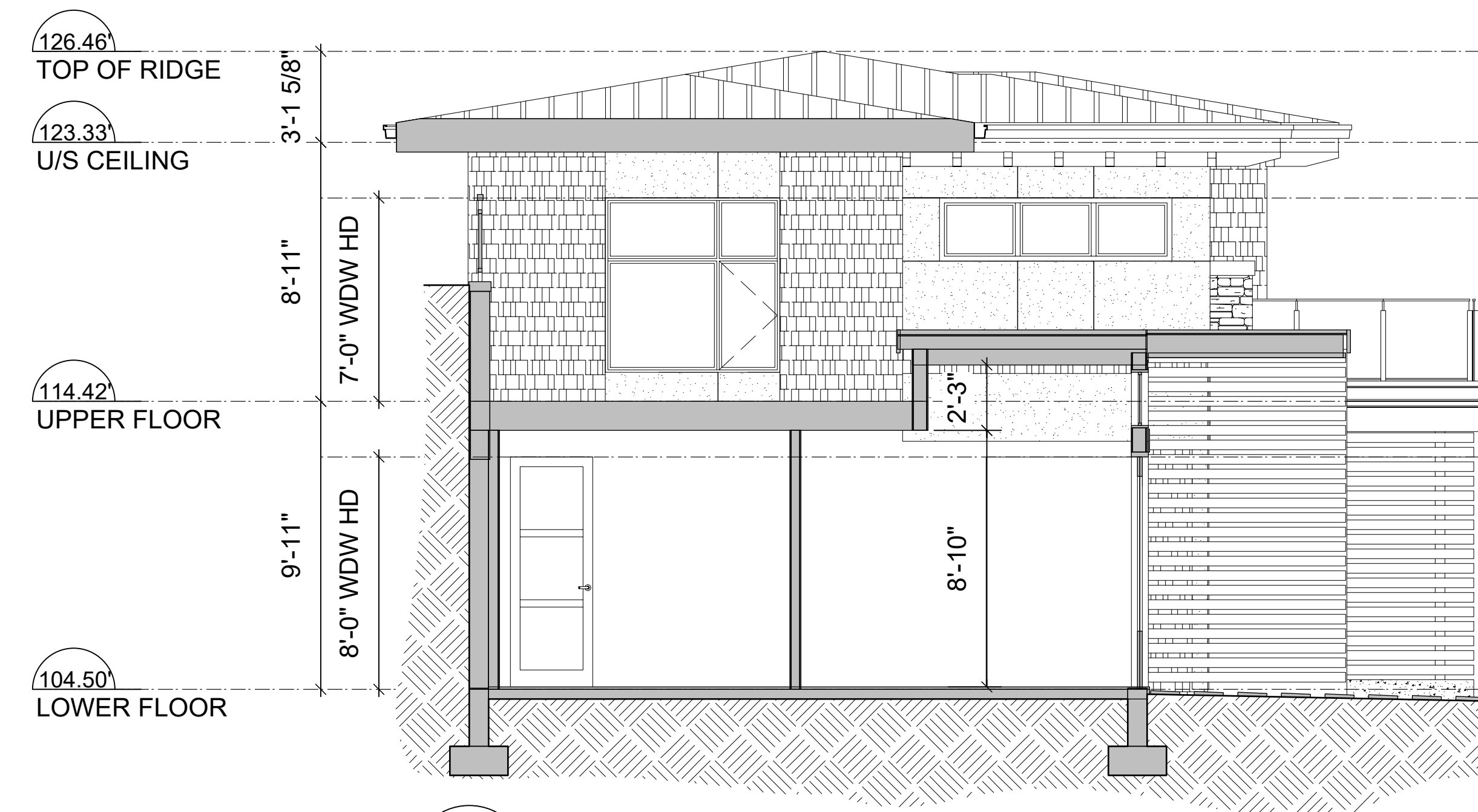
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A Section A
Scale: 1/4" = 1'-0"



B Section B
Scale: 1/4" = 1'-0"



C Section C
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT E

DRAWING
SECTIONS

PROJECT#	SHEET
8030	AE-3.
SCALE 1/4" = 1'-0"	01
DATE OCT 1, 2023	

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



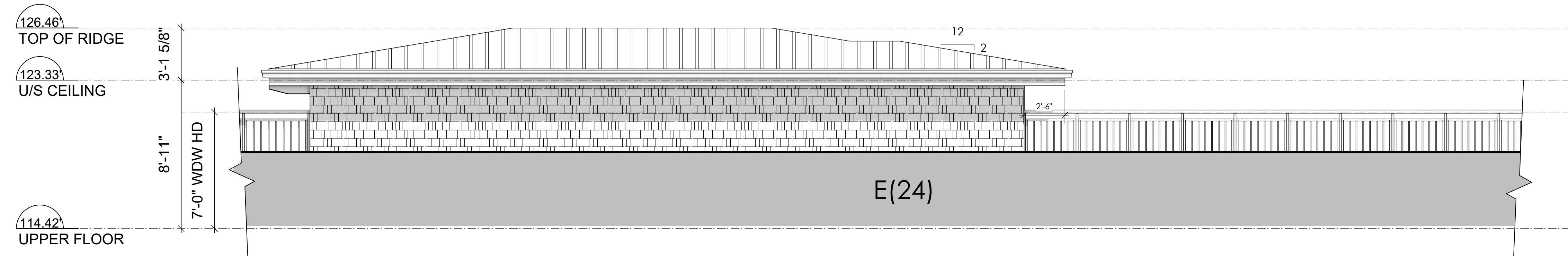
E(24)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(110.36' - 104.50' / 114.42' - 104.50') \times 100 = 59.07\%$
 $(1'775.5 \text{ (gross area)} - 441.0 \text{ (garage)}) \times 59.07\% = 788.29 \text{ SF (exemption)}$

SOUTH ELEVATION
UNIT E

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1130.08 SF (104.99 SM)
LIMITING DISTANCE:	16.63' (5.07 M)
UNPROTECTED OPENING:	509.75 SF (47.36 SM)
PROPOSED OPENING:	45.11%
PERMITTED OPENINGS:	50.22%



E(24)

NORTH ELEVATION
UNIT E

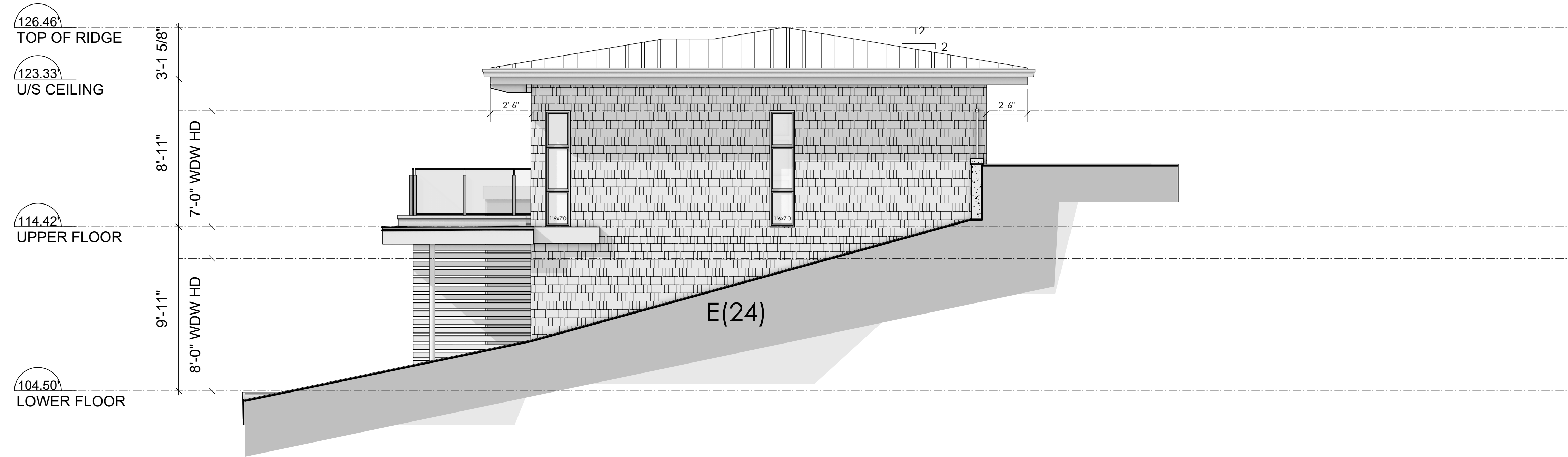


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT E

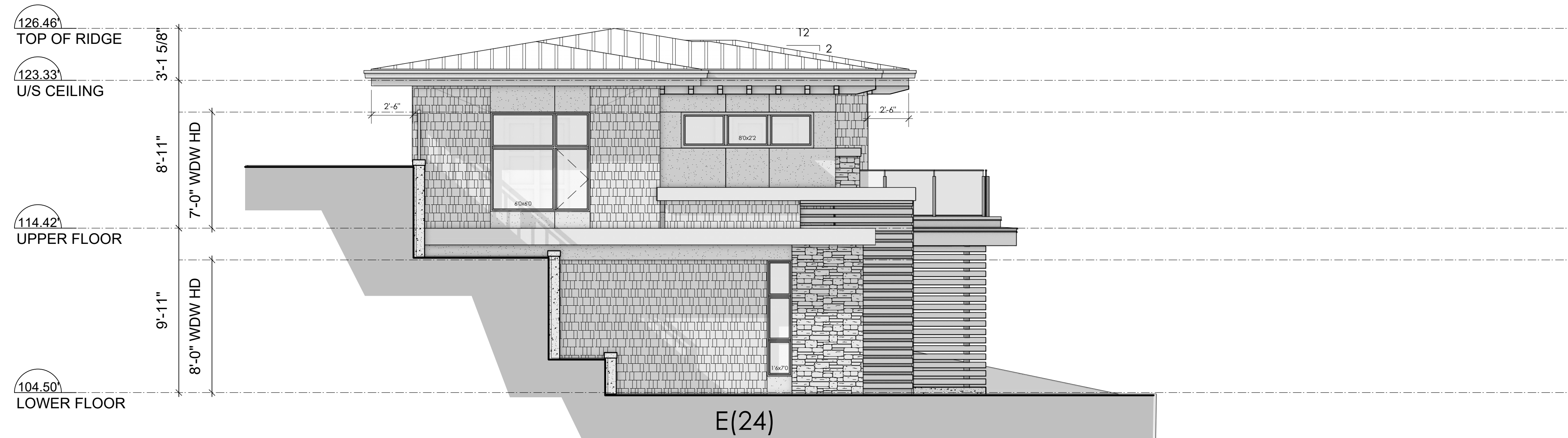
DRAWING
 SOUTH & NORTH ELEVATIONS B/W

PROJECT#	8030	SHEET AE-4. 01
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2023	

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



SIDE ELEVATION (EAST)
UNIT E



SIDE ELEVATION (WEST)
UNIT E

SPATIAL SEPARATION CALCULATION (BCRC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	426.07 SF (39.58 SM)
LIMITING DISTANCE:	11.57' (3.53 M)
UNPROTECTED OPENING:	63.83 SF (5.93 SM)
PROPOSED OPENING:	14.98%
PERMITTED OPENINGS:	53.16%



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

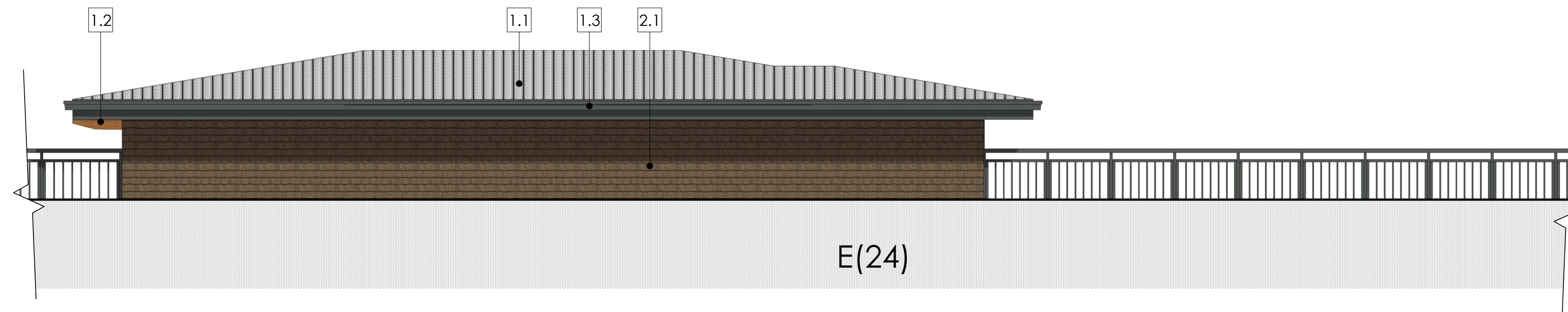
DRAWING
**EAST & WEST
ELEVATIONS B/W**

PROJECT#	8030	SHEET AE-4. 02
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2023	



E(24)

SOUTH ELEVATION
UNIT E



E(24)

NORTH ELEVATION
UNIT E



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRG/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

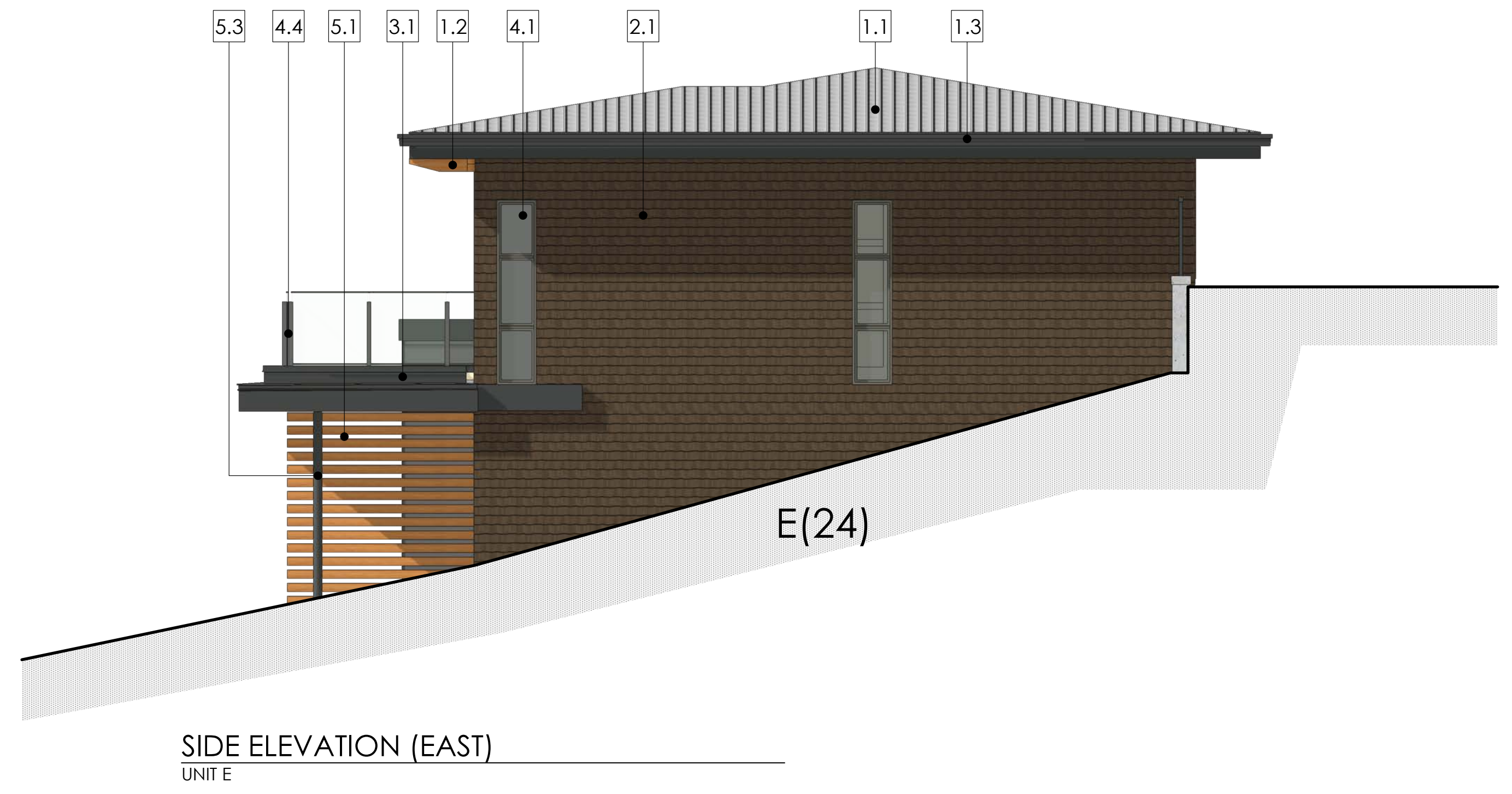
UNIT E

DRAWING
**SOUTH & NORTH
ELEVATIONS**

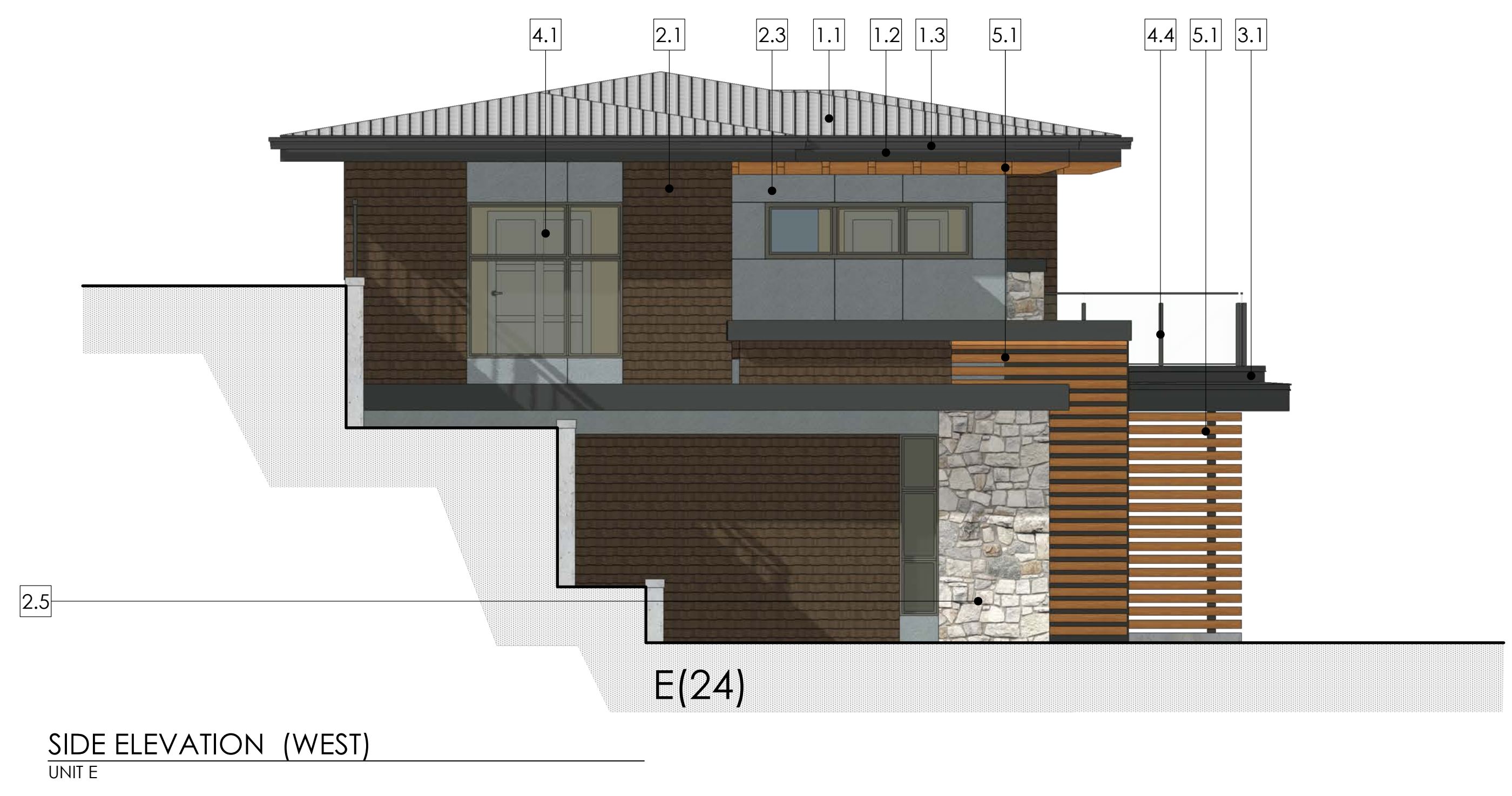
PROJECT#	8030	SHEET	AE-4. 03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



SIDE ELEVATION (EAST)
UNIT E



SIDE ELEVATION (WEST)
UNIT E

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT E

DRAWING
EAST WEST ELEVATIONS

PROJECT#	8030	SHEET	AE-4. 04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT E



SIDE ELEVATION - CAMERA VIEW
UNIT E



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT E

DRAWING
FRONT & SIDE
ELEVATIONS -
CAMERA VIEW

PROJECT#	8030	SHEET AE-4. 05
SCALE	N.T.S.	
DATE	OCT 1, 2023	

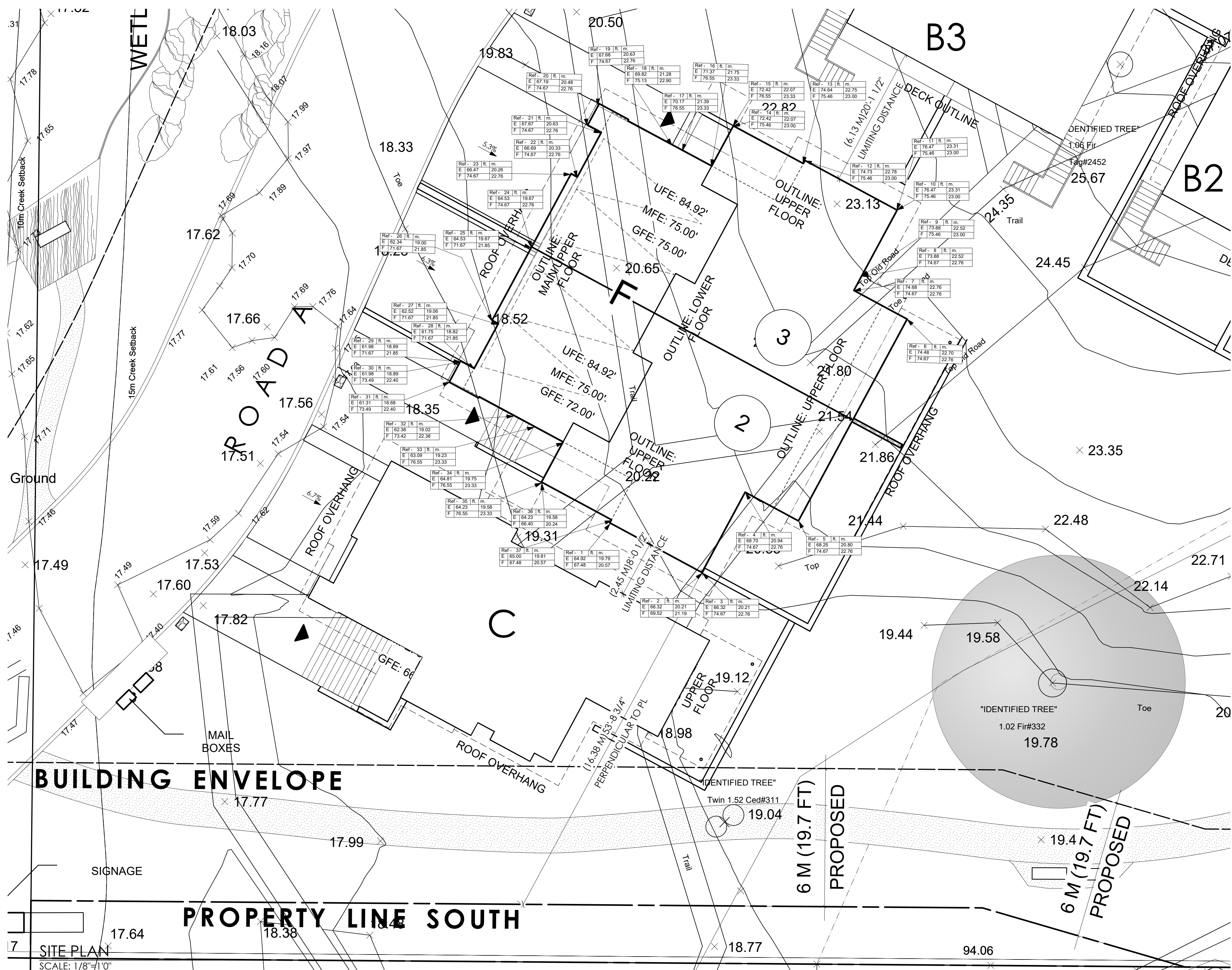
These plans remain the ownership of Sterling Pacific

REVISIONS
 Issued for DP/Rezoning
 DRG/ Public Comment Revisions
 G1, G2, G3 Revisions
 H unit additions

Aug 31, 2021
 MAY 12, 2023
 JULY 31, 2023
 Oct 1, 2023

F - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	67.48	2	69.52	68.50	14.92	1021.81
2	69.52	3	74.67	72.10	0.00	0.00
3	74.67	4	74.67	74.67	13.00	970.71
4	74.67	5	74.67	74.67	8.63	644.03
5	74.67	6	74.67	74.67	32.67	2439.24
6	74.67	7	74.67	74.67	8.63	644.03
7	74.67	8	74.67	74.67	2.31	172.19
8	74.67	9	75.46	75.07	0.00	0.00
9	75.46	10	75.46	75.46	10.69	806.97
10	75.46	11	75.46	75.46	0.00	0.00
11	75.46	12	75.46	75.46	14.92	1125.64
12	75.46	13	75.46	75.46	0.50	37.73
13	75.46	14	75.46	75.46	11.33	855.19
14	75.46	15	76.55	76.01	0.00	0.00
15	76.55	16	76.55	76.55	6.50	497.58
16	76.55	17	76.55	76.55	4.70	359.56
17	76.55	18	75.13	75.84	1.67	126.43
18	75.13	19	74.67	74.90	11.97	896.48
19	74.67	20	74.67	74.67	3.25	242.68
20	74.67	21	74.67	74.67	2.21	164.87
21	74.67	22	74.67	74.67	7.21	538.22
22	74.67	23	74.67	74.67	1.00	74.67
23	74.67	24	74.67	74.67	11.88	886.71
24	74.67	25	71.67	73.17	0.00	0.00
25	71.67	26	71.67	71.67	11.88	851.08
26	71.67	27	71.67	71.67	1.00	71.67
27	71.67	28	71.67	71.67	7.21	516.60
28	71.67	29	71.67	71.67	2.21	158.25
29	71.67	30	73.49	72.58	0.00	0.00
30	73.49	31	73.49	73.49	3.25	238.84
31	73.49	32	73.42	73.46	10.30	756.81
32	73.42	33	76.55	74.99	3.33	249.93
33	76.55	34	76.55	76.55	4.70	359.56
34	76.55	35	76.55	76.55	6.50	497.58
35	76.55	36	66.40	71.48	0.00	0.00
36	66.40	37	67.48	66.94	11.33	758.63
37	67.48	1	67.48	67.48	0.50	33.74
Total					230.17	16997.39
AVG Finish Grade						73.85
Max. Bldg Height (Ft):				29.85		103.70

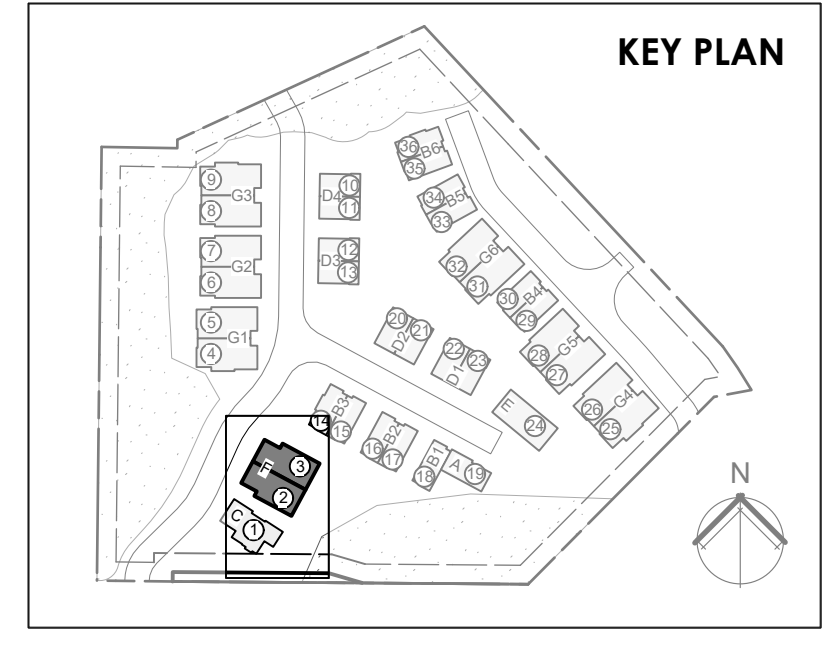
F - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	64.92	2	66.32	65.62	14.92	978.85
2	66.32	3	66.32	66.32	0.00	0.00
3	66.32	4	68.70	67.51	13.00	877.63
4	68.70	5	68.25	68.48	8.63	590.60
5	68.25	6	74.48	71.37	32.67	2331.28
6	74.48	7	74.68	74.58	8.63	643.25
7	74.68	8	73.88	74.28	2.31	171.29
8	73.88	9	73.88	73.88	0.00	0.00
9	73.88	10	76.47	75.18	10.69	803.92
10	76.47	11	76.47	76.47	0.00	0.00
11	76.47	12	74.73	75.60	14.92	1127.73
12	74.73	13	74.64	74.69	0.50	37.34
13	74.64	14	72.42	73.53	11.33	833.32
14	72.42	15	72.42	72.42	0.00	0.00
15	72.42	16	71.37	71.90	6.50	467.32
16	71.37	17	70.17	70.77	4.70	332.41
17	70.17	18	69.82	70.00	1.67	116.68
18	69.82	19	67.68	68.75	11.97	822.87
19	67.68	20	67.19	67.44	3.25	219.16
20	67.19	21	67.67	67.43	2.21	148.89
21	67.67	22	66.69	67.18	7.21	484.23
22	66.69	23	66.47	66.58	1.00	66.58
23	66.47	24	64.53	65.50	11.88	777.81
24	64.53	25	64.53	64.53	0.00	0.00
25	64.53	26	62.34	63.44	11.88	753.29
26	62.34	27	62.52	62.43	1.00	62.43
27	62.52	28	61.75	62.14	7.21	447.87
28	61.75	29	61.98	61.87	2.21	136.60
29	61.98	30	61.98	61.98	0.00	0.00
30	61.98	31	61.31	61.65	3.25	200.35
31	61.31	32	62.38	61.85	10.30	637.19
32	62.38	33	63.09	62.74	3.33	209.10
33	63.09	34	64.81	63.95	4.70	300.37
34	64.81	35	64.23	64.52	6.50	419.38
35	64.23	36	64.23	64.23	0.00	0.00
36	64.23	37	65.00	64.62	11.33	732.28
37	65.00	1	64.92	64.96	0.50	32.48
Total					230.17	15762.49
AVG Existing Grade						68.48
Max. Bldg Height (Ft):				29.85		98.33



7 SITE PLAN
 SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - F (2)		
Garage	Main	Upper
21.95 m	22.86 m	25.88 m
72.00'	75.00'	84.92'

TOP OF FINISH FLOOR - F (3)		
Gargage	Main	Upper
22.86 m	22.86 m	25.88 m
75.00'	75.00'	84.92'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
SITE PLAN

PROJECT# 8030
 SCALE 1/8" = 1'-0"
 DATE OCT 1, 2023
 SHEET
AF-1 .01

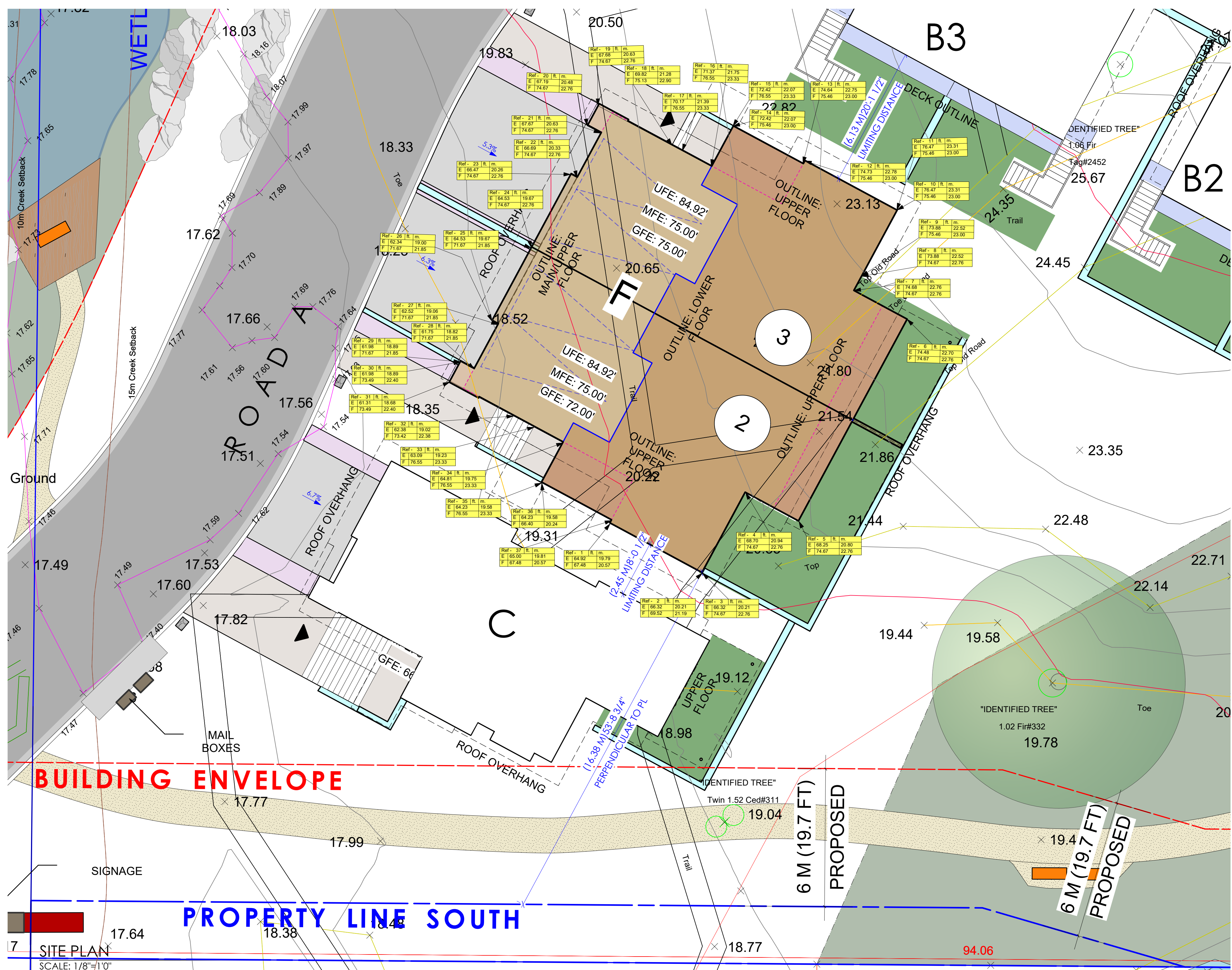
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REVISIONS
 Issued for DP/Rezoning
 DRG/ Public Comment Revisions
 G1, G2, G3 Revisions
 H unit additions

Aug 31, 2021
 MAY 12, 2023
 JULY 31, 2023
 Oct 1, 2023

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	67.48	2	69.52	68.50	14.92	1021.81
2	69.52	3	74.67	72.10	0.00	0.00
3	74.67	4	74.67	74.67	13.00	970.71
4	74.67	5	74.67	74.67	8.63	644.03
5	74.67	6	74.67	74.67	32.67	2439.24
6	74.67	7	74.67	74.67	8.63	644.03
7	74.67	8	74.67	74.67	2.31	172.19
8	74.67	9	75.46	75.07	0.00	0.00
9	75.46	10	75.46	75.46	10.69	806.97
10	75.46	11	75.46	75.46	0.00	0.00
11	75.46	12	75.46	75.46	14.92	1125.64
12	75.46	13	75.46	75.46	0.50	37.73
13	75.46	14	75.46	75.46	11.33	855.19
14	75.46	15	76.55	76.01	0.00	0.00
15	76.55	16	76.55	76.55	6.50	497.58
16	76.55	17	76.55	76.55	4.70	359.56
17	76.55	18	75.13	75.84	1.67	126.43
18	75.13	19	74.67	74.90	11.97	896.48
19	74.67	20	74.67	74.67	3.25	242.68
20	74.67	21	74.67	74.67	2.21	164.87
21	74.67	22	74.67	74.67	7.21	538.22
22	74.67	23	74.67	74.67	1.00	74.67
23	74.67	24	74.67	74.67	11.88	886.71
24	74.67	25	71.67	73.17	0.00	0.00
25	71.67	26	71.67	71.67	11.88	851.08
26	71.67	27	71.67	71.67	1.00	71.67
27	71.67	28	71.67	71.67	7.21	516.60
28	71.67	29	71.67	71.67	2.21	158.25
29	71.67	30	73.49	72.58	0.00	0.00
30	73.49	31	73.49	73.49	3.25	238.84
31	73.49	32	73.42	73.46	10.30	756.81
32	73.42	33	76.55	74.99	3.33	249.93
33	76.55	34	76.55	76.55	4.70	359.56
34	76.55	35	76.55	76.55	6.50	497.58
35	76.55	36	66.40	71.48	0.00	0.00
36	66.40	37	67.48	66.94	11.33	758.63
37	67.48	1	67.48	67.48	0.50	33.74
Total					230.17	16997.39
AVG Finish Grade						73.85
Max. Bldg Height (Ft)	29.85					103.70

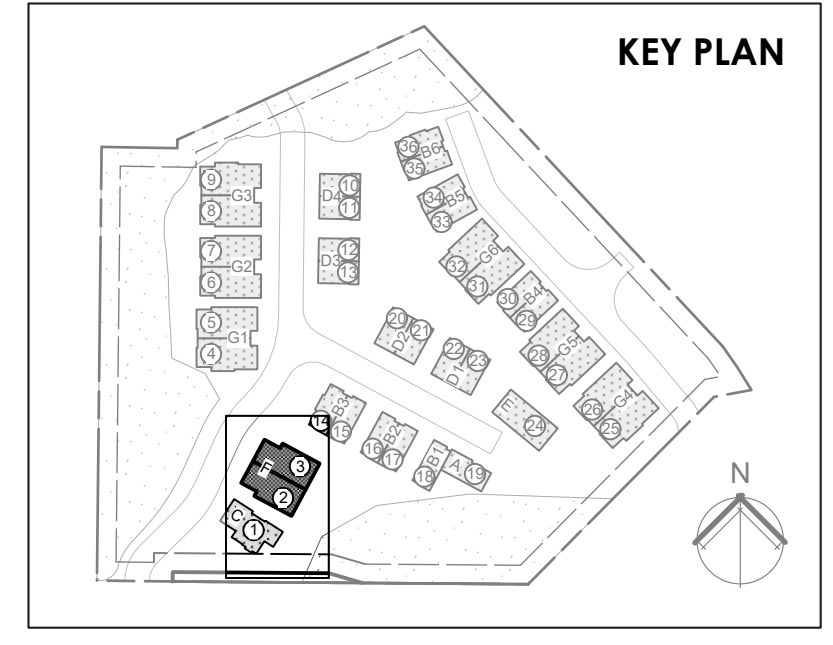
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	64.92	2	66.32	65.62	14.92	978.85
2	66.32	3	66.32	66.32	0.00	0.00
3	66.32	4	68.70	67.51	13.00	877.63
4	68.70	5	68.25	68.48	8.63	590.60
5	68.25	6	74.48	71.37	32.67	2331.28
6	74.48	7	74.68	74.58	8.63	643.25
7	74.68	8	73.88	74.28	2.31	171.29
8	73.88	9	73.88	73.88	0.00	0.00
9	73.88	10	76.47	75.18	10.69	803.92
10	76.47	11	76.47	76.47	0.00	0.00
11	76.47	12	74.73	75.60	14.92	1127.73
12	74.73	13	74.64	74.69	0.50	37.34
13	74.64	14	72.42	73.53	11.33	833.32
14	72.42	15	72.42	72.42	0.00	0.00
15	72.42	16	71.37	71.90	6.50	467.32
16	71.37	17	70.17	70.77	4.70	332.41
17	70.17	18	69.82	70.00	1.67	116.68
18	69.82	19	67.68	68.75	11.97	822.87
19	67.68	20	67.19	67.44	3.25	219.16
20	67.19	21	67.67	67.43	2.21	148.89
21	67.67	22	66.69	67.18	7.21	484.23
22	66.69	23	66.47	66.58	1.00	66.58
23	66.47	24	64.53	65.50	11.88	777.81
24	64.53	25	64.53	64.53	0.00	0.00
25	64.53	26	62.34	63.44	11.88	753.29
26	62.34	27	62.52	62.43	1.00	62.43
27	62.52	28	61.75	62.14	7.21	447.87
28	61.75	29	61.98	61.87	2.21	136.60
29	61.98	30	61.98	61.98	0.00	0.00
30	61.98	31	61.31	61.65	3.25	200.35
31	61.31	32	62.38	61.85	10.30	637.19
32	62.38	33	63.09	62.74	3.33	209.10
33	63.09	34	64.81	63.95	4.70	300.37
34	64.81	35	64.23	64.52	6.50	419.38
35	64.23	36	64.23	64.23	0.00	0.00
36	64.23	37	65.00	64.62	11.33	732.28
37	65.00	1	64.92	64.96	0.50	32.48
Total					230.17	15762.49
AVG Existing Grade						68.48
Max. Bldg Height (Ft)	29.85					98.33



7 SITE PLAN
 SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - F (2)		
Garage	Main	Upper
21.95 m	22.86 m	25.88 m
72.00'	75.00'	84.92'

TOP OF FINISH FLOOR - F (3)		
Gargage	Main	Upper
22.86 m	22.86 m	25.88 m
75.00'	75.00'	84.92'



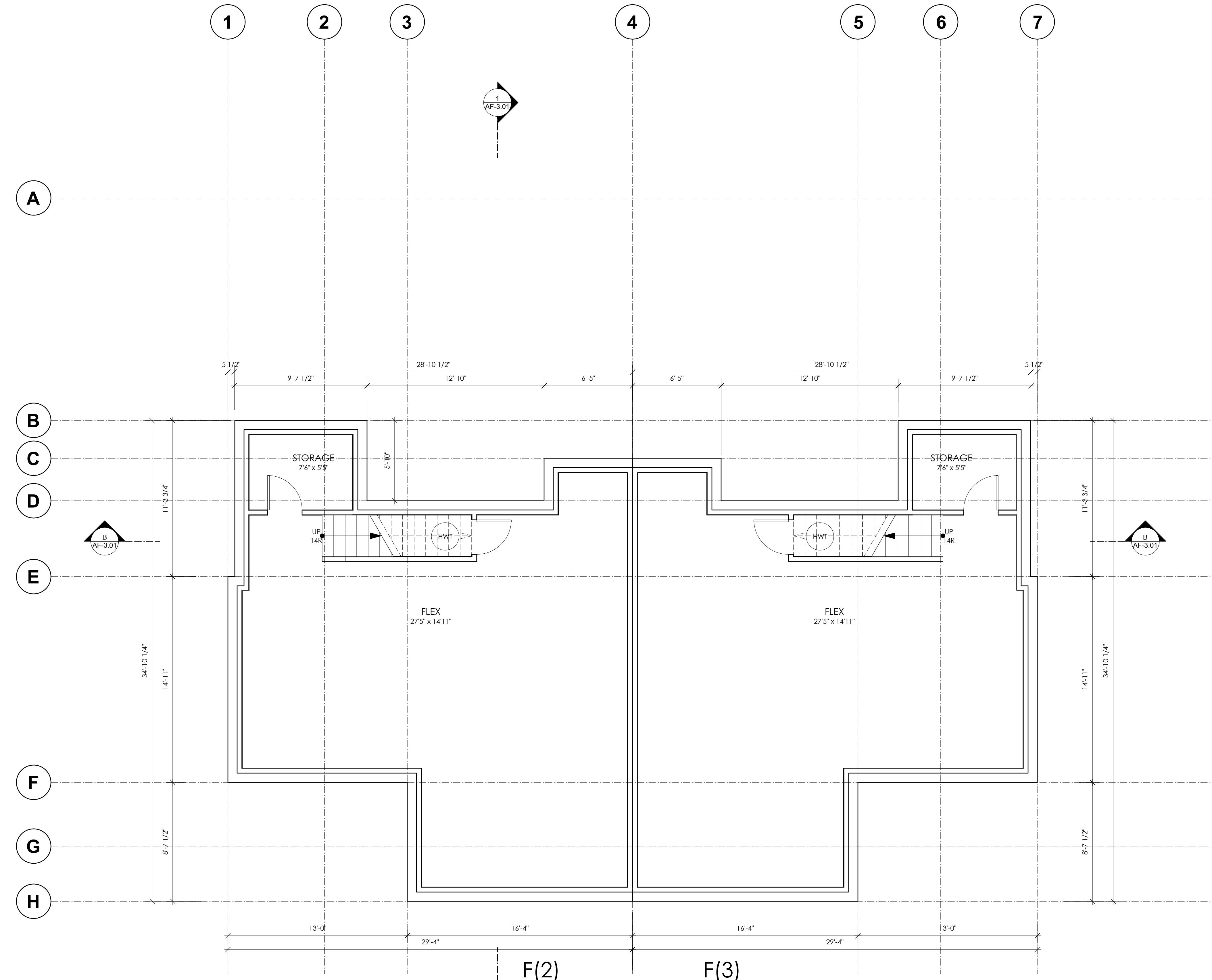
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
SITE PLAN

PROJECT# 8030
 SCALE 1/8" = 1'-0"
 DATE OCT 1, 2023
 SHEET **AF-1.01**

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023



LOWER FLOOR
UNIT F

BASEMENT EXEMPTIONS:
(68.48' - 66.08' / 75.00' - 66.08') x 100 = 26.91%

812.7 (gross area) x 26.91% = 218.70 SF (exemption)

BASEMENT EXEMPTIONS:
(68.48' - 66.08' / 75.00' - 66.08') x 100 = 26.91%

812.7 (gross area) x 26.91% = 218.70 SF (exemption)

UNIT F 2 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	3216.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	824.3 SF	1138.2 SF	2556.5 SF

UNIT F 2 FLOOR AREAS METRIC

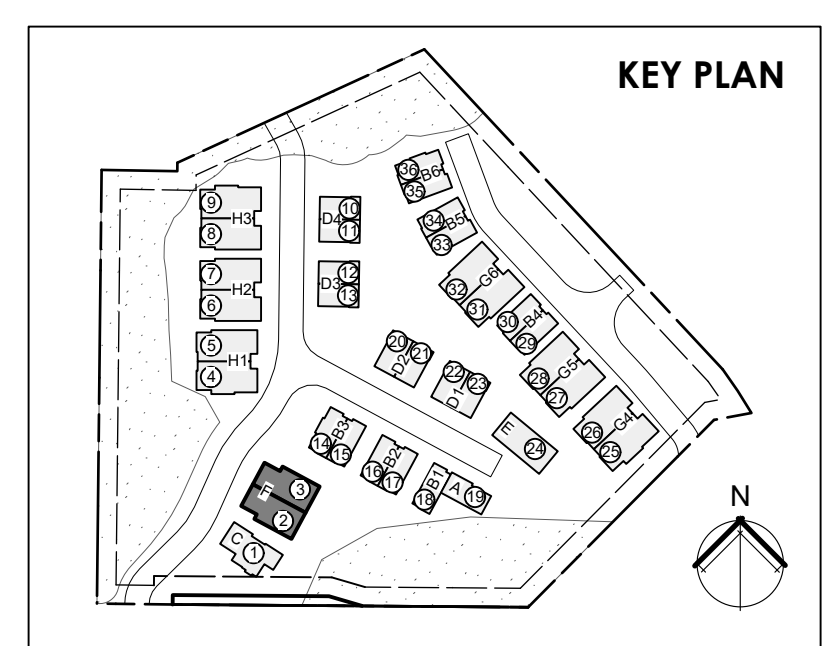
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SM	117.6 SM	105.7 SM	298.8 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 26.91%	20.3 SM	0.0 SM	0.0 SM	20.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	55.2 SM	76.6 SM	105.7 SM	237.5 SM

UNIT 3 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	3216.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	824.3 SF	1138.2 SF	2556.5 SF

UNIT 3 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SM	117.6 SM	105.7 SM	298.8 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 26.91%	20.3 SM	0.0 SM	0.0 SM	20.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	55.2 SM	76.6 SM	105.7 SM	237.5 SM

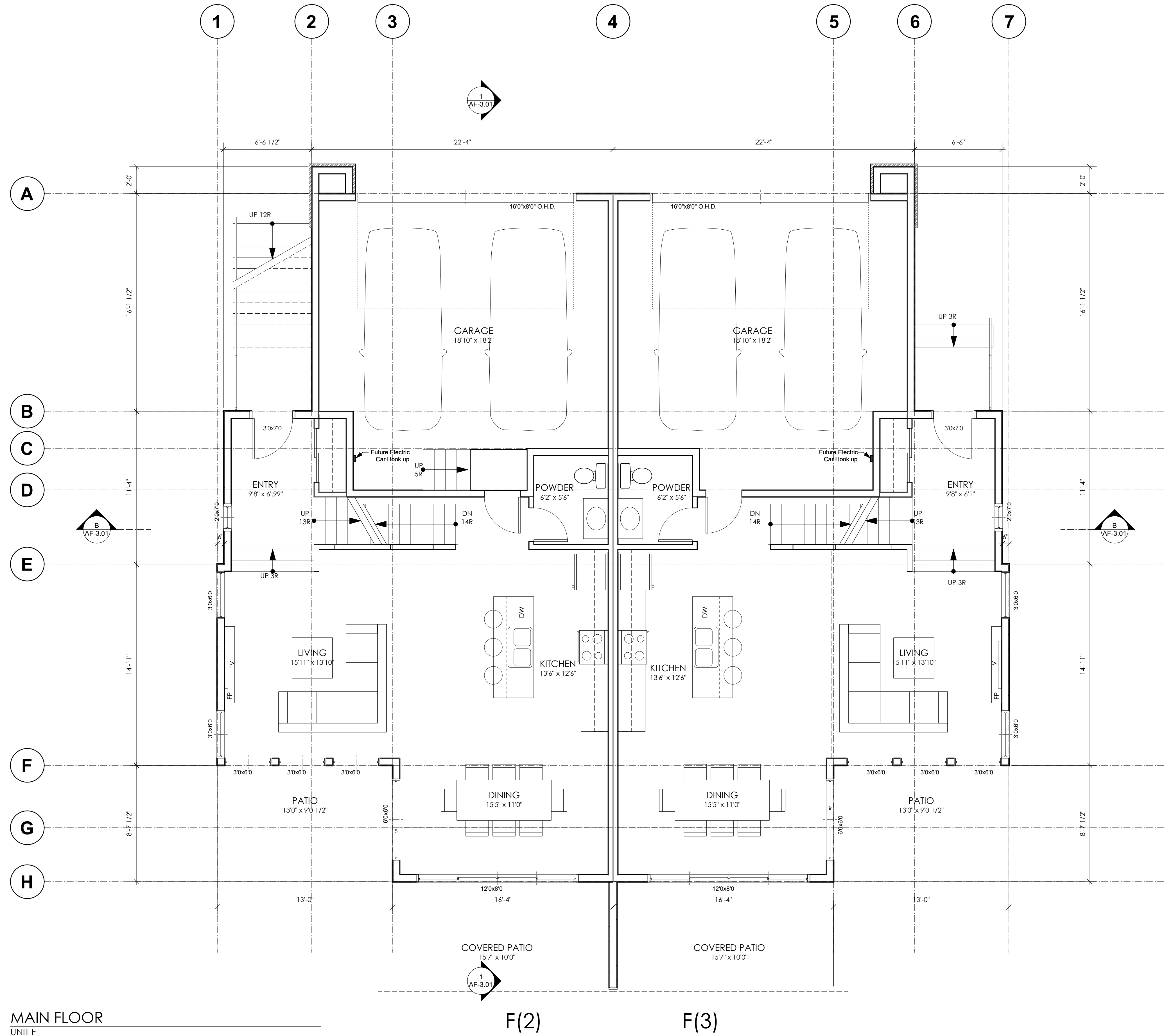


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT F

DRAWING
LOWER FLOOR

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AF-2 .01**

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



MAIN FLOOR
UNIT F

F(2)

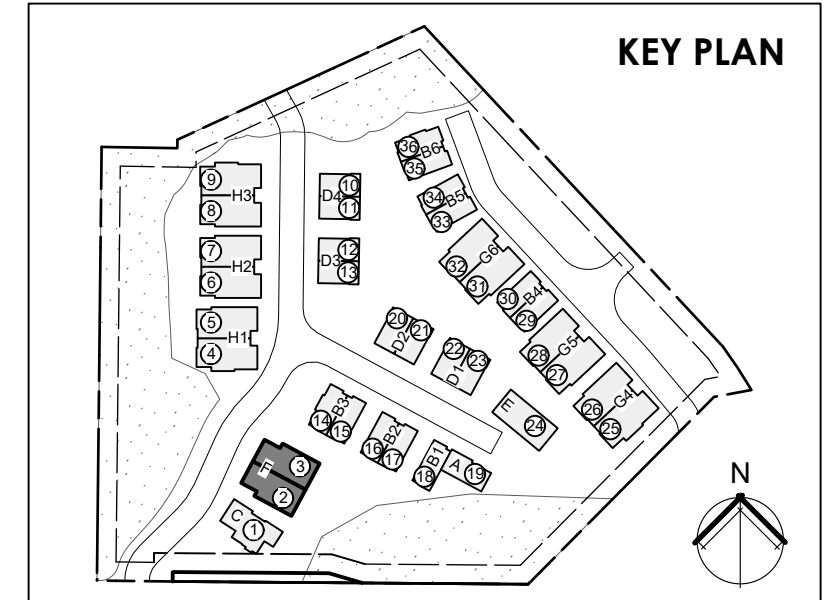
F(3)

UNIT F 2 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	3216.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	824.3 SF	1138.2 SF	2556.5 SF

UNIT F 2 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SM	117.6 SM	105.7 SM	298.8 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 26.91%	20.3 SM	0.0 SM	0.0 SM	20.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	55.2 SM	76.6 SM	105.7 SM	237.5 SM

UNIT 3 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	3216.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	824.3 SF	1138.2 SF	2556.5 SF

UNIT 3 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SM	117.6 SM	105.7 SM	298.8 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 26.91%	20.3 SM	0.0 SM	0.0 SM	20.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	55.2 SM	76.6 SM	105.7 SM	237.5 SM

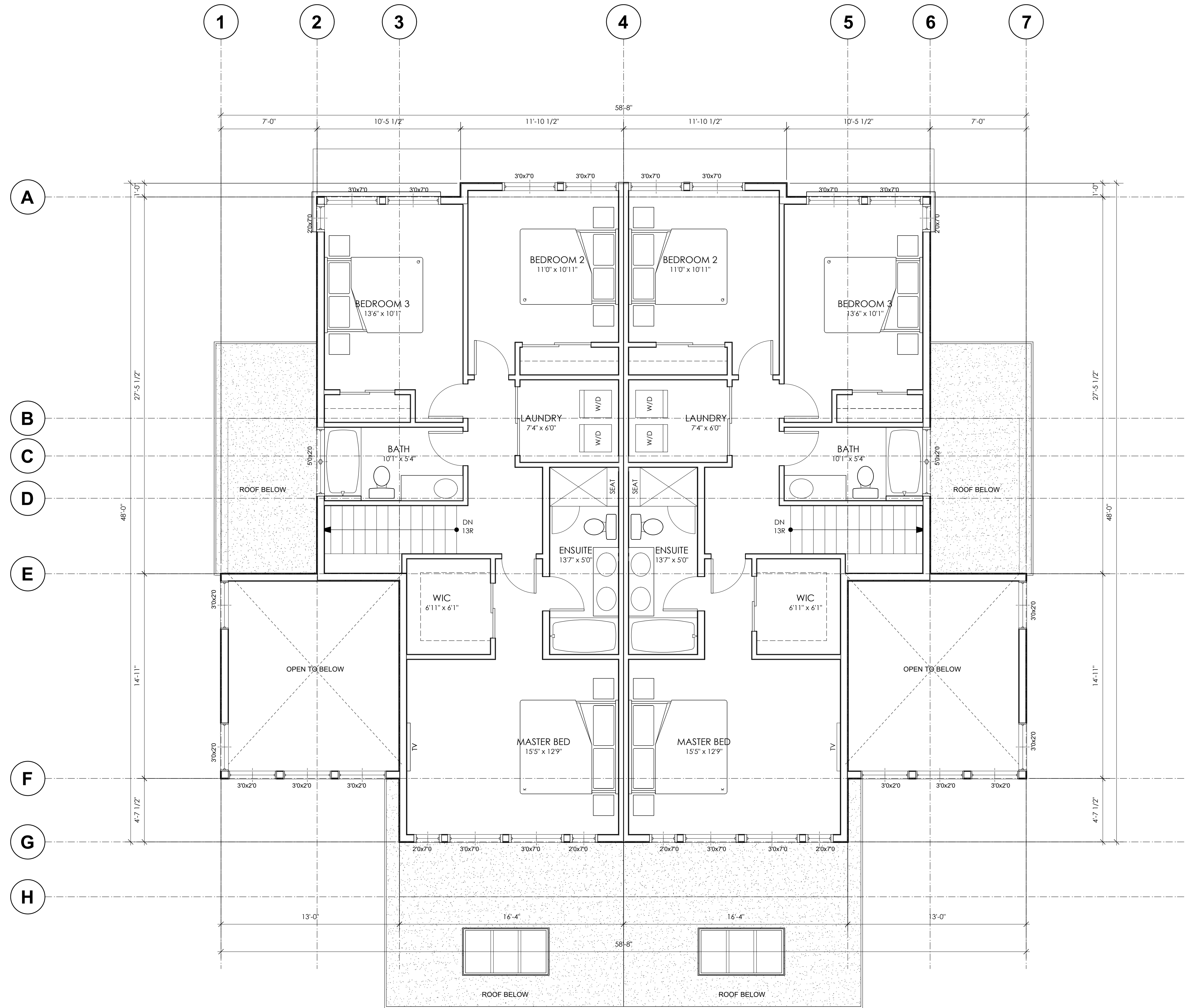


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT F

DRAWING
MAIN LEVEL

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AF-2 .02**

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



SECOND LEVEL
UNIT F

F(2)

F(3)

UNIT F 2 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	3216.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	824.3 SF	1138.2 SF	2556.5 SF

UNIT F 2 FLOOR AREAS METRIC

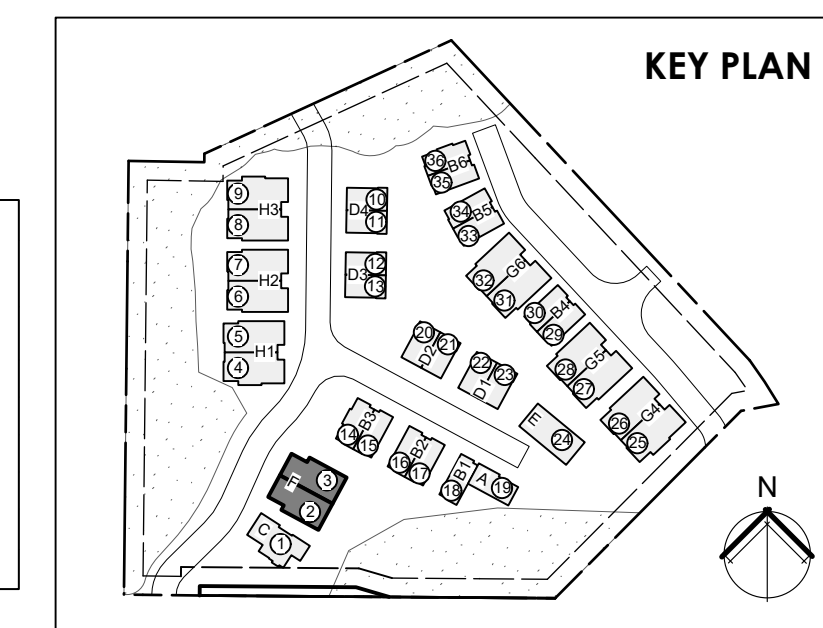
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SM	117.6 SM	105.7 SM	298.8 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 26.91%	20.3 SM	0.0 SM	0.0 SM	20.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	55.2 SM	76.6 SM	105.7 SM	237.5 SM

UNIT 3 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	812.7 SF	1265.3 SF	1138.2 SF	3216.2 SF
GARAGE EXCLUSIONS	0.0 SF	441.0 SF	0.0 SF	441.0 SF
BASEMENT EXCLUSIONS 26.91%	218.7 SF	0.0 SF	0.0 SF	218.7 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	594.0 SF	824.3 SF	1138.2 SF	2556.5 SF

UNIT 3 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	75.5 SM	117.6 SM	105.7 SM	298.8 SM
GARAGE EXCLUSIONS	0.0 SM	41.0 SM	0.0 SM	41.0 SM
BASEMENT EXCLUSIONS 26.91%	20.3 SM	0.0 SM	0.0 SM	20.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
NET	55.2 SM	76.6 SM	105.7 SM	237.5 SM

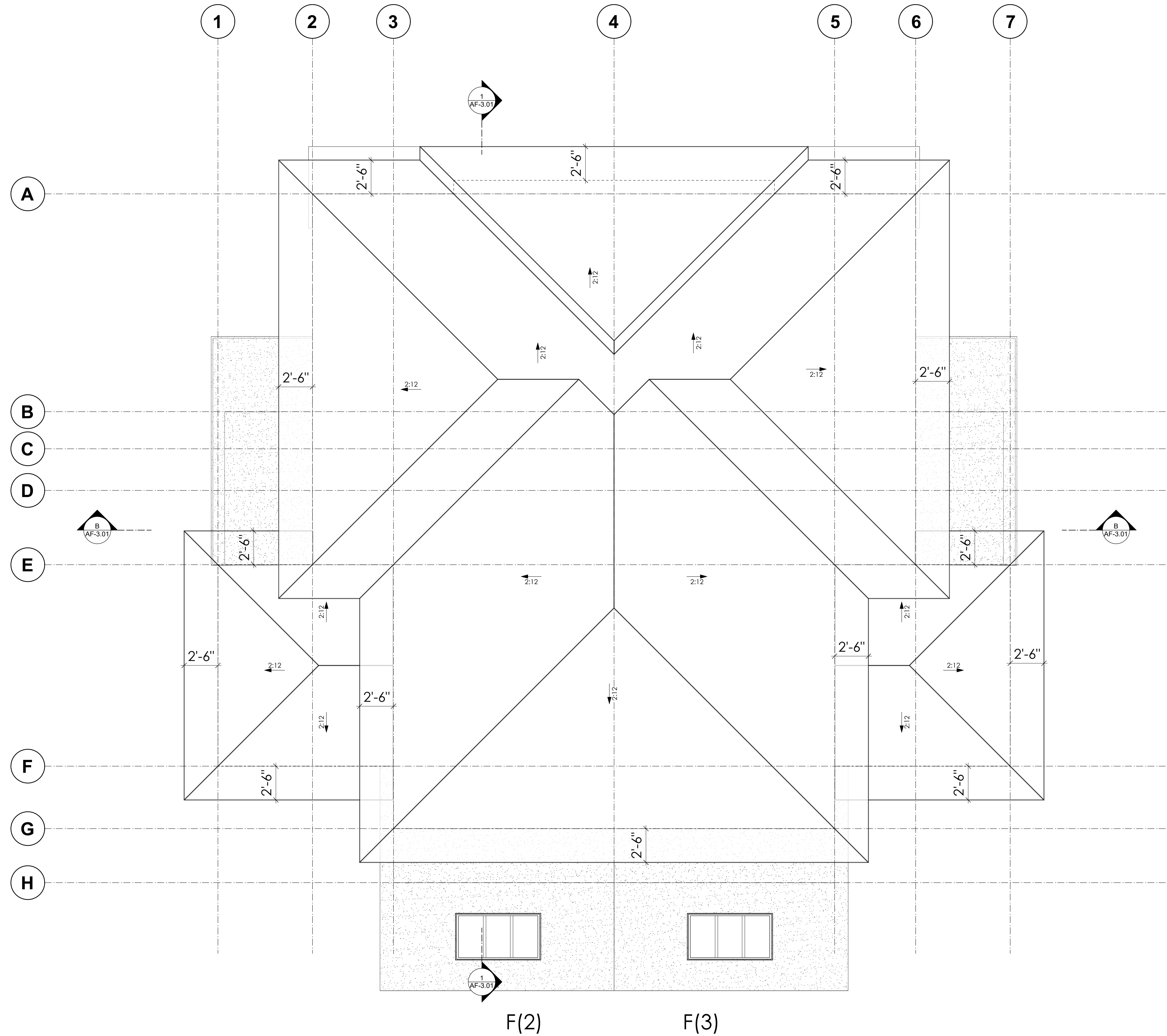


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT F

DRAWING
UPPER FLOOR

PROJECT#	8030	SHEET	AF-2 .03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

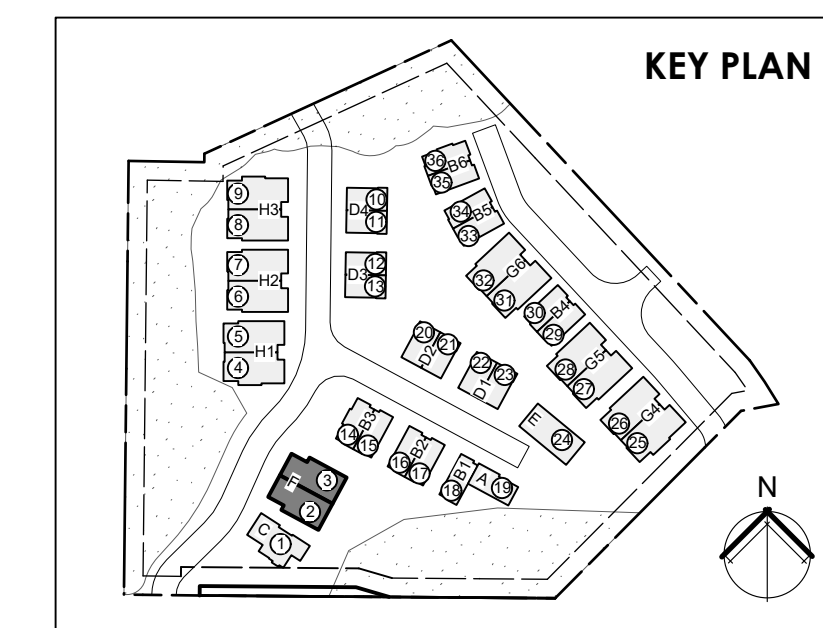


ROOF PLAN
UNIT F



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

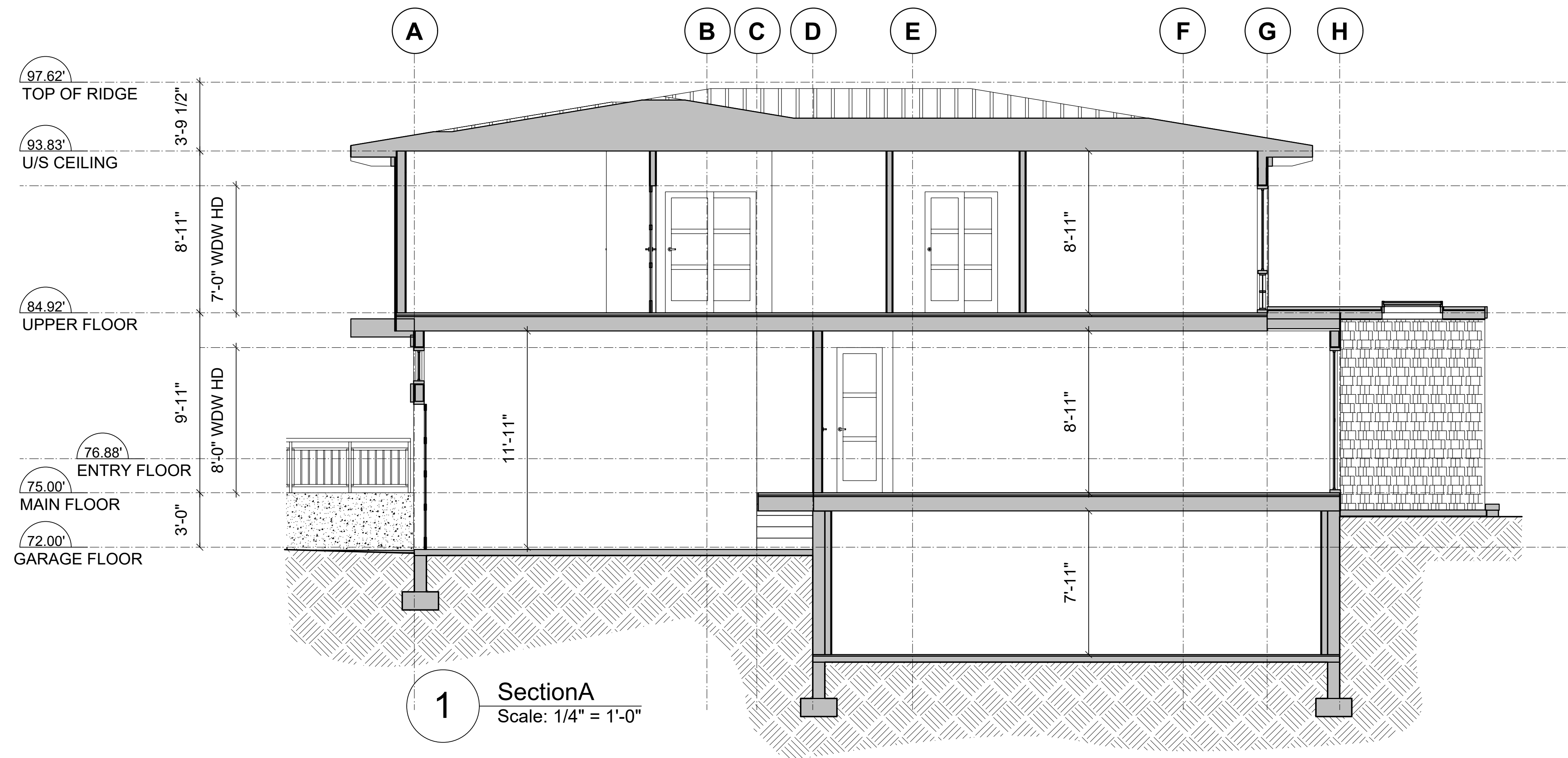
DRAWING
ROOF PLAN



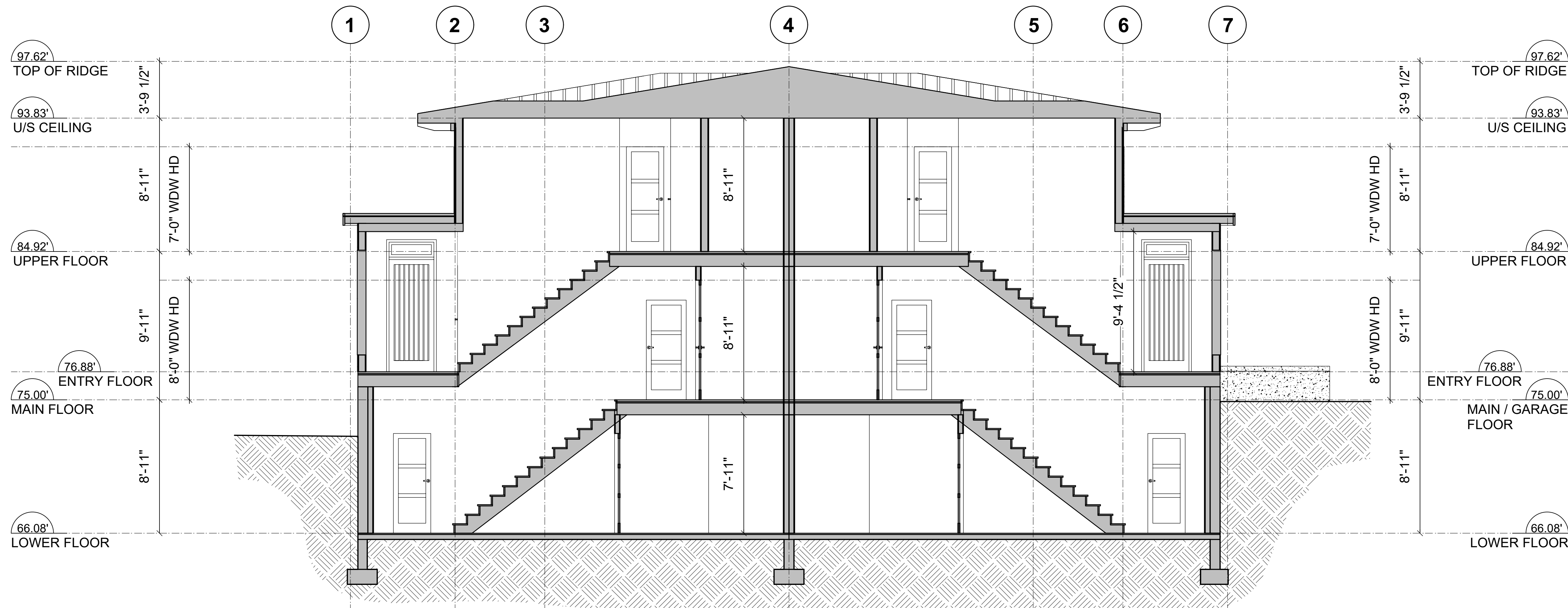
PROJECT#	SHEET
8030	AF-2
SCALE 1/8" = 1'-0"	.04
DATE OCT 1, 2023	

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



1 Section A
Scale: 1/4" = 1'-0"



B Section B
Scale: 1/4" = 1'-0"




PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT F

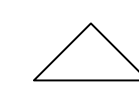
DRAWING
SECTIONS

PROJECT#	8030	SHEET	AF-3 .01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023




BASEMENT EXEMPTIONS:
 $(68.48' - 66.08' / 75.00' - 66.08') \times 100 = 26.91\%$
 $812.7 \text{ (gross area)} \times 26.91\% = 218.70 \text{ SF (exemption)}$


BASEMENT EXEMPTIONS:
 $(68.48' - 66.08' / 75.00' - 66.08') \times 100 = 26.91\%$
 $812.7 \text{ (gross area)} \times 26.91\% = 218.70 \text{ SF (exemption)}$

FRONT ELEVATION (WEST)
UNIT F



REAR ELEVATION (EAST)
UNIT F

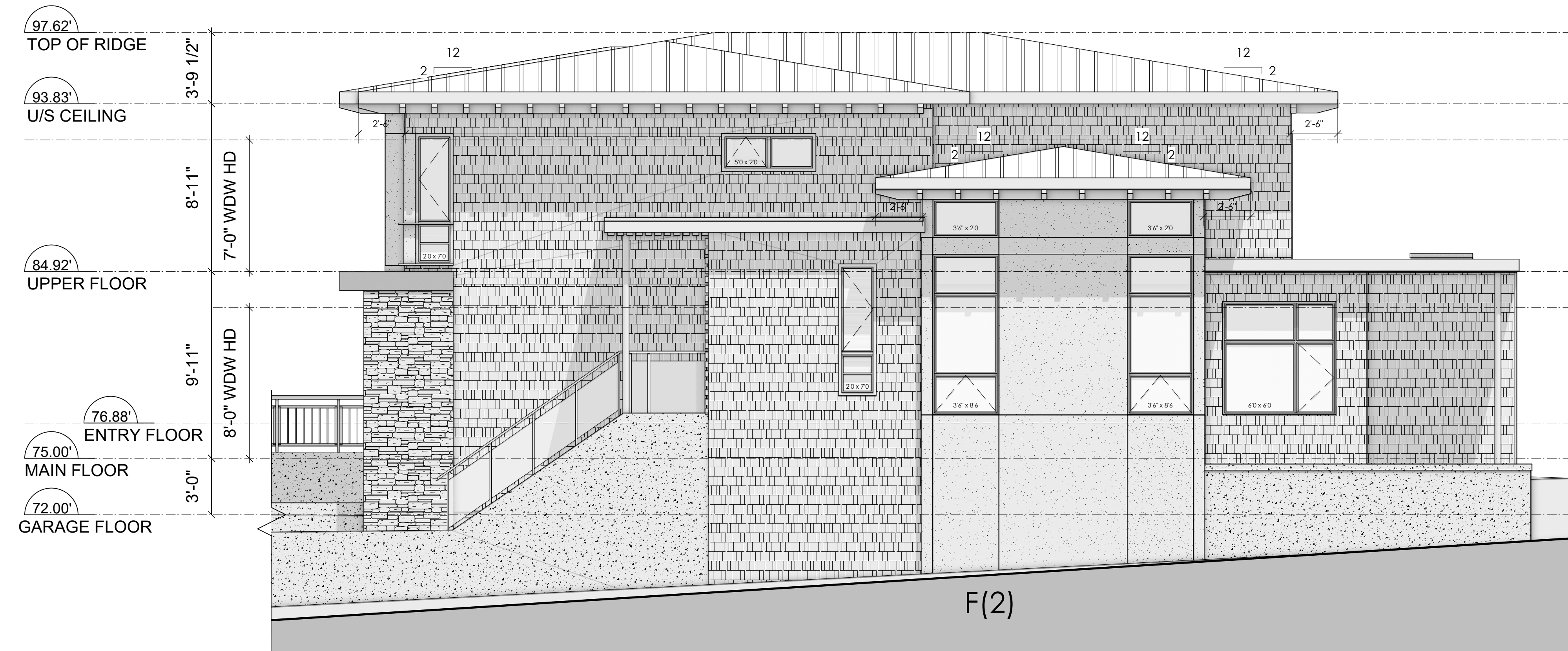


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT F

DRAWING
FRONT & REAR ELEVATIONS B/W

PROJECT#	8030	SHEET	AF-4 .01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

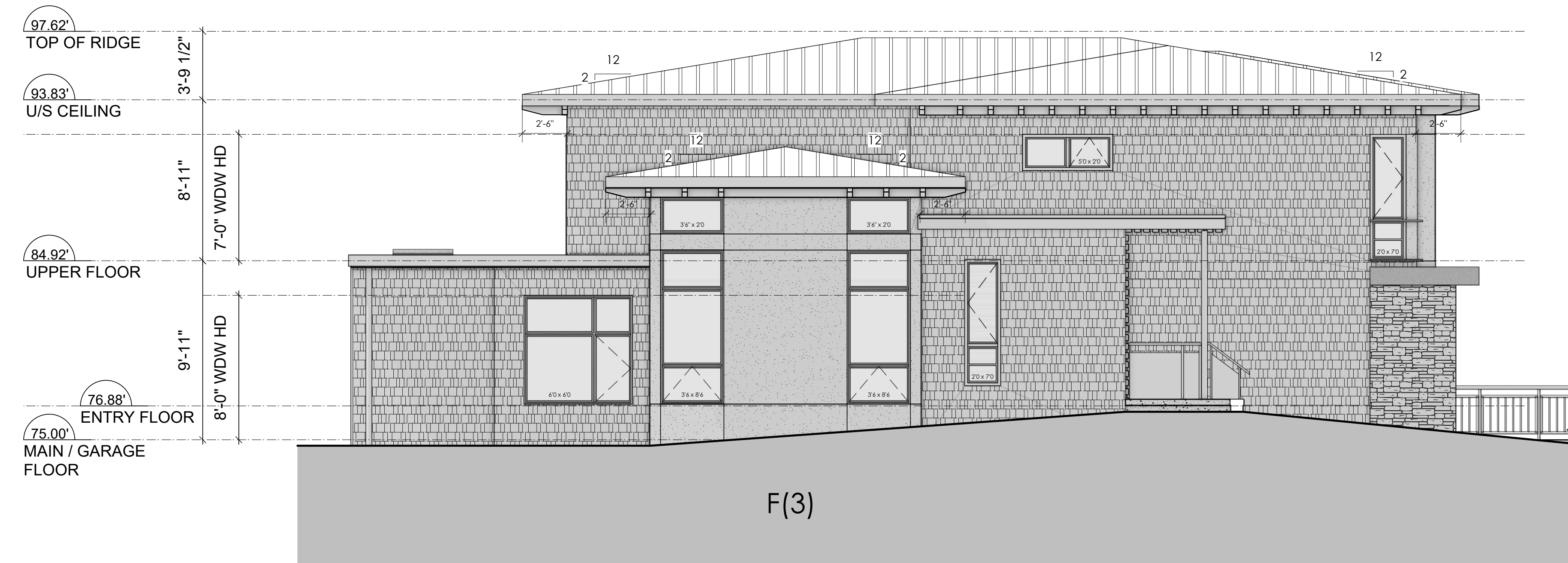
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



SOUTH ELEVATION
UNIT F

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1222.75 SF (113.60 SM)
LIMITING DISTANCE:	4.02' (1.22 M)
UNPROTECTED OPENING:	147.50 SF (13.70 SM)
PROPOSED OPENING:	12.06%
PERMITTED OPENINGS:	14.06%



NORTH ELEVATION
UNIT F

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	879.62 SF (81.72 SM)
LIMITING DISTANCE:	10.06' (3.07 M)
UNPROTECTED OPENING:	147.50 SF (13.70 SM)
PROPOSED OPENING:	16.77%
PERMITTED OPENINGS:	28.90%



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT F

DRAWING
SOUTH & NORTH ELEVATIONS B/W

PROJECT#	SHEET
8030	AF-4 .02
SCALE	
DATE	

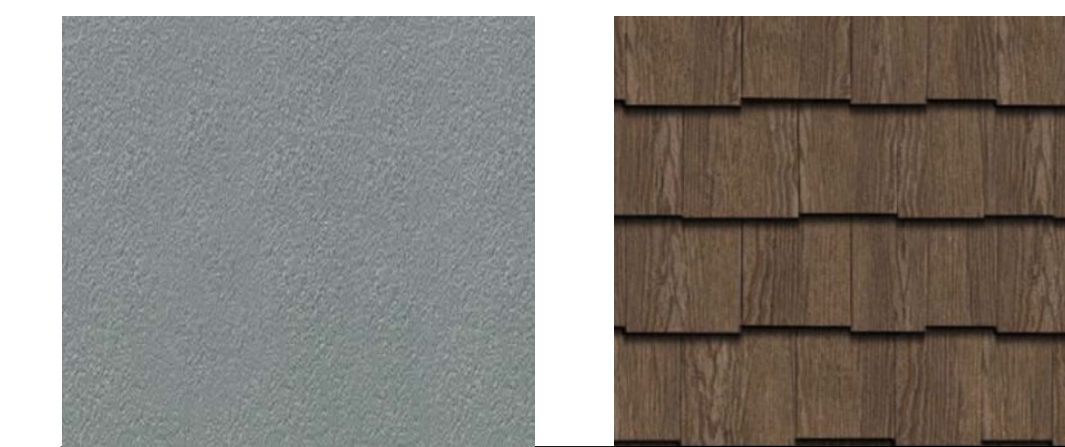
1/4" = 1'-0"
OCT 1, 2023



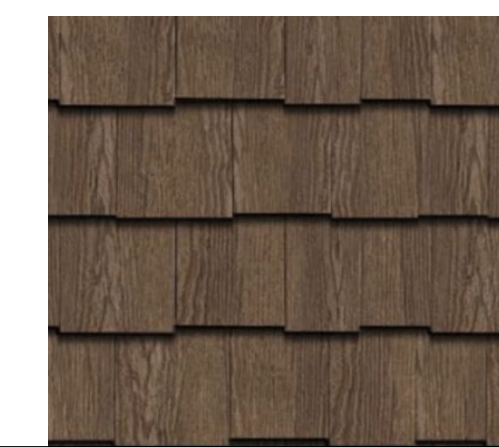
FRONT ELEVATION (WEST)
UNIT F



SOUTH ELEVATION
UNIT F



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

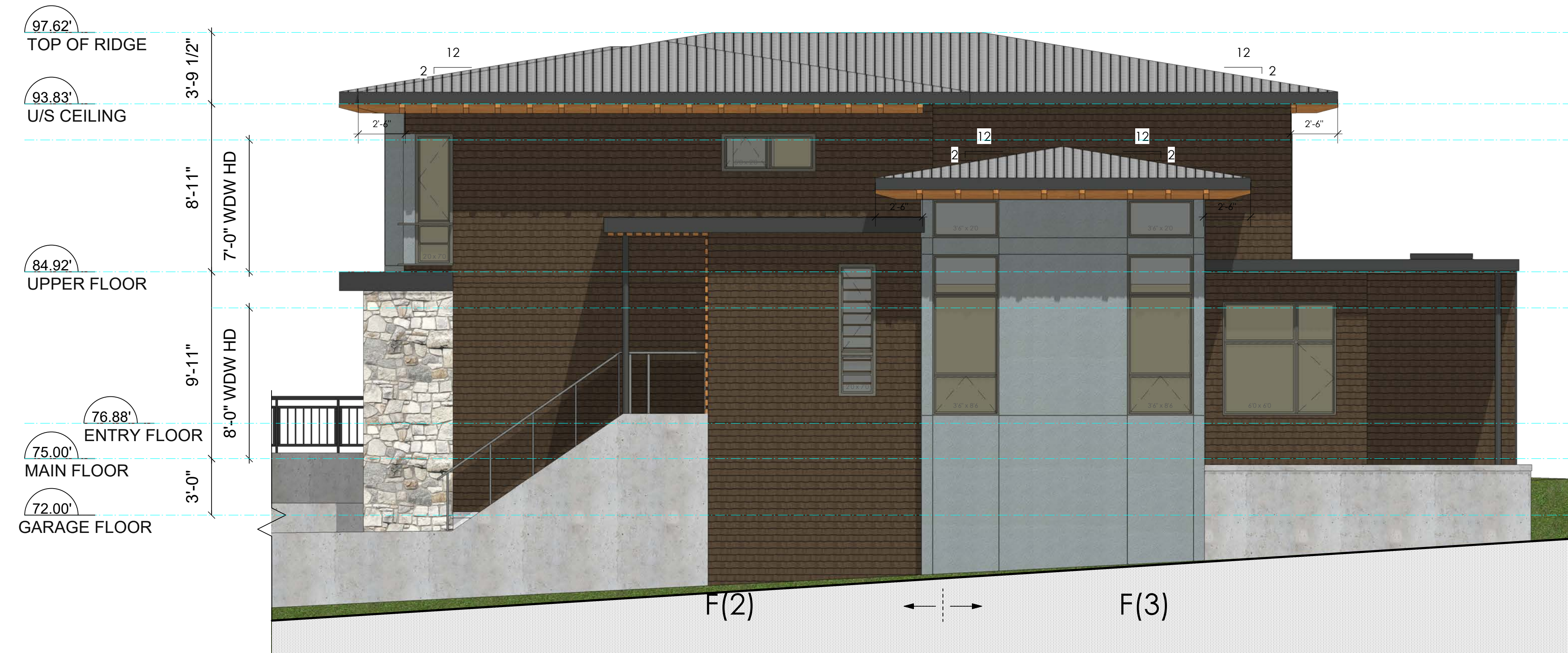
UNIT F

DRAWING
**FRONT & SOUTH
ELEVATIONS**

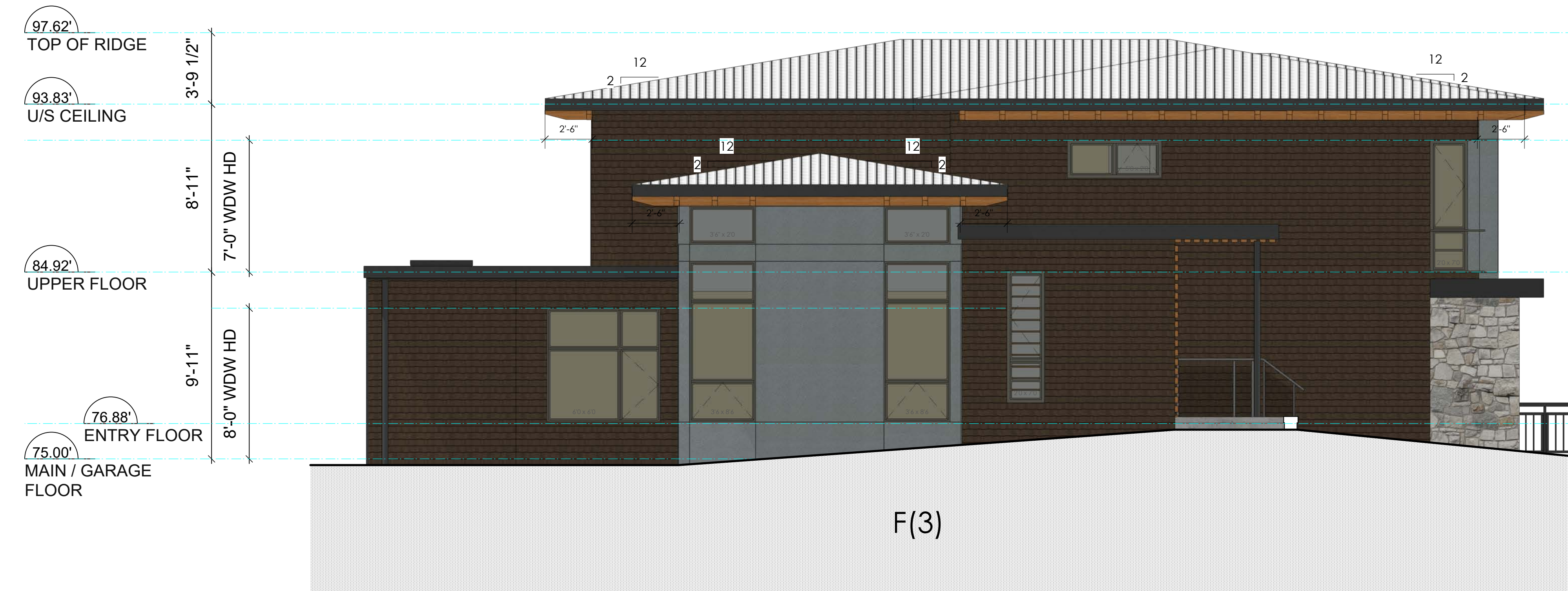
PROJECT#	8030	SHEET	AF-4 .03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRG/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	Oct 1, 2023	



BACK ELEVATION (EAST)
UNIT F



NORTH ELEVATION
UNIT F

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT F

DRAWING
BACK & NORTH ELEVATIONS

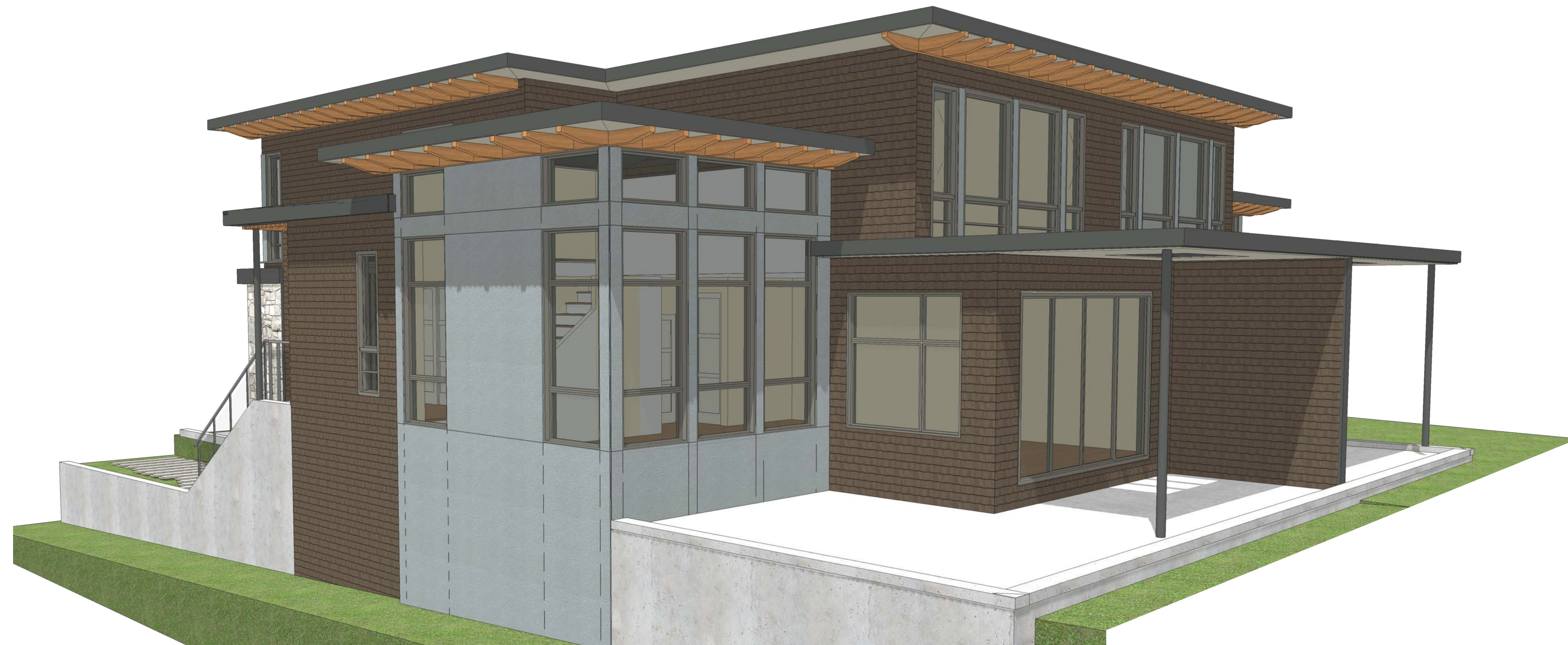
PROJECT#	8030	SHEET	AF-4 .04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT ELEVATION - CAMERA VIEW
UNIT F



BACK ELEVATION - CAMERA VIEW
UNIT F



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT F

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

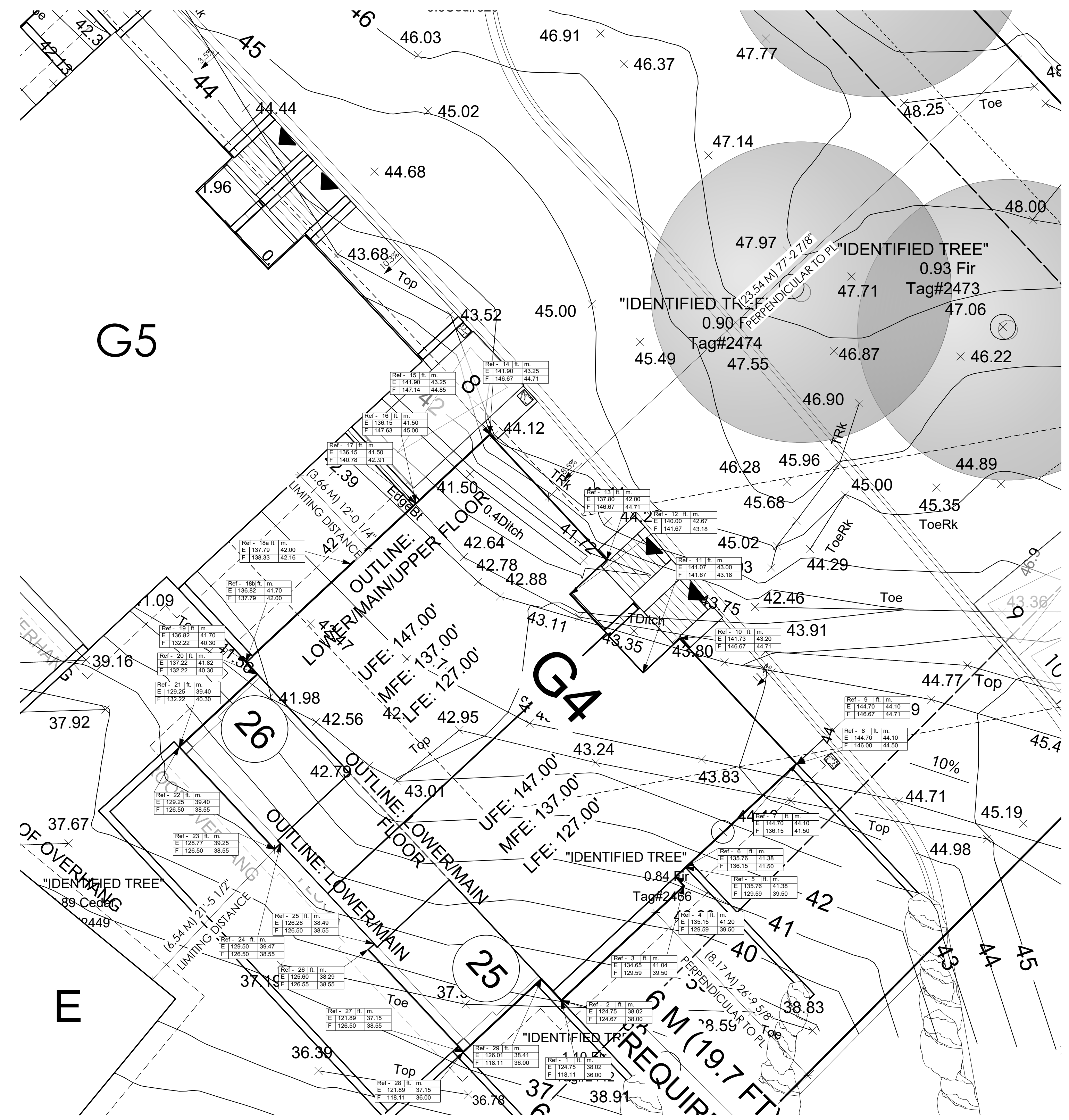
PROJECT#	SHEET	
8030	AF-4 .05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Comments JULY 31, 2023
 H unit additions Oct 1, 2023

G4 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	118.11	2	124.67	121.39	0.00	0.00
2	124.67	3	129.59	127.13	20.13	2558.49
3	129.59	4	129.59	129.59	1.50	194.39
4	129.59	5	129.59	129.59	1.66	215.12
5	129.59	6	136.15	132.87	0.00	0.00
6	136.15	7	136.15	136.15	18.22	2479.97
7	136.15	8	146.00	141.08	0.00	0.00
8	146.00	9	146.67	146.34	0.00	0.00
9	146.67	10	146.67	146.67	20.58	3018.91
10	146.67	11	141.67	144.17	6.00	865.02
11	141.67	12	141.67	141.67	12.83	1818.05
12	141.67	13	146.67	144.17	6.00	865.02
13	146.67	14	146.67	146.67	20.58	3018.91
14	146.67	15	147.14	146.91	0.00	0.00
15	147.14	16	147.63	147.39	12.10	1783.21
16	147.63	17	140.78	144.21	0.00	0.00
17	140.78	18a	138.33	139.56	10.66	1487.66
18b	138.33	18b	137.79	138.06	17.24	2380.15
18b	137.79	19	132.22	135.01	0.00	0.00
19	132.22	20	132.22	132.22	2.00	264.44
20	132.22	21	132.22	132.22	12.83	1696.78
21	132.22	22	126.55	129.39	0.00	0.00
22	126.55	23	126.55	126.55	16.79	2125.03
23	126.55	24	126.55	126.55	1.00	126.55
24	126.55	25	126.55	126.55	16.42	2077.57
25	126.55	26	126.55	126.55	1.00	126.55
26	126.55	27	126.55	126.55	16.79	2125.03
27	126.55	28	118.11	122.33	0.00	0.00
28	118.11	29	118.11	118.11	12.83	1515.71
29	118.11	1	118.11	118.11	3.50	413.39
Total					230.67	31155.93
AVG Finish Grade				135.07		
Max. Bldg Height (Ft):				29.85		

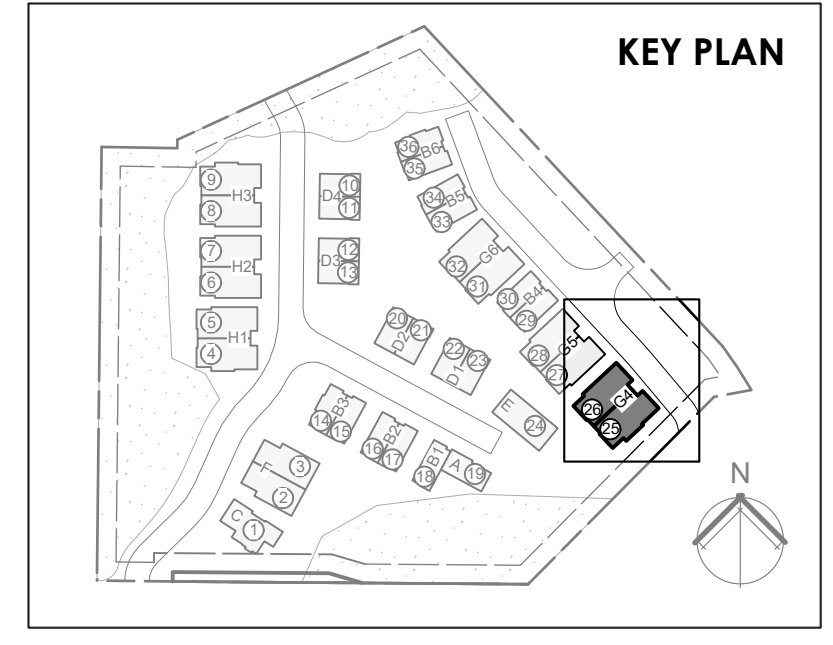
G4 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	124.75	2	124.75	124.75	0.00	0.00
2	124.75	3	134.65	129.70	20.13	2610.21
3	134.65	4	135.15	134.90	1.50	202.35
4	135.15	5	135.76	135.46	1.66	224.86
5	135.76	6	144.70	135.76	0.00	0.00
6	135.76	7	144.70	140.23	18.22	2554.29
7	144.70	8	144.70	144.70	0.00	0.00
8	144.70	9	144.70	144.70	0.00	0.00
9	144.70	10	141.73	143.22	20.58	2947.79
10	141.73	11	141.07	141.40	6.00	848.40
11	141.07	12	140.00	140.54	12.83	1803.49
12	140.00	13	137.80	138.90	6.00	833.40
13	137.80	14	141.90	139.85	20.58	2878.53
14	141.90	15	141.90	141.90	0.00	0.00
15	141.90	16	136.15	139.03	12.10	1682.06
16	136.15	17	136.15	136.15	0.00	0.00
17	136.15	18a	137.79	136.97	10.66	1460.10
18a	137.79	18b	136.82	137.31	17.24	2367.14
18b	136.82	19	136.82	136.82	17.24	2358.78
19	136.82	20	137.22	137.02	2.00	274.04
20	137.22	21	129.25	133.24	12.83	1709.80
21	129.25	22	129.25	129.25	0.00	0.00
22	129.25	23	128.77	129.01	16.79	2166.34
23	128.77	24	129.50	129.14	1.00	129.14
24	129.50	25	126.28	127.89	16.42	2099.57
25	126.28	26	125.60	125.94	1.00	125.94
26	125.60	27	121.89	123.75	16.79	2077.93
27	121.89	28	121.89	121.89	0.00	0.00
28	121.89	29	126.01	123.95	12.83	1590.65
29	126.01	1	124.75	125.38	3.50	438.83
Total					247.91	33383.63
AVG Existing Grade				134.66		
Max. Bldg Height (Ft):				29.85		



SITE PLAN
 SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - G4 (25)		
Lower	Main	Upper
38.71 m	41.76 m	44.81 m
127.00'	137.00'	147.00'

TOP OF FINISH FLOOR - G4 (26)		
Lower	Main	Upper
38.71 m	41.76 m	44.81 m
127.00'	137.00'	147.00'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT G4

DRAWING
SITE PLAN

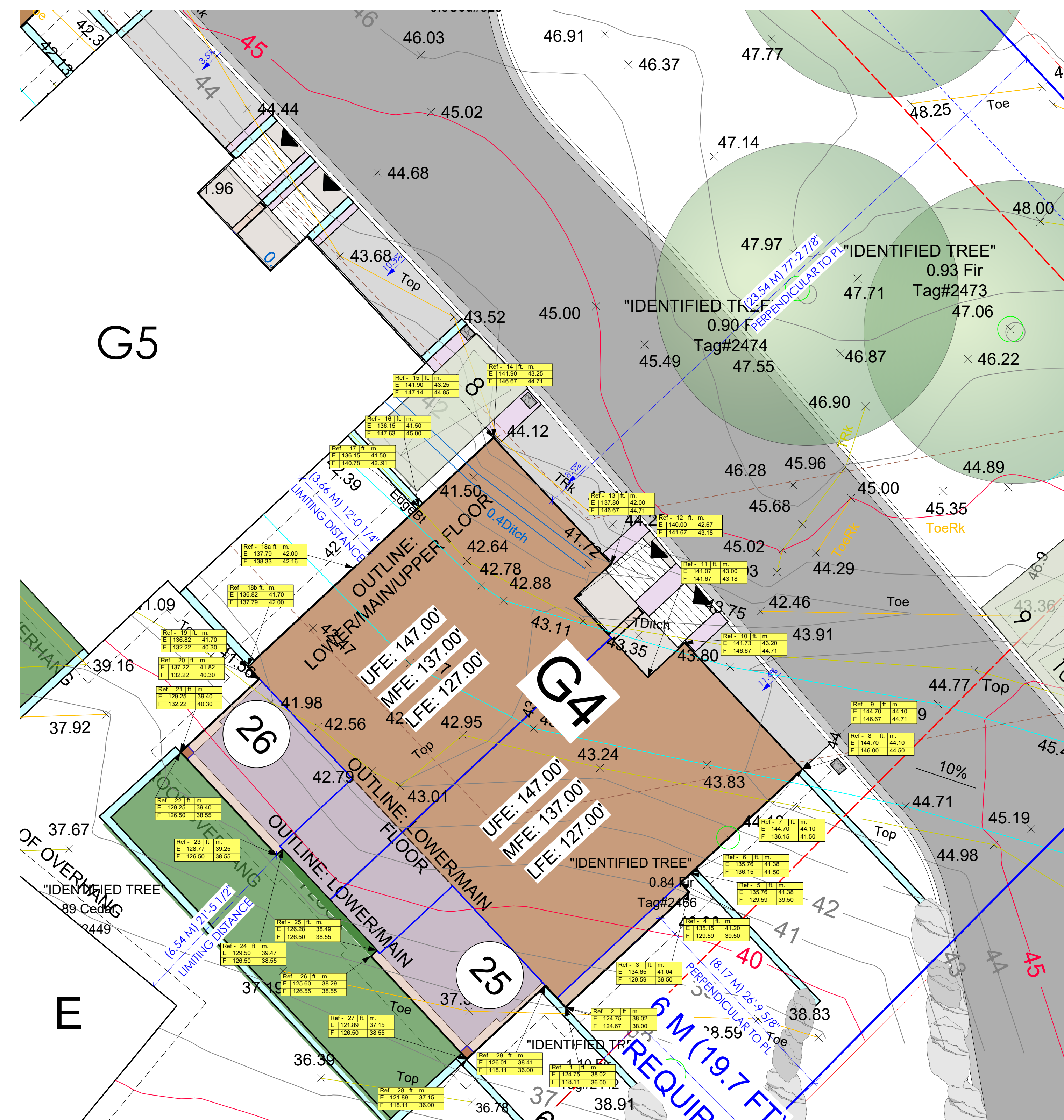
PROJECT# 8030
 SCALE 1/8"=1'-0"
 DATE OCT 1, 2023
 SHEET **AG4-1.01**

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

G4 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
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4	129.59	5	129.59	129.59	1.66	215.12
5	129.59	6	136.15	132.87	0.00	0.00
6	136.15	7	136.15	136.15	18.22	2479.97
7	136.15	8	146.00	141.08	0.00	0.00
8	146.00	9	146.67	146.34	0.00	0.00
9	146.67	10	146.67	146.67	20.58	3018.91
10	146.67	11	141.67	144.17	6.00	865.02
11	141.67	12	141.67	141.67	12.83	1818.05
12	141.67	13	146.67	144.17	6.00	865.02
13	146.67	14	146.67	146.67	20.58	3018.91
14	146.67	15	147.14	146.91	0.00	0.00
15	147.14	16	147.63	147.39	12.10	1783.21
16	147.63	17	140.78	144.21	0.00	0.00
17	140.78	18a	138.33	139.56	10.66	1487.66
18b	138.33	18b	137.79	138.06	17.24	2380.15
18b	137.79	19	132.22	135.01	0.00	0.00
19	132.22	20	132.22	132.22	2.00	264.44
20	132.22	21	132.22	132.22	12.83	1696.78
21	132.22	22	126.55	129.39	0.00	0.00
22	126.55	23	126.55	126.55	16.79	2125.03
23	126.55	24	126.55	126.55	1.00	126.55
24	126.55	25	126.55	126.55	16.42	2077.57
25	126.55	26	126.55	126.55	1.00	126.55
26	126.55	27	126.55	126.55	16.79	2125.03
27	126.55	28	118.11	122.33	0.00	0.00
28	118.11	29	118.11	118.11	12.83	1515.71
29	118.11	1	118.11	118.11	3.50	413.39
Total					230.67	31155.93
AVG Finish Grade						135.07
Max. Bldg Height (Ft):				29.85		164.92

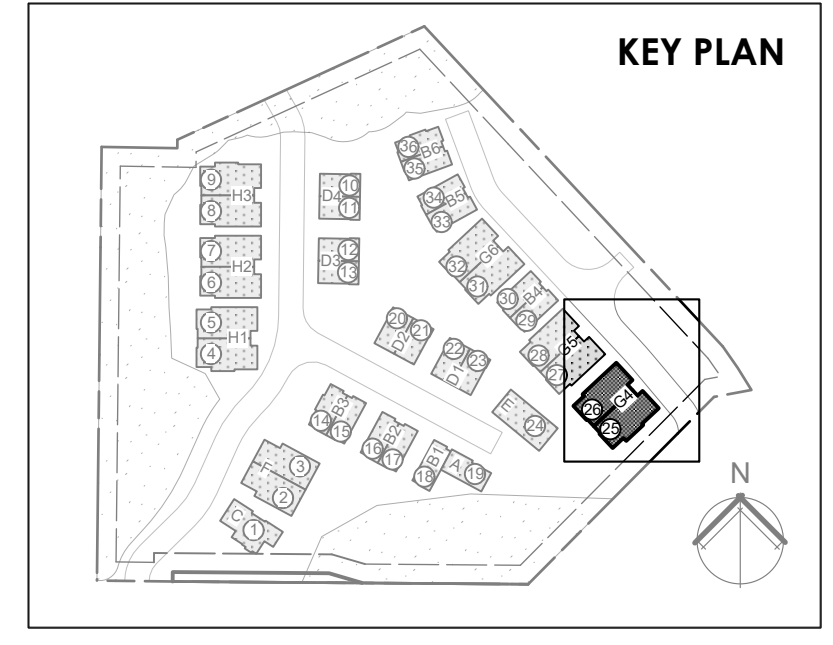
G4 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
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2	124.75	3	134.65	129.70	20.13	2610.21
3	134.65	4	135.15	134.90	1.50	202.35
4	135.15	5	135.76	135.46	1.66	224.86
5	135.76	6	135.76	135.76	0.00	0.00
6	135.76	7	144.70	140.23	18.22	2554.29
7	144.70	8	144.70	144.70	0.00	0.00
8	144.70	9	144.70	144.70	0.00	0.00
9	144.70	10	141.73	143.22	20.58	2947.79
10	141.73	11	141.07	141.40	6.00	848.40
11	141.07	12	140.00	140.54	12.83	1803.49
12	140.00	13	137.80	138.90	6.00	833.40
13	137.80	14	141.90	139.85	20.58	2878.53
14	141.90	15	141.90	141.90	0.00	0.00
15	141.90	16	136.15	139.03	12.10	1682.06
16	136.15	17	136.15	136.15	0.00	0.00
17	136.15	18a	137.79	136.97	10.66	1460.10
18a	137.79	18b	136.82	137.31	17.24	2367.14
18b	136.82	19	136.82	136.82	17.24	2358.78
19	136.82	20	137.22	137.02	2.00	274.04
20	137.22	21	129.25	133.24	12.83	1709.80
21	129.25	22	129.25	129.25	0.00	0.00
22	129.25	23	128.77	129.01	16.79	2166.34
23	128.77	24	129.50	129.14	1.00	129.14
24	129.50	25	126.28	127.89	16.42	2099.57
25	126.28	26	125.60	125.94	1.00	125.94
26	125.60	27	121.89	123.75	16.79	2077.93
27	121.89	28	121.89	121.89	0.00	0.00
28	121.89	29	126.01	123.95	12.83	1590.65
29	126.01	1	124.75	125.38	3.50	438.83
Total					247.91	33383.63
AVG Existing Grade						134.66
Max. Bldg Height (Ft):				29.85		164.51



SITE PLAN
 SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - G4 (25)		
Lower	Main	Upper
38.71 m	41.76 m	44.81 m
127.00'	137.00'	147.00'

TOP OF FINISH FLOOR - G4 (26)		
Lower	Main	Upper
38.71 m	41.76 m	44.81 m
127.00'	137.00'	147.00'

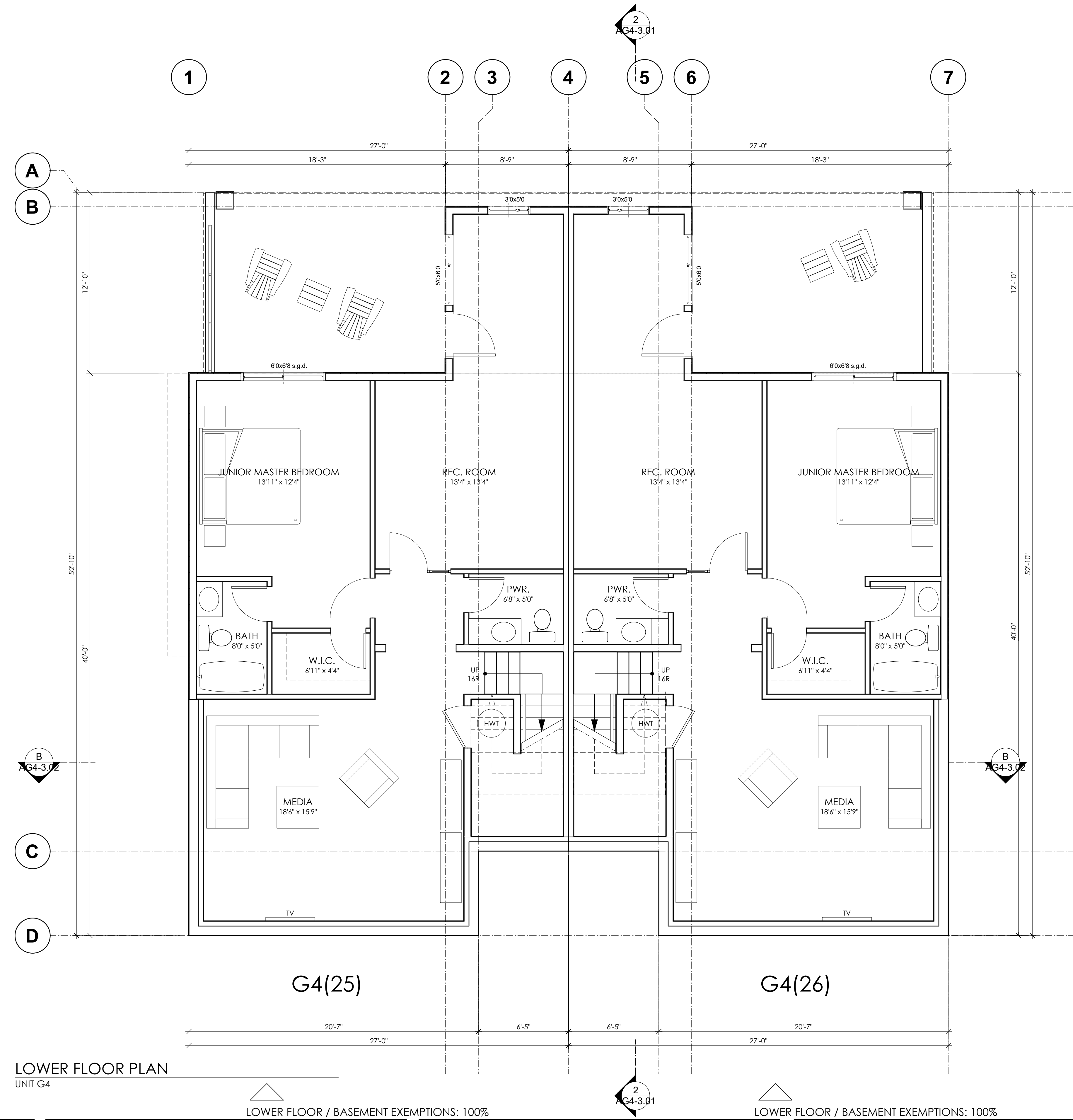


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G4

DRAWING
SITE PLAN

PROJECT# 8030
 SCALE 1/8"=1'-0"
 DATE OCT 1, 2023
 SHEET **AG4-1.01**

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LOWER FLOOR PLAN
UNIT G4

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

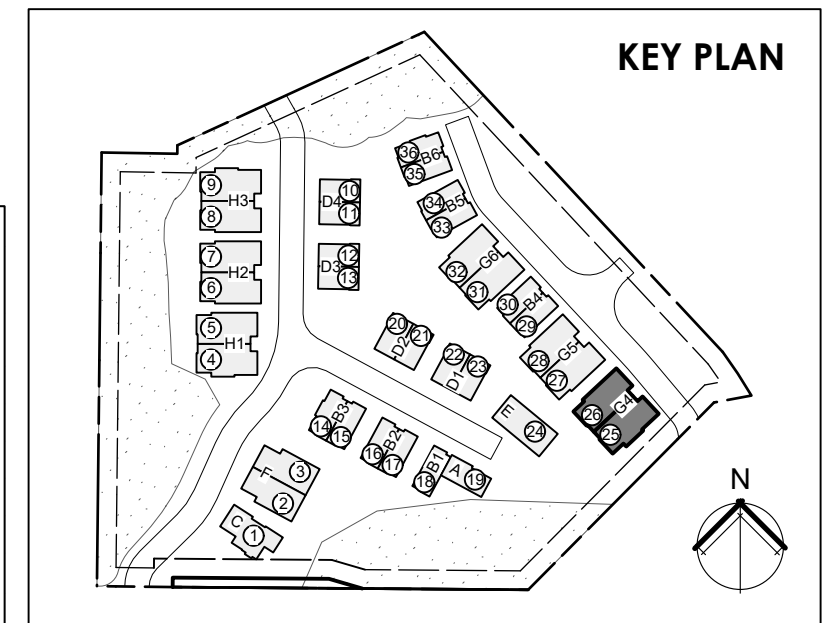
LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

UNIT 25 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1285.9 SF	1026.5 SF	2312.4 SF

UNIT 25 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	0.0 SM	119.5 SM	95.4 SM	214.9 SM

UNIT 26 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1255.7 SF	996.3 SF	2252.0 SF

UNIT 26 FLOOR AREAS METRIC 100%				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	0.0 SM	116.7 SM	92.6 SM	209.3 SM



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

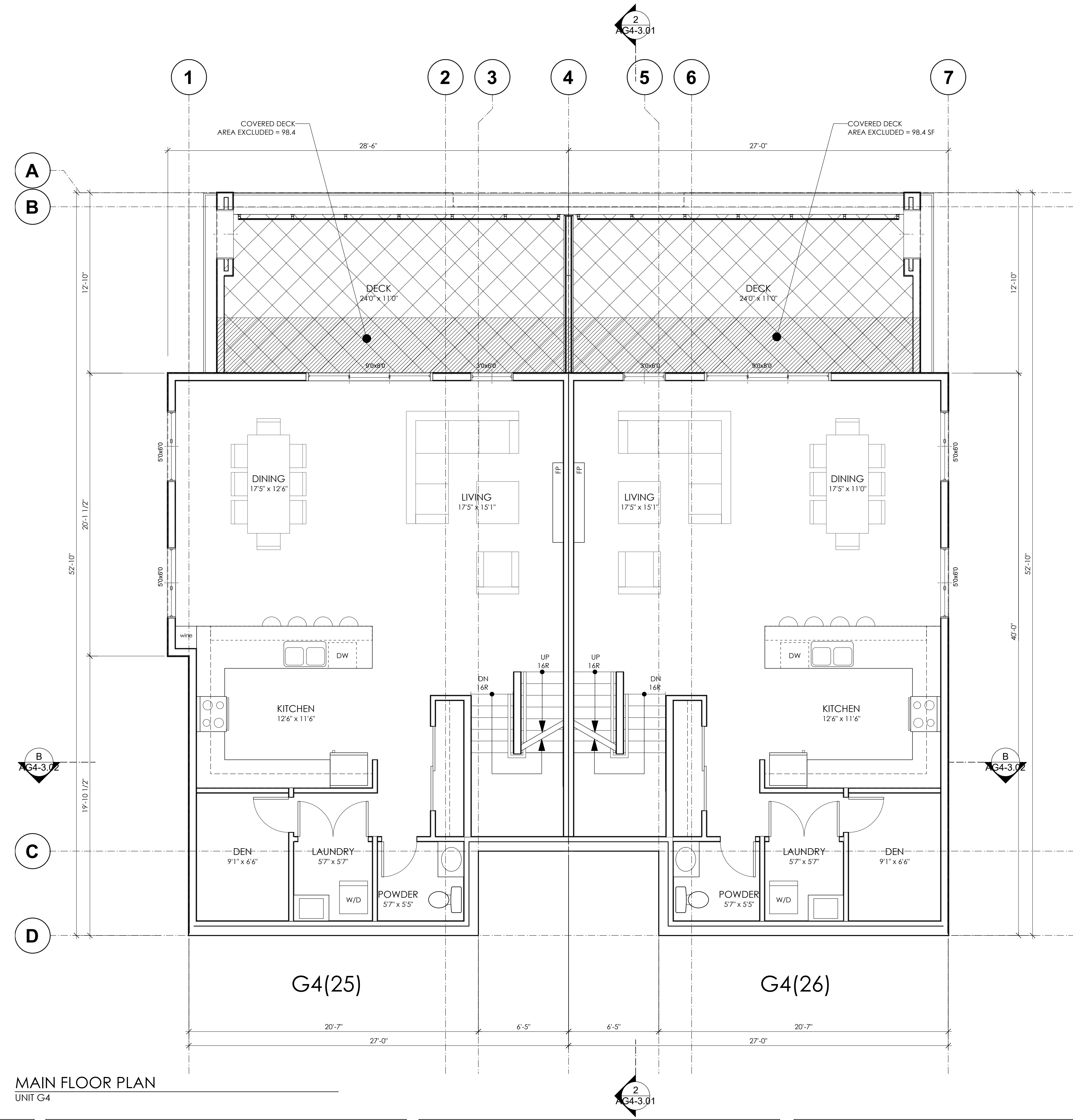
DRAWING
LOWER FLOOR PLAN

PROJECT#	8030	SHEET	AG4-2.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

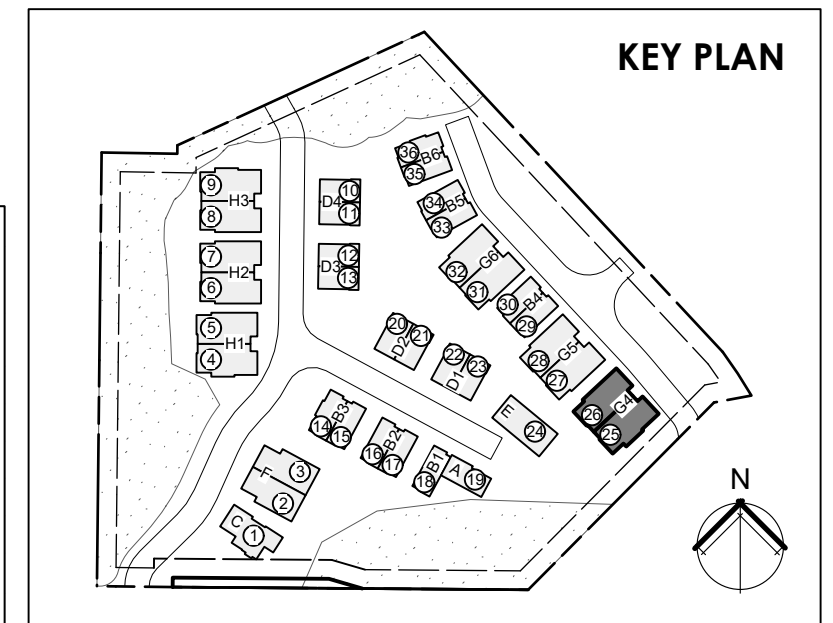
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REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



MAIN FLOOR PLAN
UNIT G4



UNIT 25 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1285.9 SF	1026.5 SF	2312.4 SF

UNIT 25 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	0.0 SM	119.5 SM	95.4 SM	214.9 SM

UNIT 26 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1255.7 SF	996.3 SF	2252.0 SF

UNIT 26 FLOOR AREAS METRIC 100%

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	0.0 SM	116.7 SM	92.6 SM	209.3 SM

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

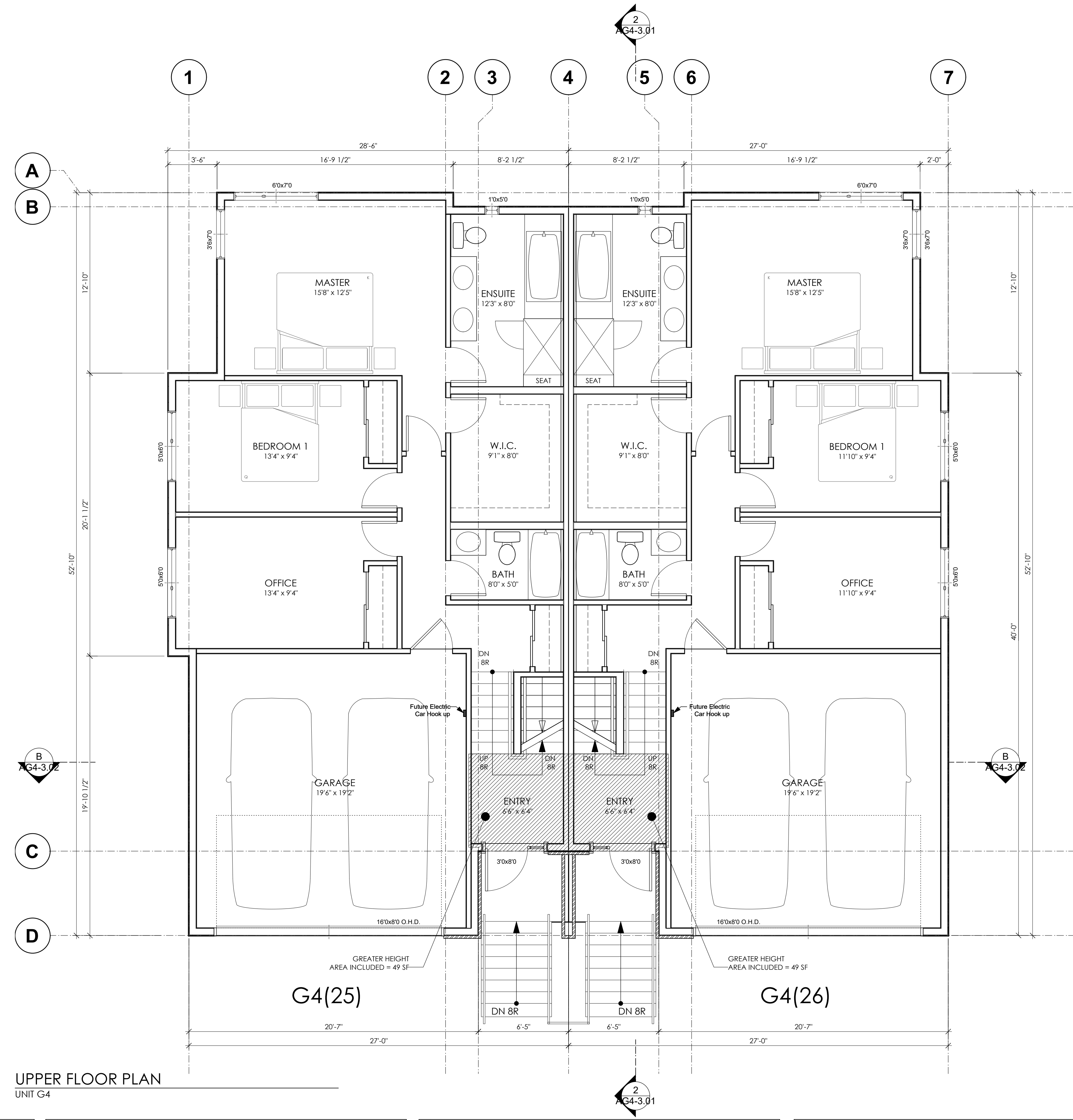
DRAWING
MAIN FLOOR PLAN

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AG4-2.02**

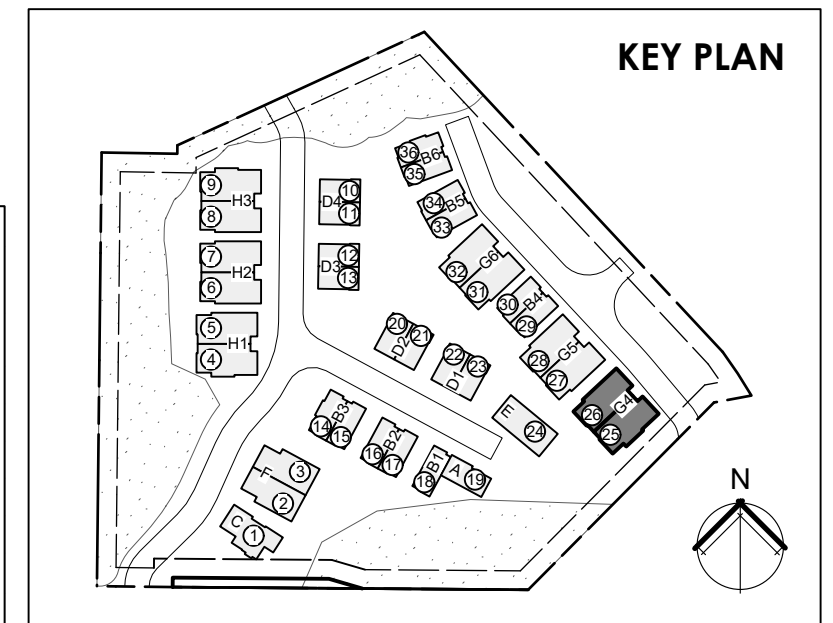
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REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



UPPER FLOOR PLAN
UNIT G4



UNIT 25 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	49.0 SF	49.0 SF
NET	0.0 SF	1285.9 SF	1026.5 SF	2312.4 SF

UNIT 25 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	4.6 SM	4.6 SM
NET	0.0 SM	119.5 SM	95.4 SM	214.9 SM

UNIT 26 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	49.0 SF	49.0 SF
NET	0.0 SF	1255.7 SF	996.3 SF	2252.0 SF

UNIT 26 FLOOR AREAS METRIC 100%

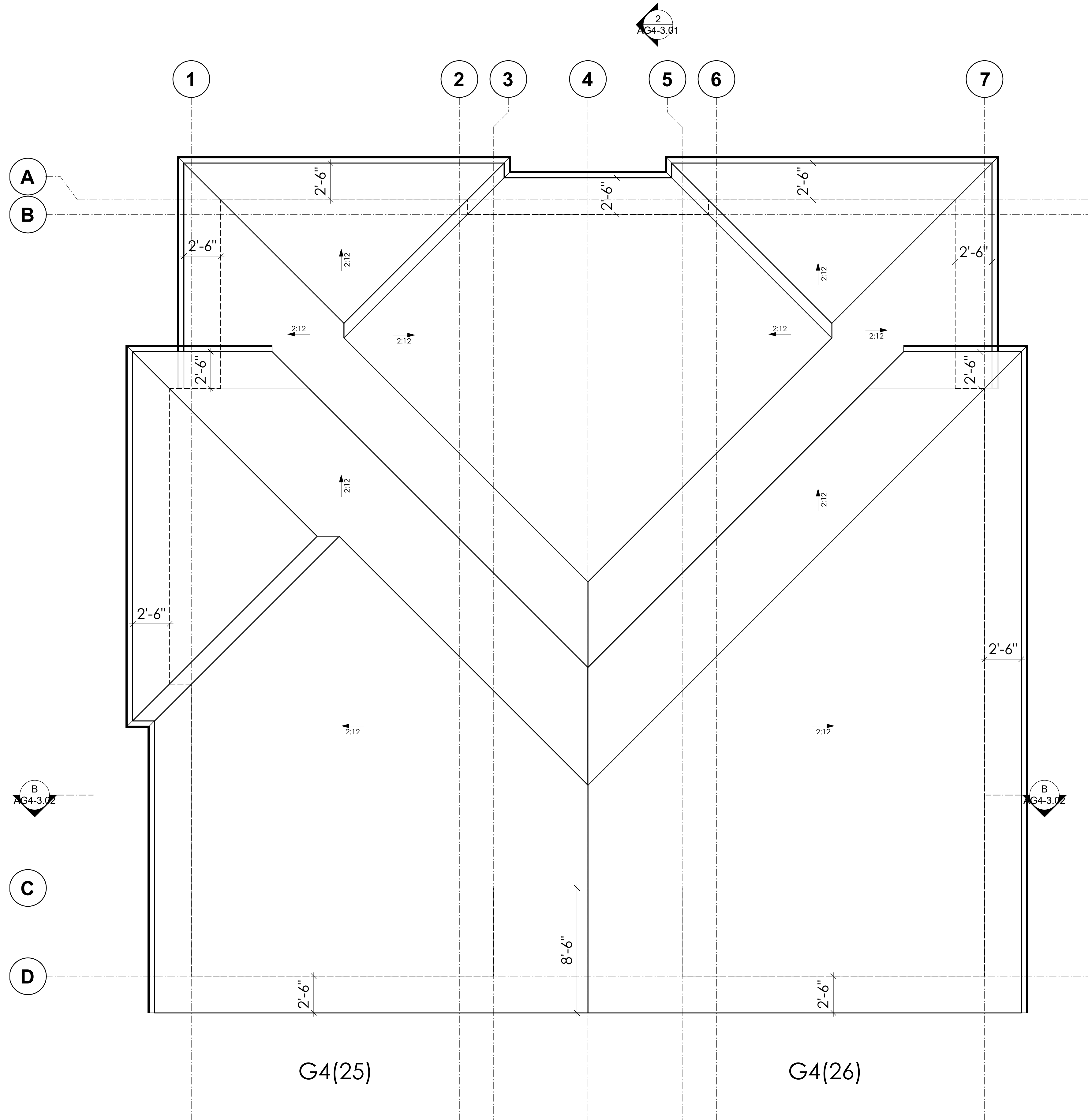
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	4.6 SM	4.6 SM
NET	0.0 SM	116.7 SM	92.6 SM	209.3 SM

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

DRAWING
UPPER FLOOR PLAN

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AG4-2.03**

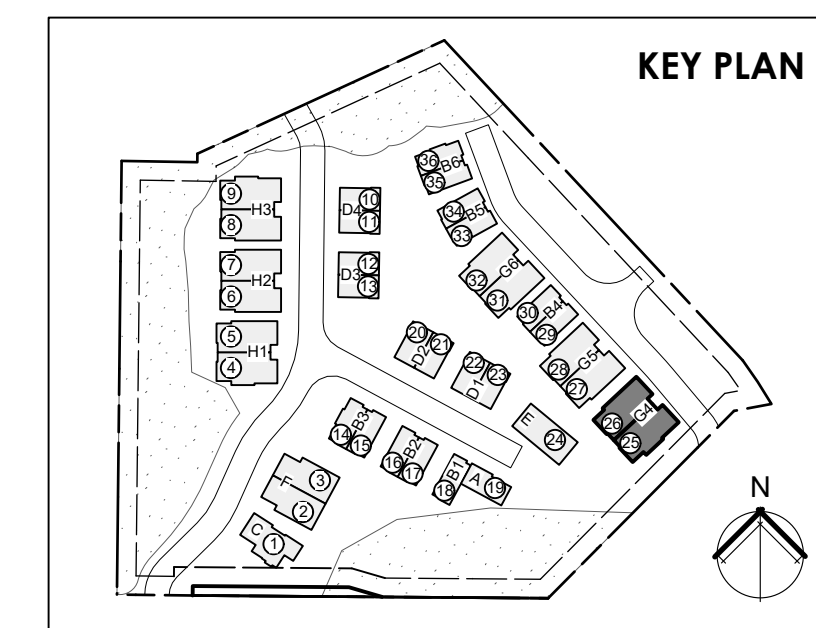
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



G4(25)

G4(26)

ROOF PLAN
UNIT G4



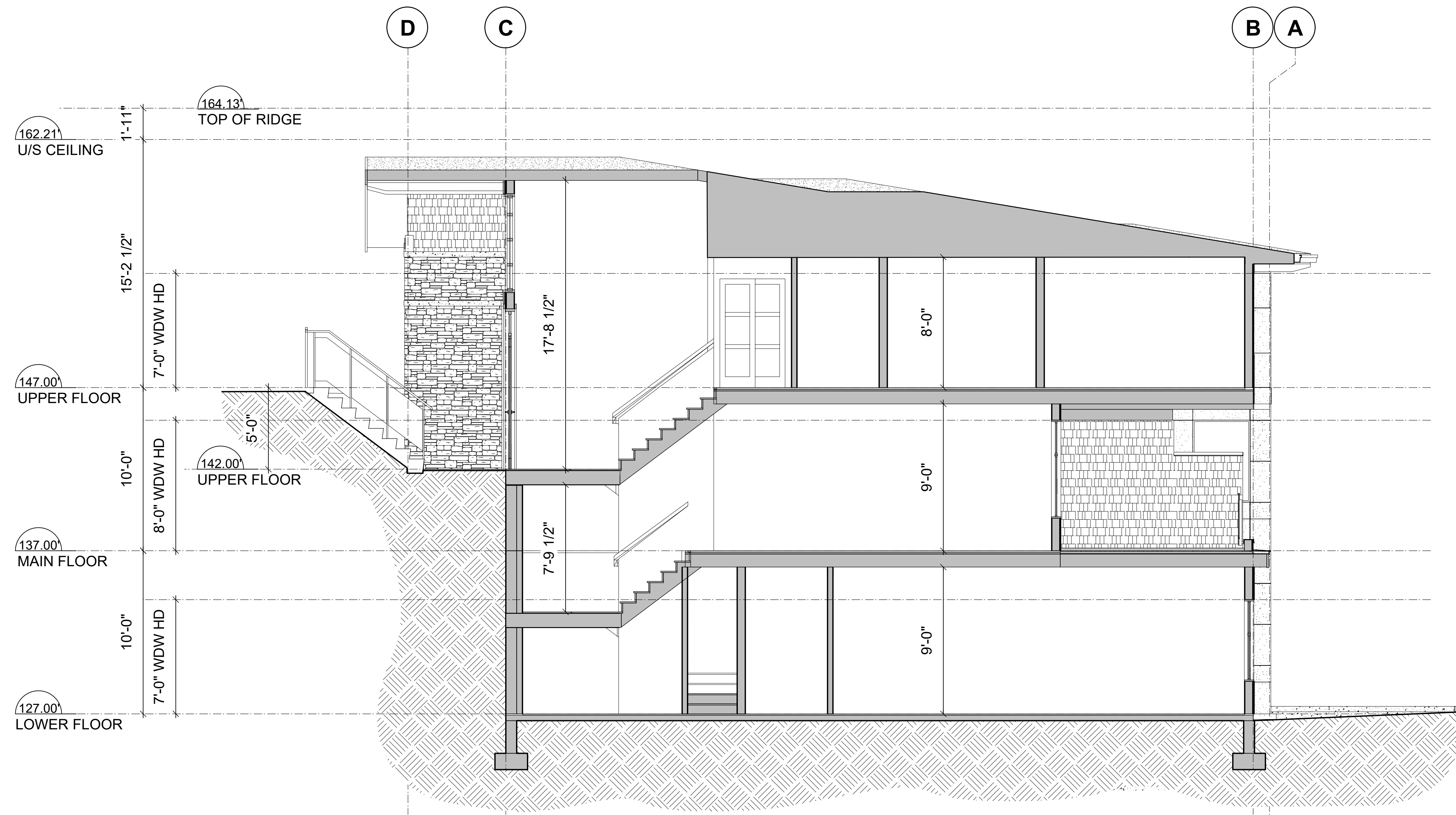
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
ROOF PLAN

PROJECT#	8030	SHEET	AG4-2.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



2 SECTION A-A
Scale: 1/4" = 1'-0"



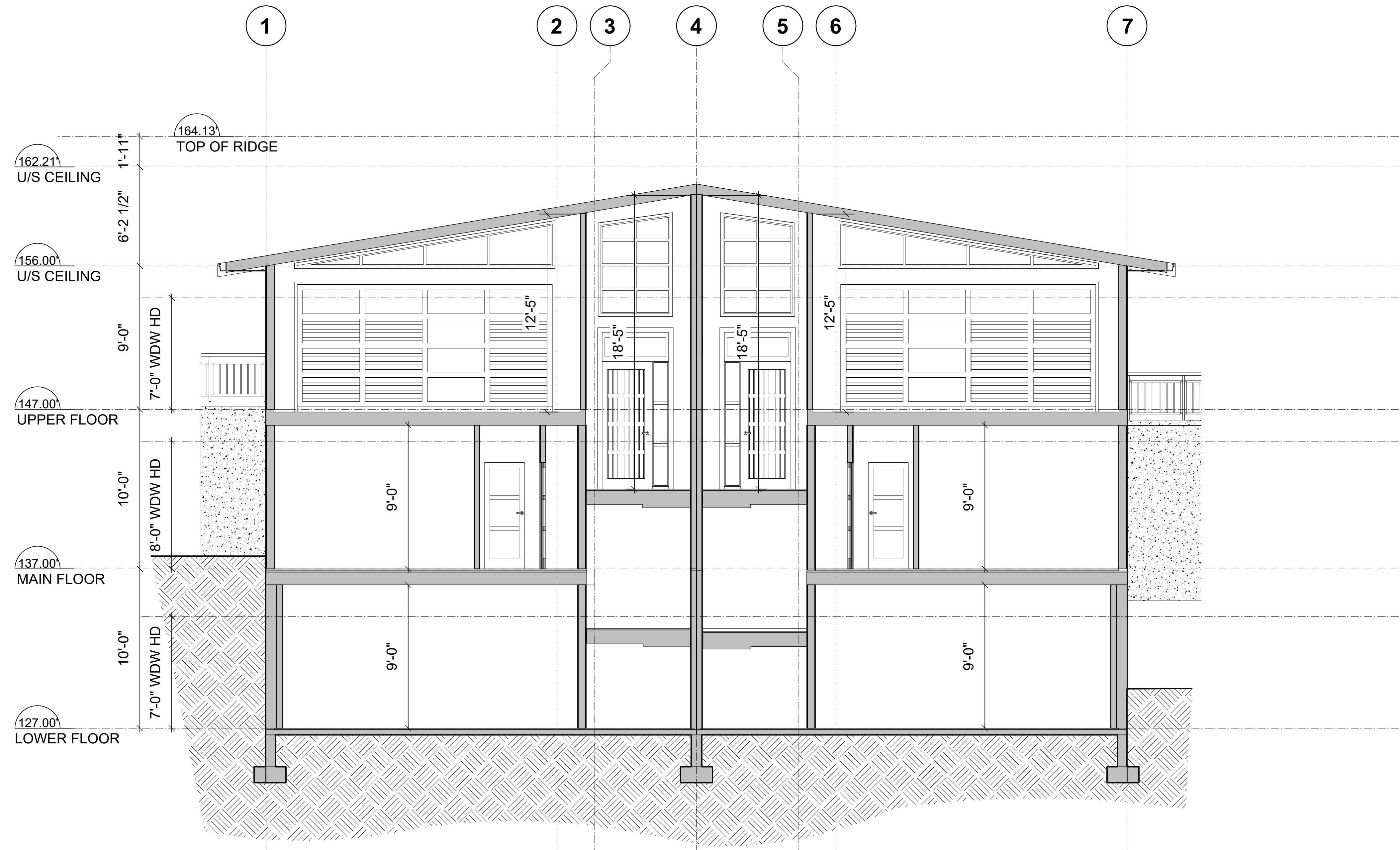
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

DRAWING
SECTION A-A

PROJECT#	SHEET
8030	AG4-
SCALE 1/4" = 1'-0"	3.01
DATE OCT 1, 2023	

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REVISIONS	
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



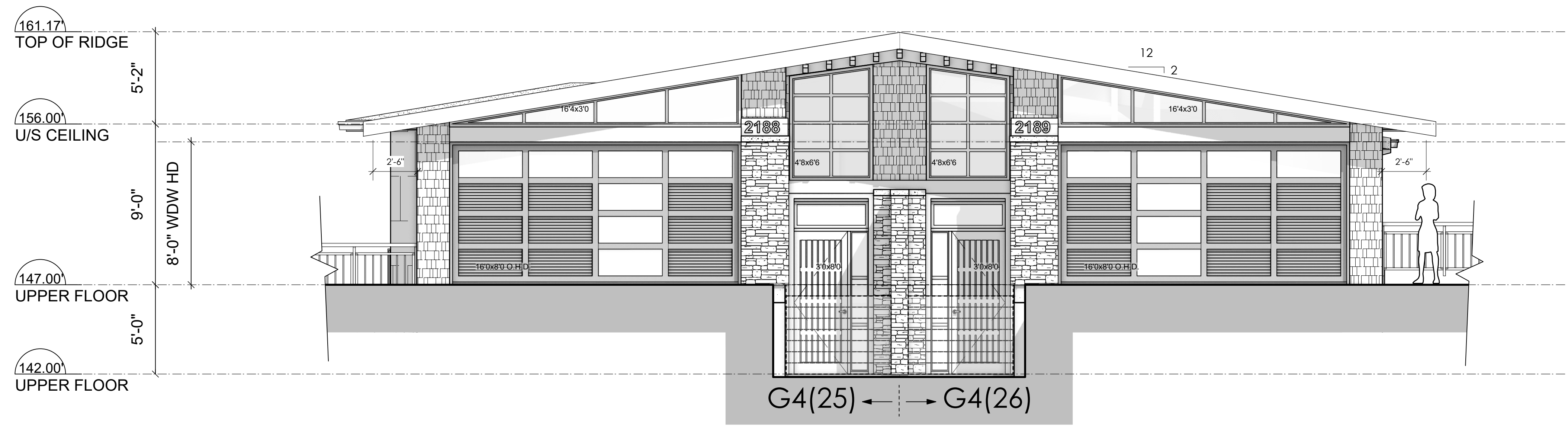
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

DRAWING
SECTION B-B

PROJECT#	8030	SHEET	AG4-3.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION
UNIT G4

MAX ALLOWABLE
BLDG HEIGHT
EL: 164.51' / 50.14M



MIDPOINT OF ROOF
EL: 161.17' / 49.12M

AFG
EL: 135.07' / 41.16M
AEG
EL: 134.66' / 41.04M

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

BACK ELEVATION
UNIT G4

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%

Spatial Separation Calculation (BCBC Table 3.2.3.1-D)

EXPOSED BUILDING FACE:	1564.84 SF (145.38 SM)
LIMITING DISTANCE:	10.73' (3.27 M)
UNPROTECTED OPENING:	384.00 SF (35.67 SM)
PROPOSED OPENING:	24.54%
PERMITTED OPENINGS:	24.69%



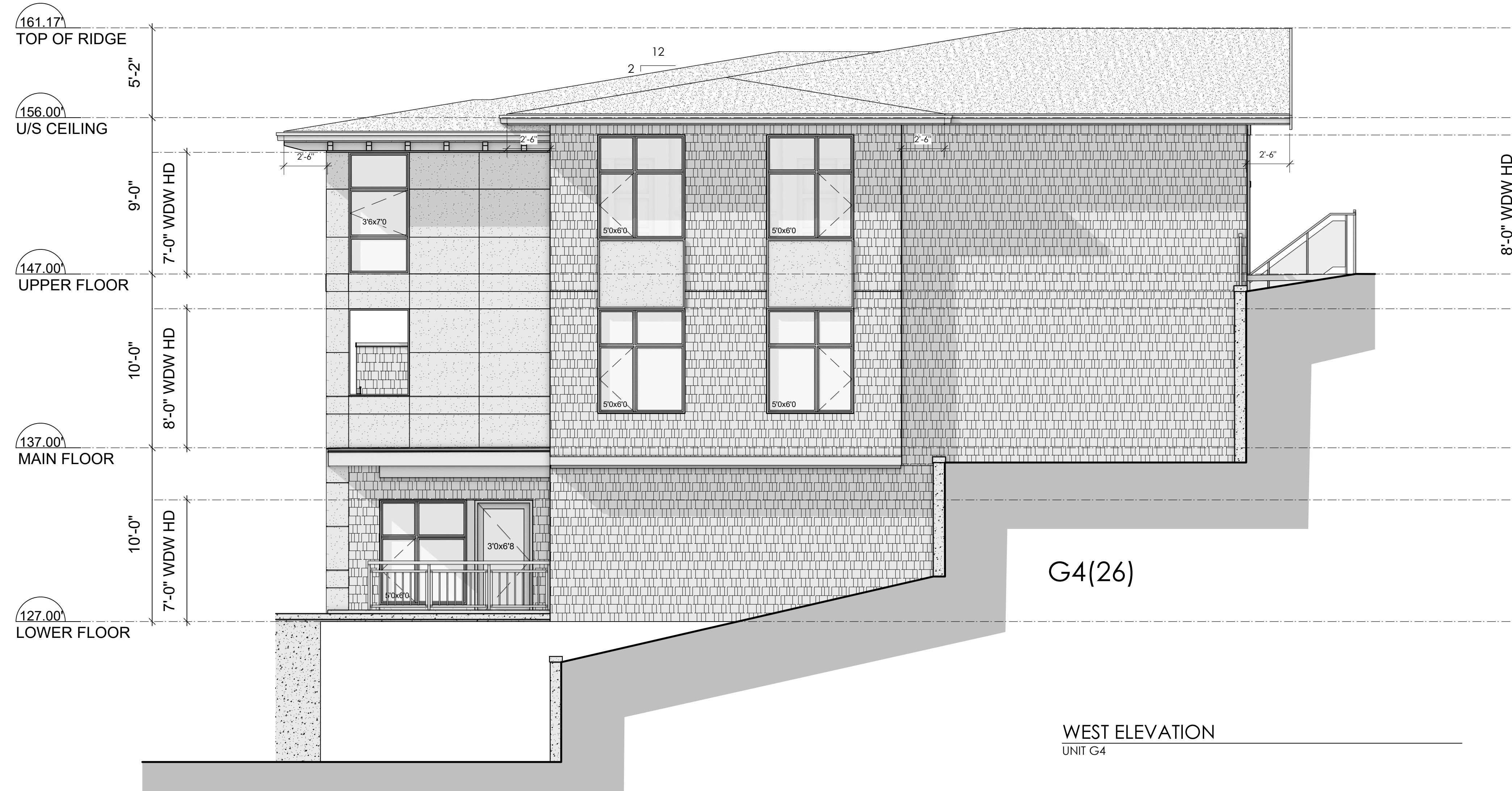
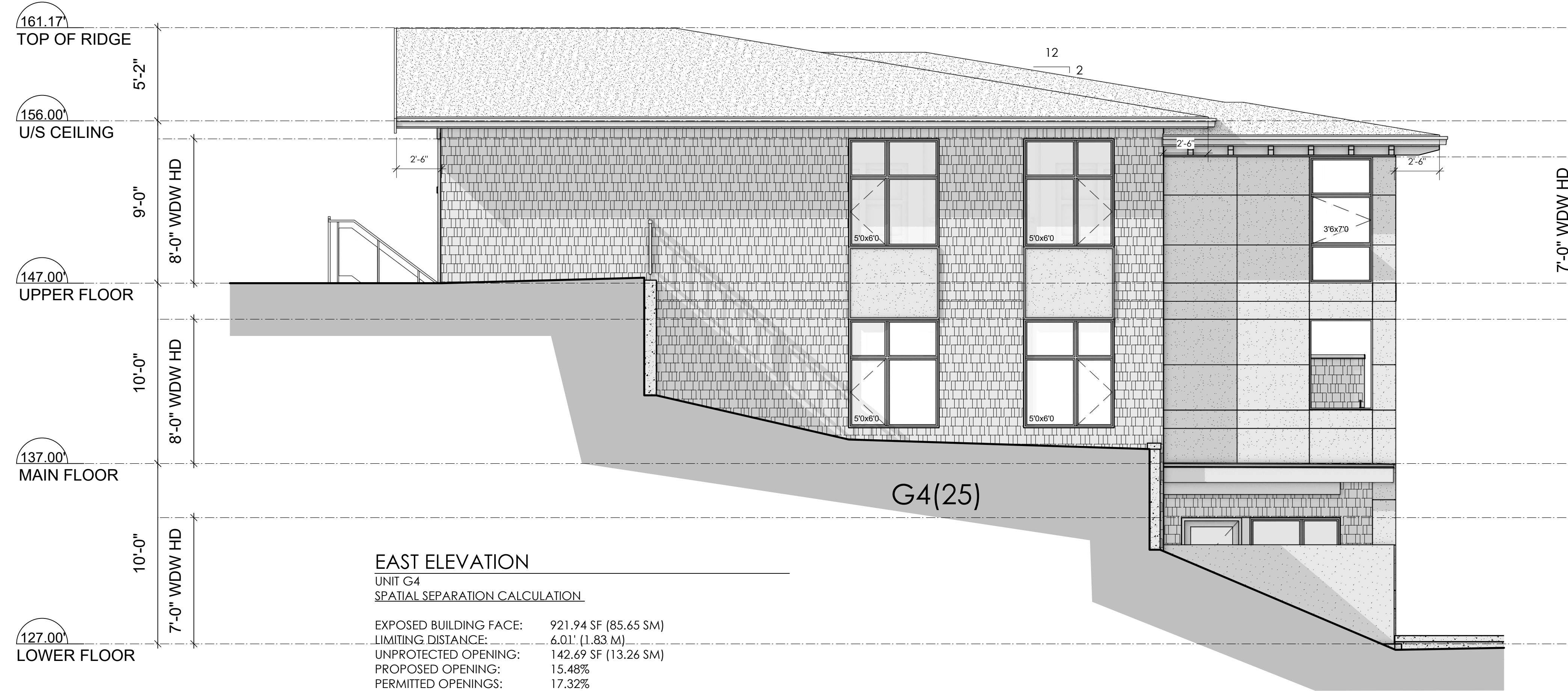
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
FRONT & BACK
ELEVATIONS B/W

PROJECT#	SHEET
8030	AG4-4.01
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
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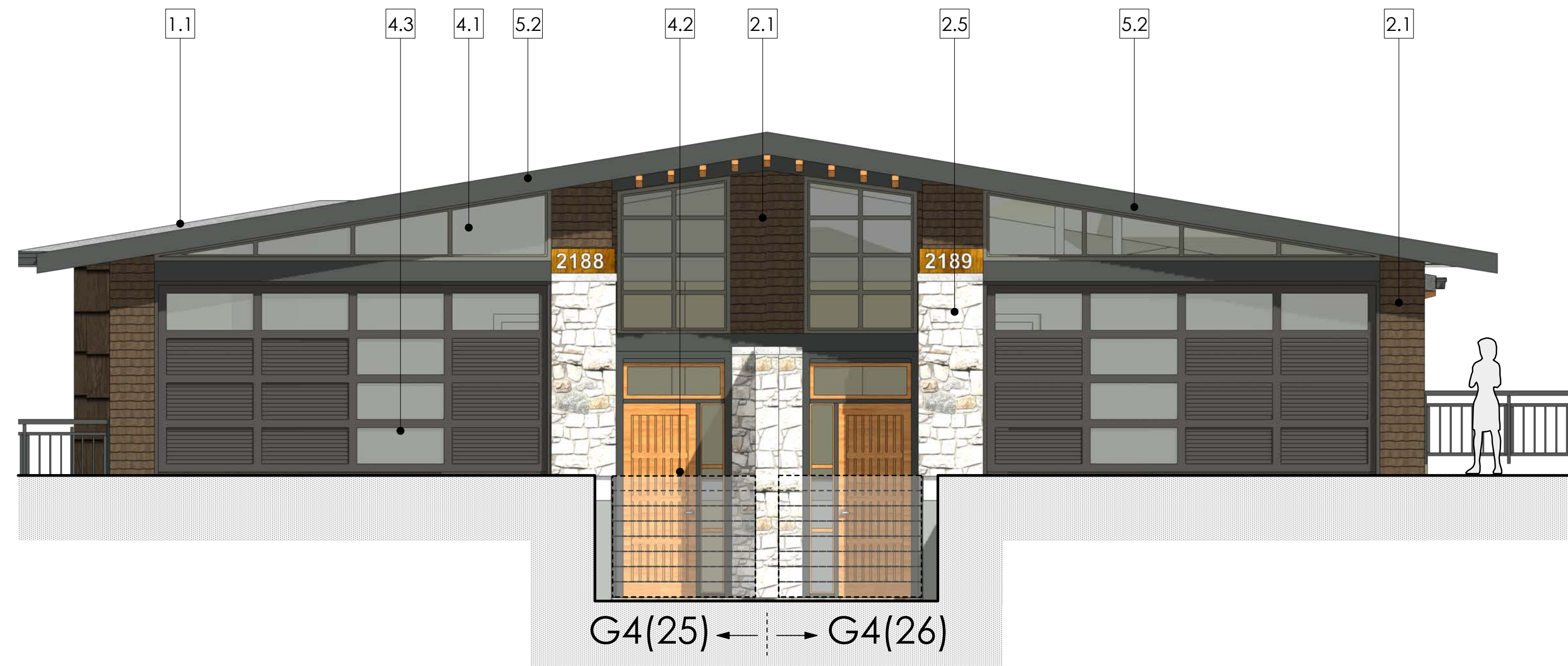
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G4

DRAWING
EAST & WEST ELEVATIONS B/W

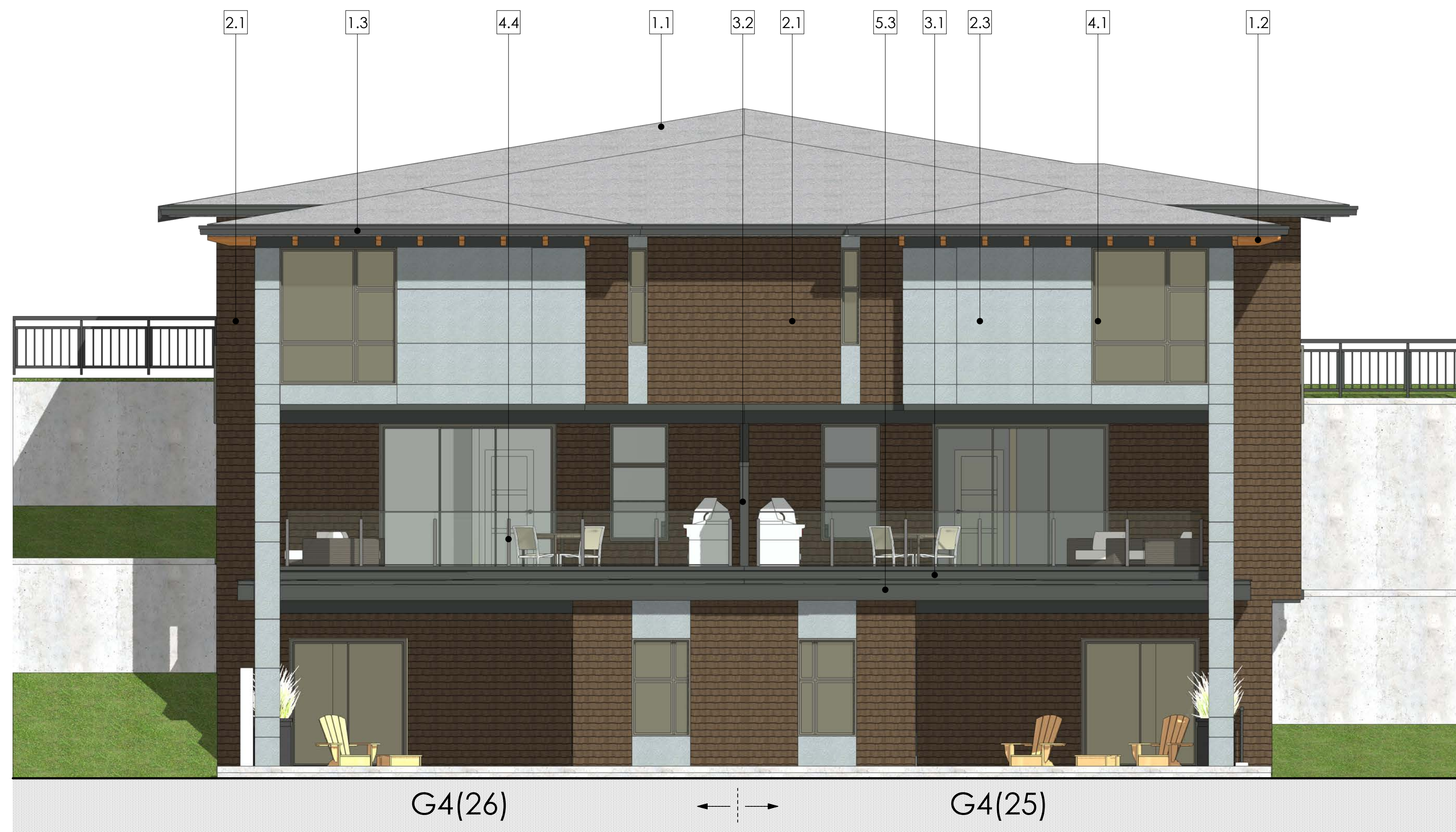
PROJECT#	SHEET
8030	AG4-4.02
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

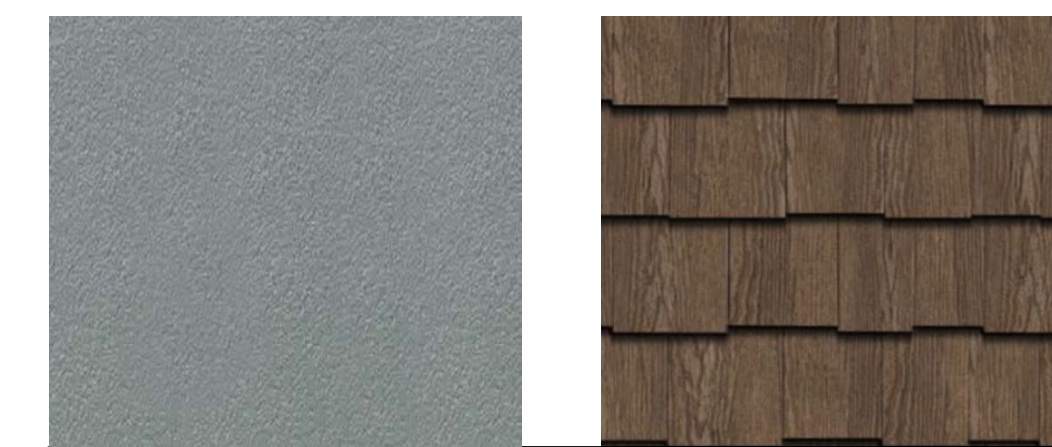
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FRONT / ENTRY ELEVATION
UNIT G4

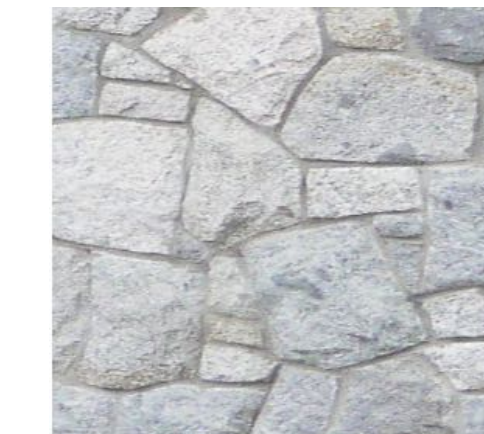


BACK ELEVATION
UNIT G4



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA
EXTERIOR MATERIAL SCHEDULE

No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

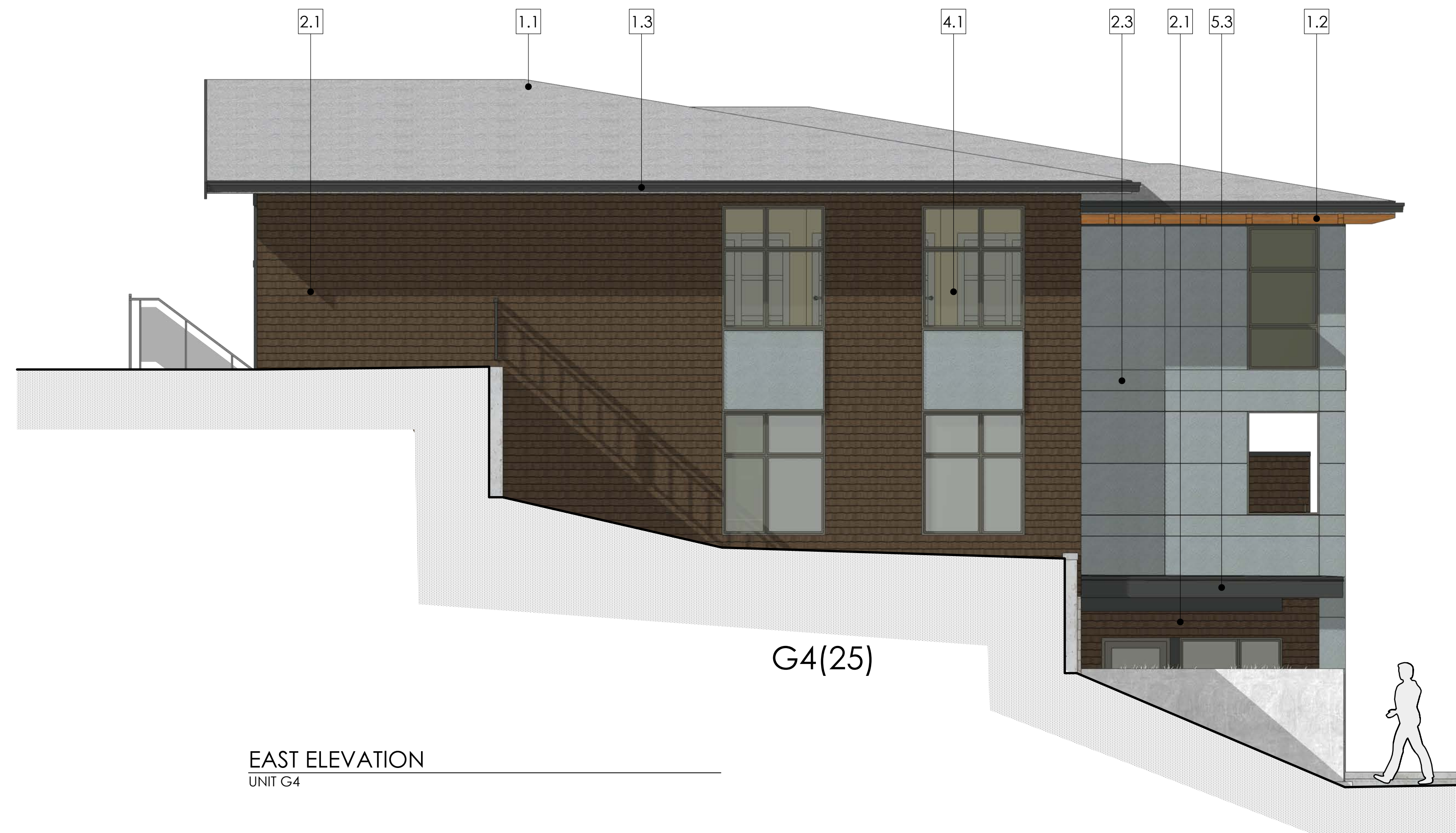


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

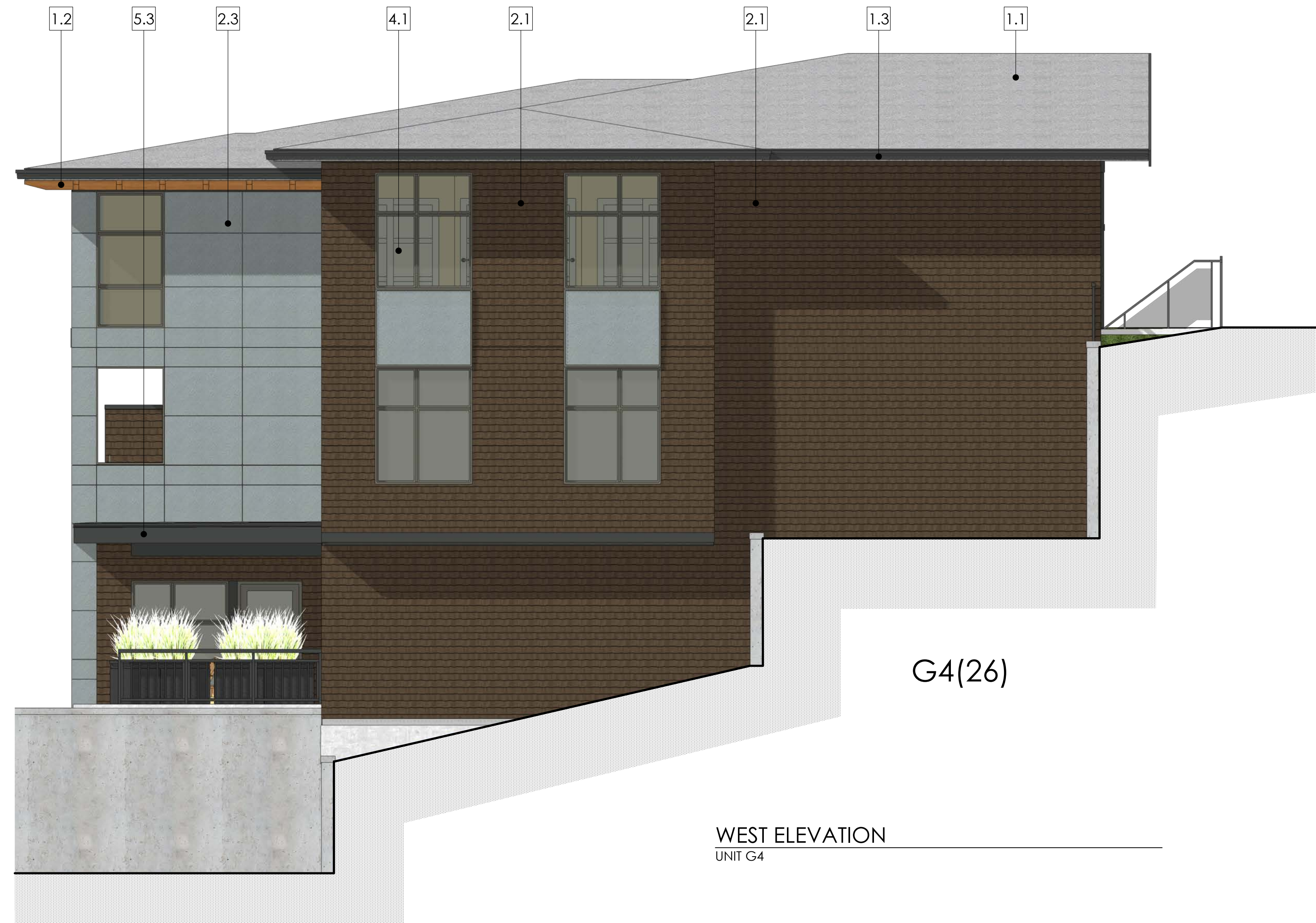
DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
**AG4-
4.03**

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EAST ELEVATION
UNIT G4



WEST ELEVATION
UNIT G4

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT G4

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT#	SHEET
8030	AG4-
SCALE 1/4" = 1'-0"	4.04
DATE OCT 1, 2023	

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G4



BACK ELEVATION - CAMERA VIEW
UNIT G4



BACK ELEVATION - CAMERA VIEW
UNIT G4



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G4

DRAWING
FRONT & BACK
ELEVATIONS
-CAMERA VIEW

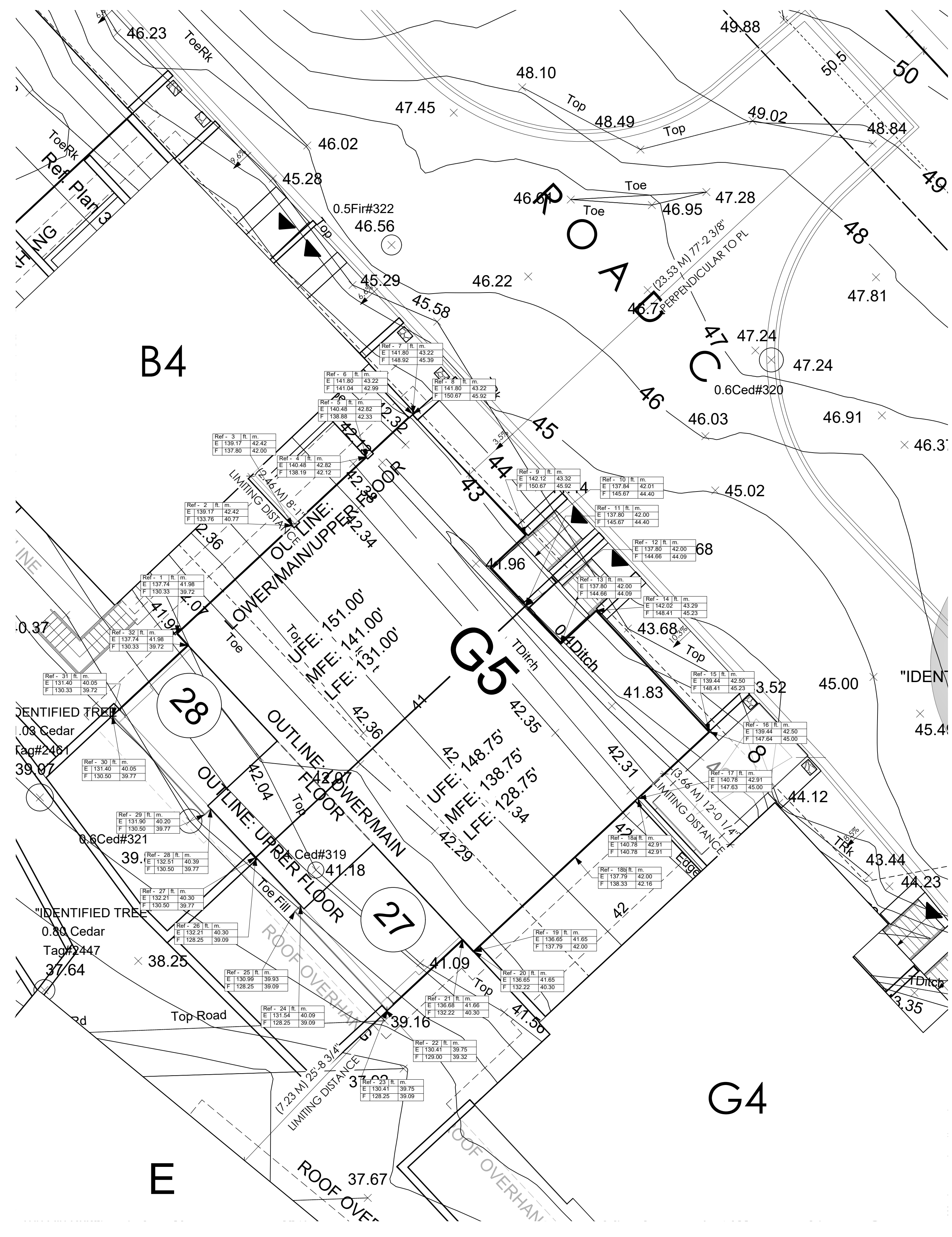
PROJECT#	SHEET	
8030	AG4- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRC/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions OCT 1, 2023

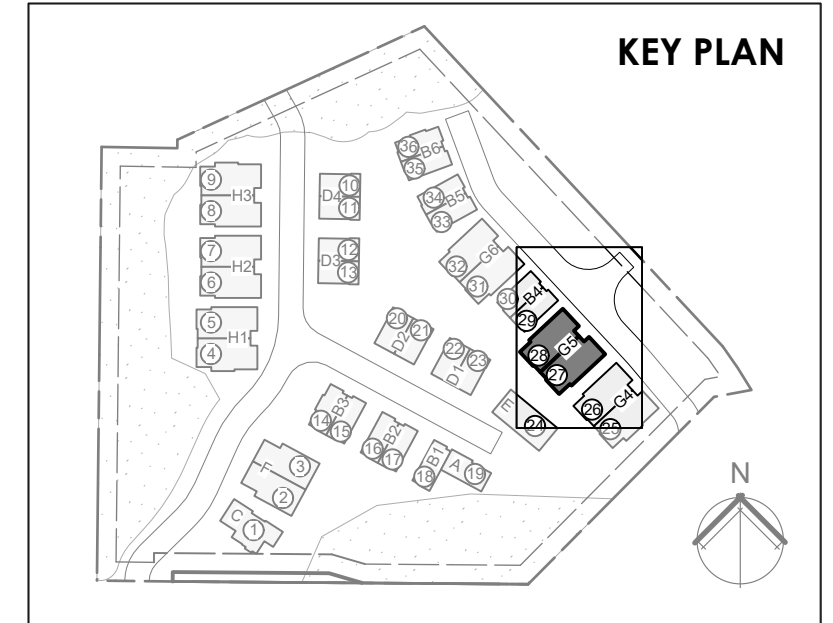
G5 - AVERAGE FINISH GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	131.33	2	133.76	132.55	2.00	265.09
2	133.76	3	137.80	135.78	0.00	0.00
3	137.80	4	139.19	138.50	12.52	1733.40
4	139.19	5	138.88	139.04	0.00	0.00
5	138.88	6	141.04	139.96	7.84	1097.57
6	141.04	7	148.92	144.98	0.00	0.00
7	148.92	8	150.67	149.80	0.00	0.00
8	150.67	9	150.67	150.67	20.58	3101.24
9	150.67	10	145.67	148.17	6.00	889.02
10	145.67	11	145.67	145.67	6.42	934.76
11	145.67	12	144.66	145.17	0.00	0.00
12	144.66	13	144.66	144.66	6.42	928.28
13	144.66	14	148.41	146.54	6.00	879.21
14	148.41	15	148.41	148.41	20.58	3054.72
15	148.41	16	147.64	148.03	0.00	0.00
16	147.64	17	147.63	147.64	12.12	1789.63
17	147.63	18a	140.78	144.21	0.00	0.00
18a	140.78	18b	138.33	139.56	10.66	1487.66
18b	138.33	19	137.79	138.06	17.24	2380.15
19	137.79	20	132.22	135.01	0.00	0.00
20	132.22	21	132.22	132.22	3.50	462.77
21	132.22	22	129.00	130.61	12.83	1675.73
22	129.00	23	128.25	128.63	0.00	0.00
23	128.25	24	128.25	128.25	16.79	2153.57
24	128.25	25	128.25	128.25	1.00	128.25
25	128.25	26	128.25	128.25	8.21	1052.68
26	128.25	27	130.50	129.38	0.00	0.00
27	130.50	28	130.50	130.50	8.21	1071.14
28	130.50	29	130.50	130.50	1.00	130.50
29	130.50	30	130.50	130.50	16.79	2191.36
30	130.50	31	130.33	130.42	12.83	1673.62
31	130.33	32	130.33	130.33	0.00	0.00
32	130.33	1	131.33	130.83	2.00	261.66
Total					211.54	29342.02
AVG Finish Grade						138.70
Max. Bldg Height (Ft):				29.85		168.55

G5 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	137.74	2	139.17	138.46	19.64	2719.67
2	139.17	3	139.17	139.17	0.00	0.00
3	139.17	4	140.48	139.83	12.52	1750.05
4	140.48	5	140.48	140.48	0.00	0.00
5	140.48	6	141.80	141.14	7.84	1106.82
6	141.80	7	141.80	141.80	0.00	0.00
7	141.80	8	141.80	141.80	0.00	0.00
8	141.80	9	142.12	141.96	20.58	2921.96
9	142.12	10	137.84	139.98	6.00	839.88
10	137.84	11	137.80	137.82	6.42	884.39
11	137.80	12	137.80	137.80	0.00	0.00
12	137.80	13	137.80	137.80	6.42	884.26
13	137.80	14	142.02	139.91	6.00	839.46
14	142.02	15	139.44	140.73	20.58	2896.65
15	139.44	16	139.44	139.44	0.00	0.00
16	139.44	17	140.78	140.11	12.12	1698.41
17	140.78	18a	140.78	140.78	0.00	0.00
18a	140.78	18b	137.79	139.29	10.66	1484.78
18b	137.79	19	136.65	137.22	17.24	2365.67
19	136.65	20	136.65	136.65	0.00	0.00
20	136.65	21	136.68	136.67	3.50	478.33
21	136.68	22	136.41	136.55	12.83	1751.87
22	136.41	23	130.41	133.41	0.00	0.00
23	130.41	24	130.99	130.70	16.79	2194.71
24	130.99	25	131.54	131.27	1.00	131.27
25	131.54	26	132.21	131.88	8.21	1082.43
26	132.21	27	132.21	132.21	0.00	0.00
27	132.21	28	132.51	132.36	8.21	1086.41
28	132.51	29	131.90	132.21	1.00	132.21
29	131.90	30	131.40	131.65	16.79	2210.67
30	131.40	31	131.40	131.40	12.83	1686.26
31	131.40	32	137.74	134.57	0.00	0.00
32	137.74	1	137.74	137.74	2.00	275.48
Total					229.19	31421.64
AVG Existing Grade						137.10
Max. Bldg Height (Ft):				29.85		166.95



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G5 (28)		
Lower	Main	Upper
39.24 m	42.29 m	45.34 m
128.75'	138.75'	148.75'



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G5

DRAWING
 SITE PLAN

PROJECT# 8030
 SCALE 1/8"=1'-0"
 DATE OCT 1, 2023
 SHEET
AG5-1.01

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REVISIONS

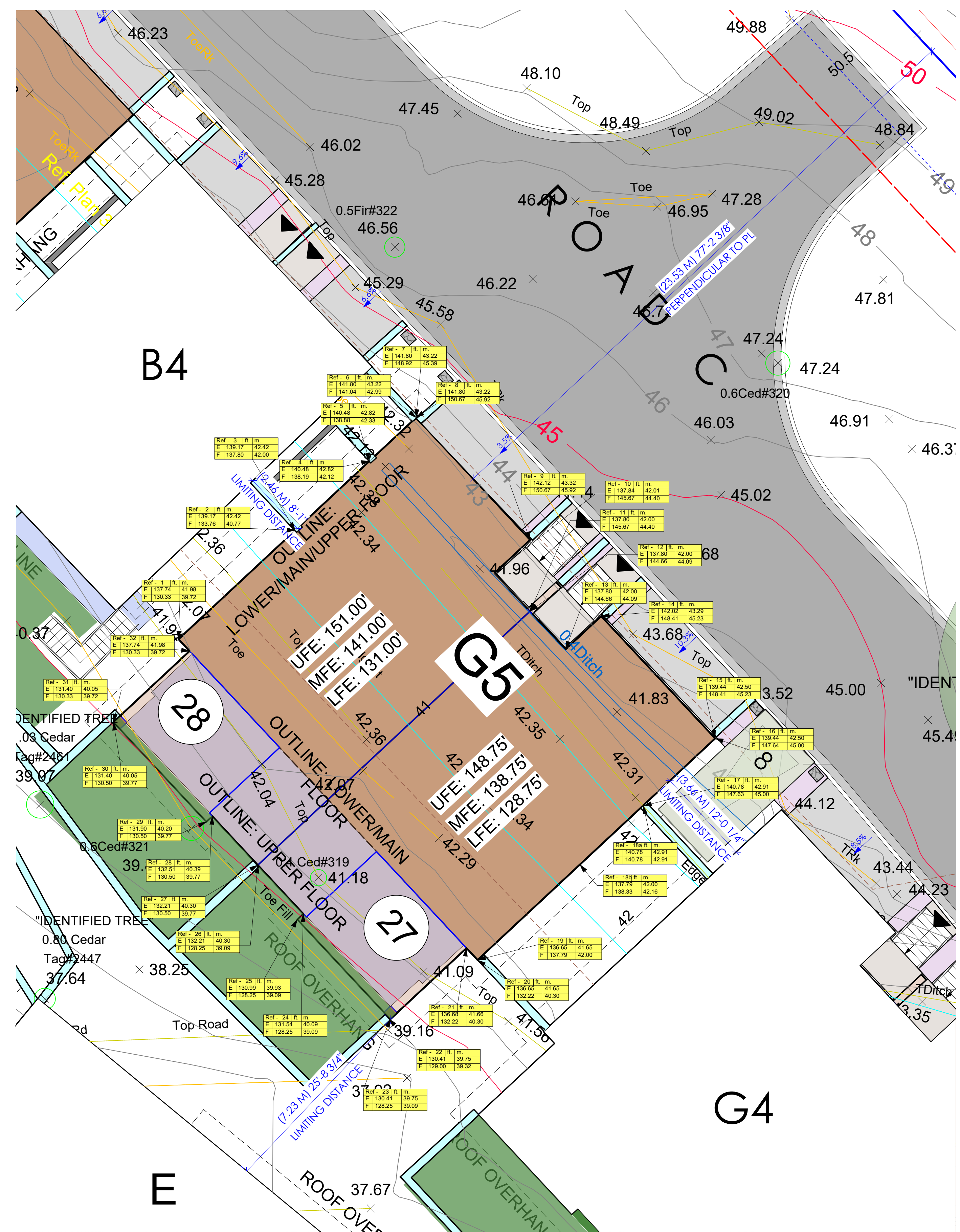
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023

G5 - AVERAGE FINISH GRADE CALCULATION

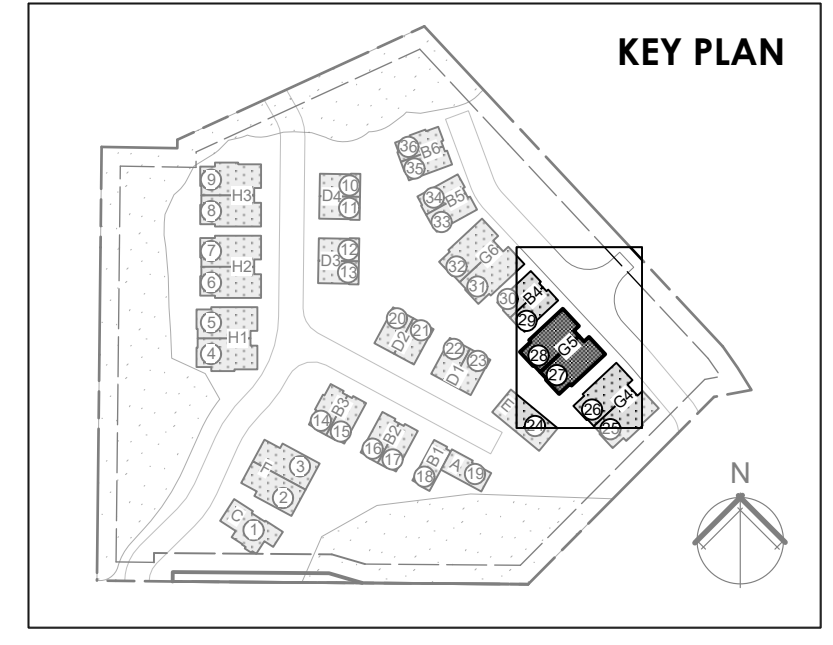
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	131.33	2	133.76	132.55	2.00	265.09
2	133.76	3	137.80	135.78	0.00	0.00
3	137.80	4	139.19	138.50	12.52	1733.40
4	139.19	5	138.88	139.04	0.00	0.00
5	138.88	6	141.04	139.96	7.84	1097.57
6	141.04	7	148.92	144.98	0.00	0.00
7	148.92	8	150.67	149.80	0.00	0.00
8	150.67	9	150.67	150.67	20.58	3101.24
9	150.67	10	145.67	148.17	6.00	889.02
10	145.67	11	145.67	145.67	6.42	934.76
11	145.67	12	144.66	145.17	0.00	0.00
12	144.66	13	144.66	144.66	6.42	928.28
13	144.66	14	148.41	146.54	6.00	879.21
14	148.41	15	148.41	148.41	20.58	3054.72
15	148.41	16	147.64	148.03	0.00	0.00
16	147.64	17	147.63	147.64	12.12	1789.63
17	147.63	18a	140.78	144.21	0.00	0.00
18a	140.78	18b	138.33	139.56	10.66	1487.66
18b	138.33	19	137.79	138.06	17.24	2380.15
19	137.79	20	132.22	135.01	0.00	0.00
20	132.22	21	132.22	132.22	3.50	462.77
21	132.22	22	129.00	130.61	12.83	1675.73
22	129.00	23	128.25	128.63	0.00	0.00
23	128.25	24	128.25	128.25	16.79	2153.57
24	128.25	25	128.25	128.25	1.00	128.25
25	128.25	26	128.25	128.25	8.21	1052.68
26	128.25	27	130.50	129.38	0.00	0.00
27	130.50	28	130.50	130.50	8.21	1071.14
28	130.50	29	130.50	130.50	1.00	130.50
29	130.50	30	130.50	130.50	16.79	2191.36
30	130.50	31	130.33	130.42	12.83	1673.62
31	130.33	32	130.33	130.33	0.00	0.00
32	130.33	1	131.33	130.83	2.00	261.66
Total					211.54	29342.02
AVG Finish Grade						138.70
Max. Bldg Height (Ft):		29.85				168.55

G5 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	137.74	2	139.17	138.46	19.64	2719.67
2	139.17	3	139.17	139.17	0.00	0.00
3	139.17	4	140.48	139.83	12.52	1750.05
4	140.48	5	140.48	140.48	0.00	0.00
5	140.48	6	141.80	141.14	7.84	1106.82
6	141.80	7	141.80	141.80	0.00	0.00
7	141.80	8	141.80	141.80	0.00	0.00
8	141.80	9	142.12	141.96	20.58	2921.96
9	142.12	10	137.84	139.98	6.00	839.88
10	137.84	11	137.80	137.82	6.42	884.39
11	137.80	12	137.80	137.80	0.00	0.00
12	137.80	13	137.80	137.80	6.42	884.26
13	137.80	14	142.02	139.91	6.00	839.46
14	142.02	15	139.44	140.73	20.58	2896.65
15	139.44	16	139.44	139.44	0.00	0.00
16	139.44	17	140.78	140.11	12.12	1698.41
17	140.78	18a	140.78	140.78	0.00	0.00
18a	140.78	18b	137.79	139.29	10.66	1484.78
18b	137.79	19	136.65	137.22	17.24	2365.67
19	136.65	20	136.65	136.65	0.00	0.00
20	136.65	21	136.68	136.67	3.50	478.33
21	136.68	22	136.41	136.55	12.83	1751.87
22	136.41	23	130.41	133.41	0.00	0.00
23	130.41	24	130.99	130.70	16.79	2194.71
24	130.99	25	131.54	131.27	1.00	131.27
25	131.54	26	132.21	131.88	8.21	1082.43
26	132.21	27	132.21	132.21	0.00	0.00
27	132.21	28	132.51	132.36	8.21	1086.41
28	132.51	29	131.90	132.21	1.00	132.21
29	131.90	30	131.40	131.65	16.79	2210.67
30	131.40	31	131.40	131.40	12.83	1686.26
31	131.40	32	137.74	134.57	0.00	0.00
32	137.74	1	137.74	137.74	2.00	275.48
Total					229.19	31421.64
AVG Existing Grade						137.10
Max. Bldg Height (Ft):		29.85				166.95



SITE PLAN
SCALE: 1/8"=1'-0"



TOP OF FINISH FLOOR - G5 (28)

Lower	Main	Upper
39.24 m	42.29 m	45.34 m
128.75'	138.75'	148.75'

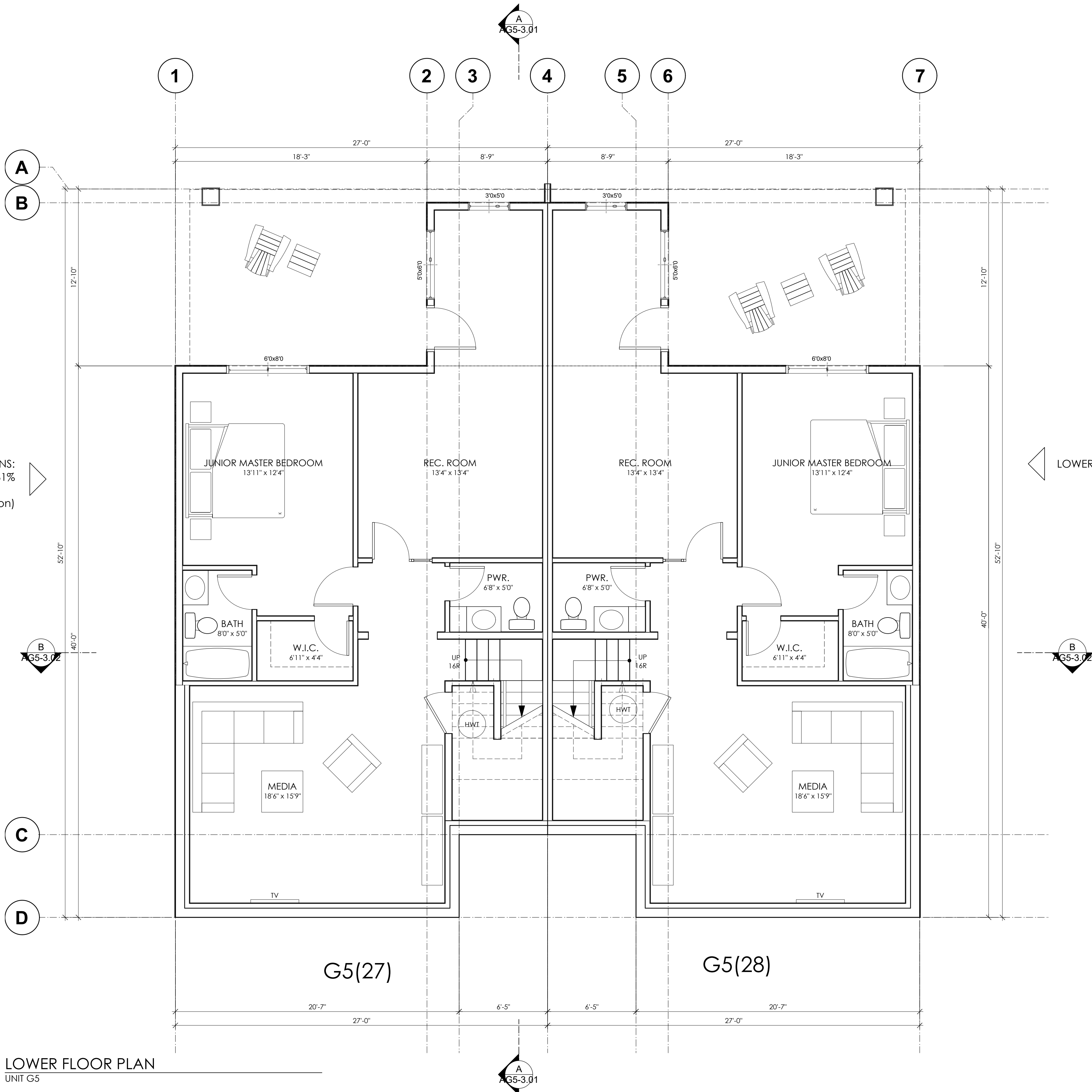


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G5

DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8"=1'-0"
DATE OCT 1, 2023
SHEET
AG5-1.01

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (137.10'- 131.00' / 141.00'- 131.00') x 100 = 61%
 1,145 (gross area) x 61% = 698.45 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G5

DRAWING
LOWER FLOOR PLAN

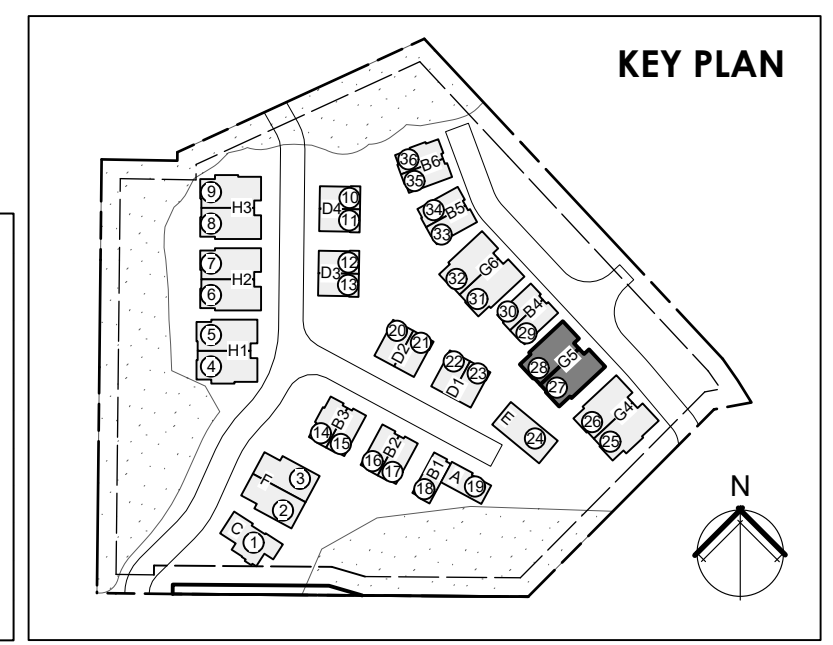
PROJECT# 8030
 SHEET **AG5-2.01**
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023

UNIT 27 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 61%	698.5 SF	0.0 SF	0.0 SF	698.5 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	446.6 SF	1255.7 SF	984.4 SF	2686.7 SF

UNIT 27 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 61%	64.9 SM	0.0 SM	0.0 SM	64.9 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	3.4 SM	3.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	41.5 SM	116.7 SM	91.4 SM	249.5 SM

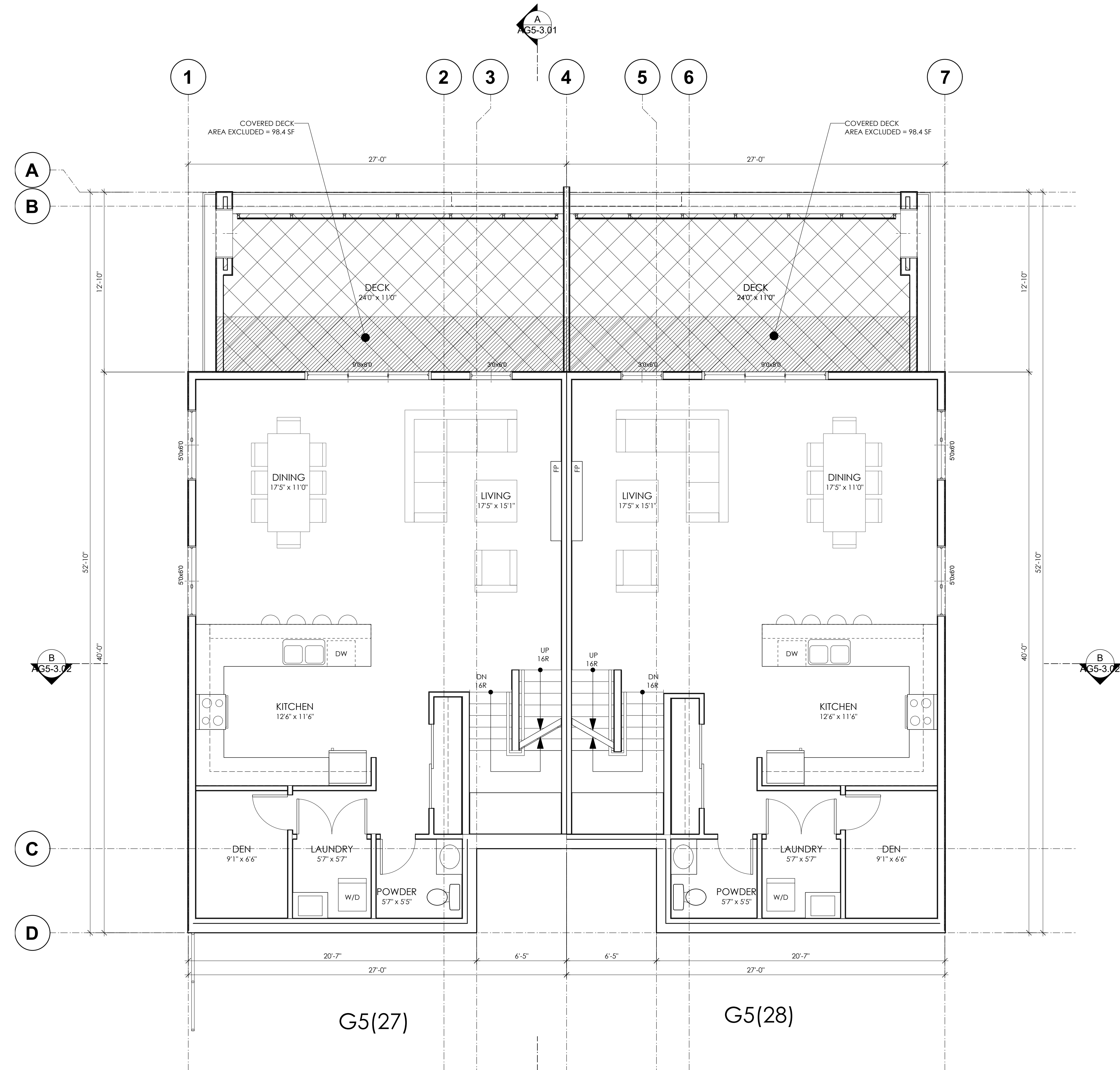
UNIT 28 FLOOR AREAS IMPERIAL				
	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1255.7 SF	996.3 SF	2252.0 SF

UNIT 28 FLOOR AREAS METRIC				
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	0.0 SM	116.7 SM	92.6 SM	209.2 SM



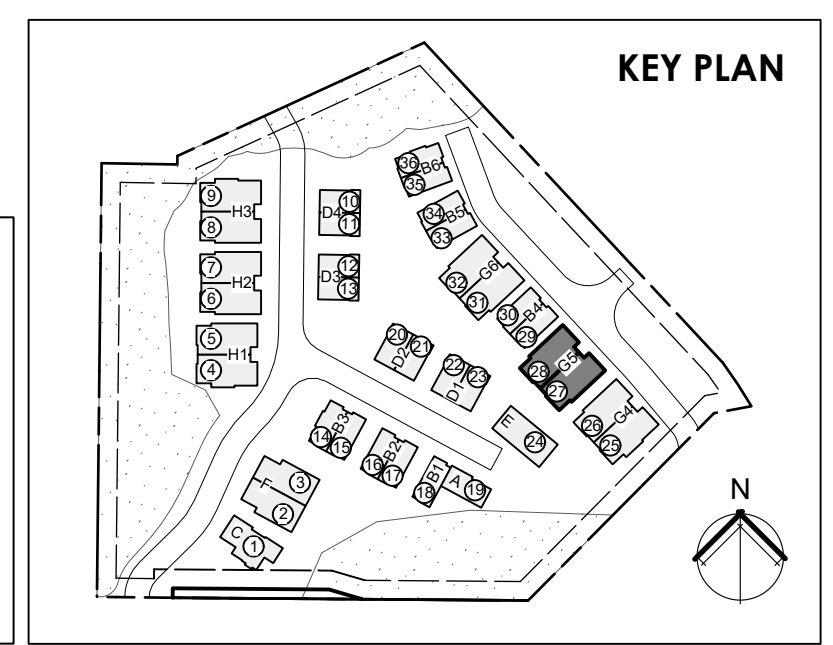
REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G5

DRAWING
MAIN FLOOR PLAN



UNIT 27 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 61%	698.5 SF	0.0 SF	0.0 SF	698.5 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	446.6 SF	1255.7 SF	984.4 SF	2686.7 SF

UNIT 27 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 61%	64.9 SM	0.0 SM	0.0 SM	64.9 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	3.4 SM	3.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	41.5 SM	116.7 SM	91.4 SM	249.5 SM

UNIT 28 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	0.0 SF	1255.7 SF	996.3 SF	2252.0 SF

UNIT 28 FLOOR AREAS METRIC

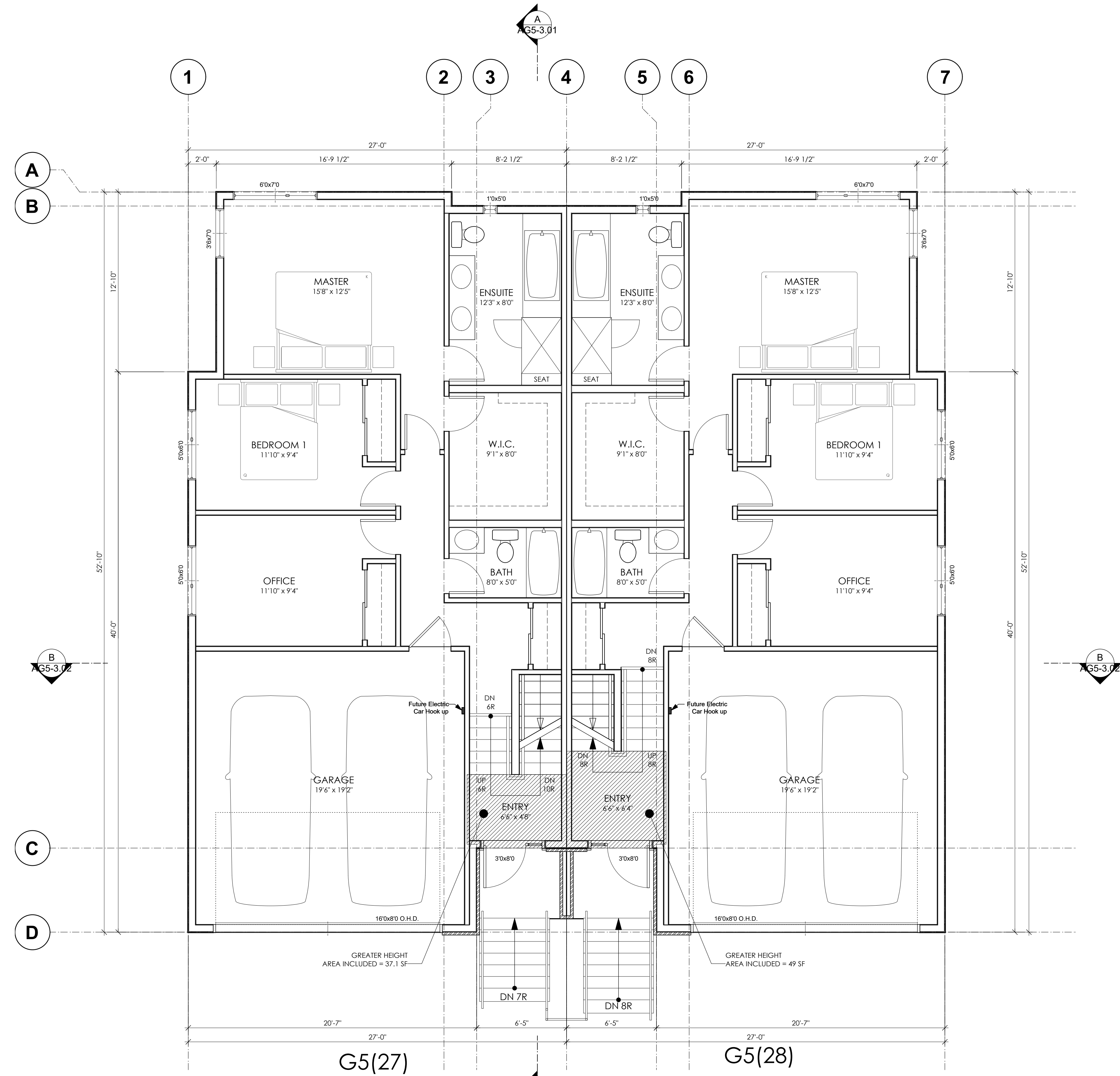
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	0.0 SM	116.7 SM	92.6 SM	209.2 SM

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023

SHEET
AG5-2.02

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



UPPER FLOOR PLAN
UNIT G5

UNIT 27 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 61%	698.5 SF	0.0 SF	0.0 SF	698.5 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	37.1 SF	37.1 SF
NET	446.6 SF	1255.7 SF	984.4 SF	2686.7 SF

UNIT 27 FLOOR AREAS METRIC

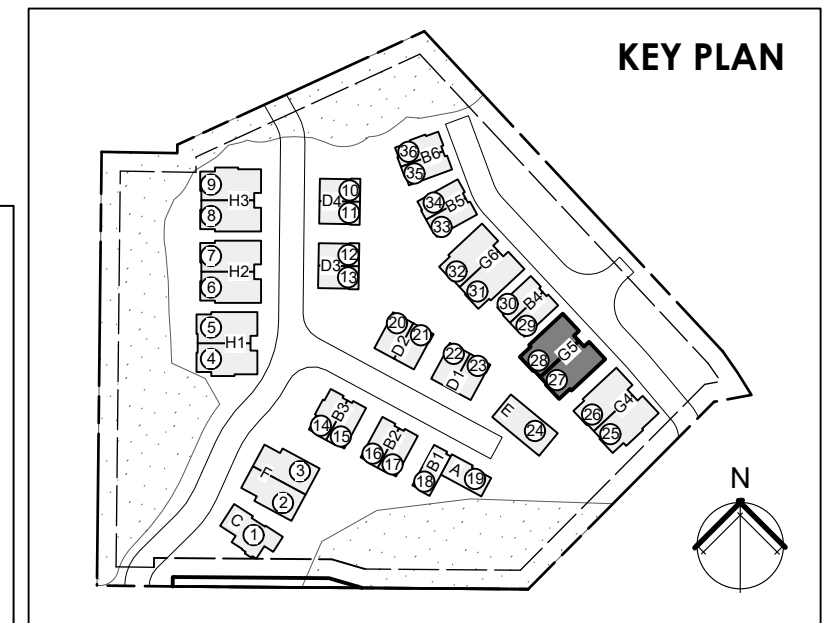
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 61%	64.9 SM	0.0 SM	0.0 SM	64.9 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	3.4 SM	3.4 SM
NET	41.5 SM	116.7 SM	91.4 SM	249.5 SM

UNIT 28 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 100%	1145.0 SF	0.0 SF	0.0 SF	1145.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	49.0 SF	49.0 SF
NET	0.0 SF	1255.7 SF	996.3 SF	2252.0 SF

UNIT 28 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 100%	106.4 SM	0.0 SM	0.0 SM	106.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	4.6 SM	4.6 SM
NET	0.0 SM	116.7 SM	92.6 SM	209.2 SM



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G5

DRAWING
UPPER FLOOR PLAN

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AG5-2.03**

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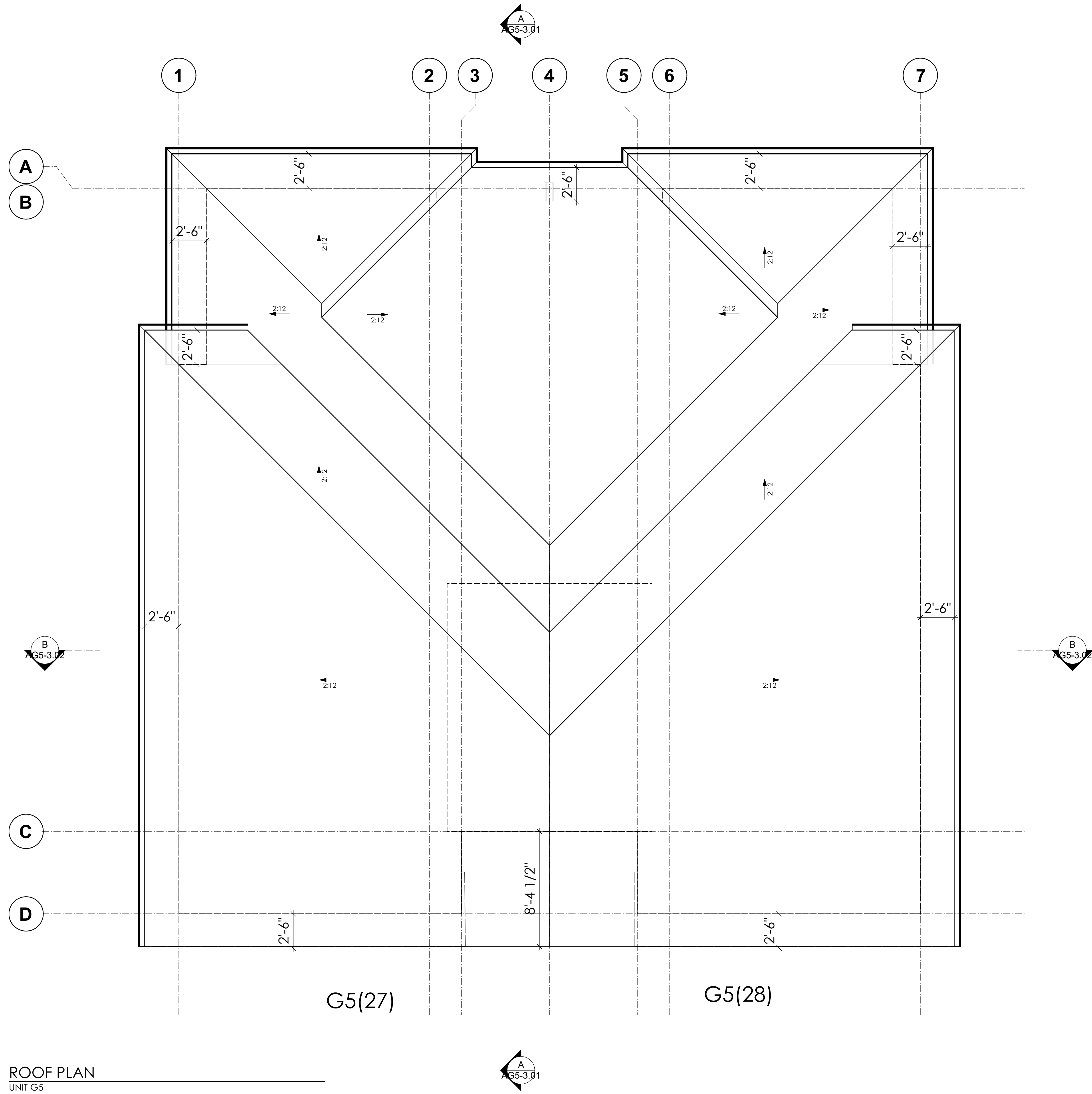
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



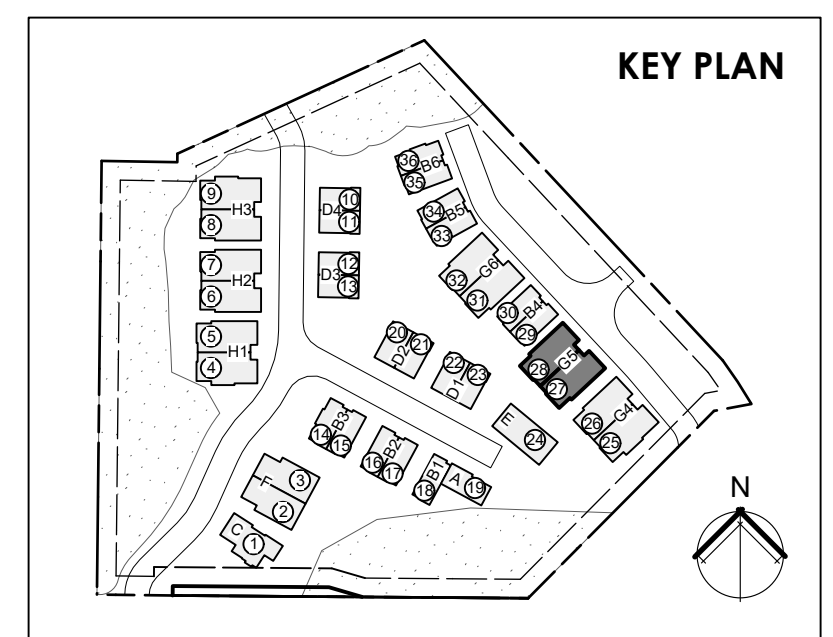
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
ROOF PLAN

PROJECT#	SHEET
8030	AG5-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

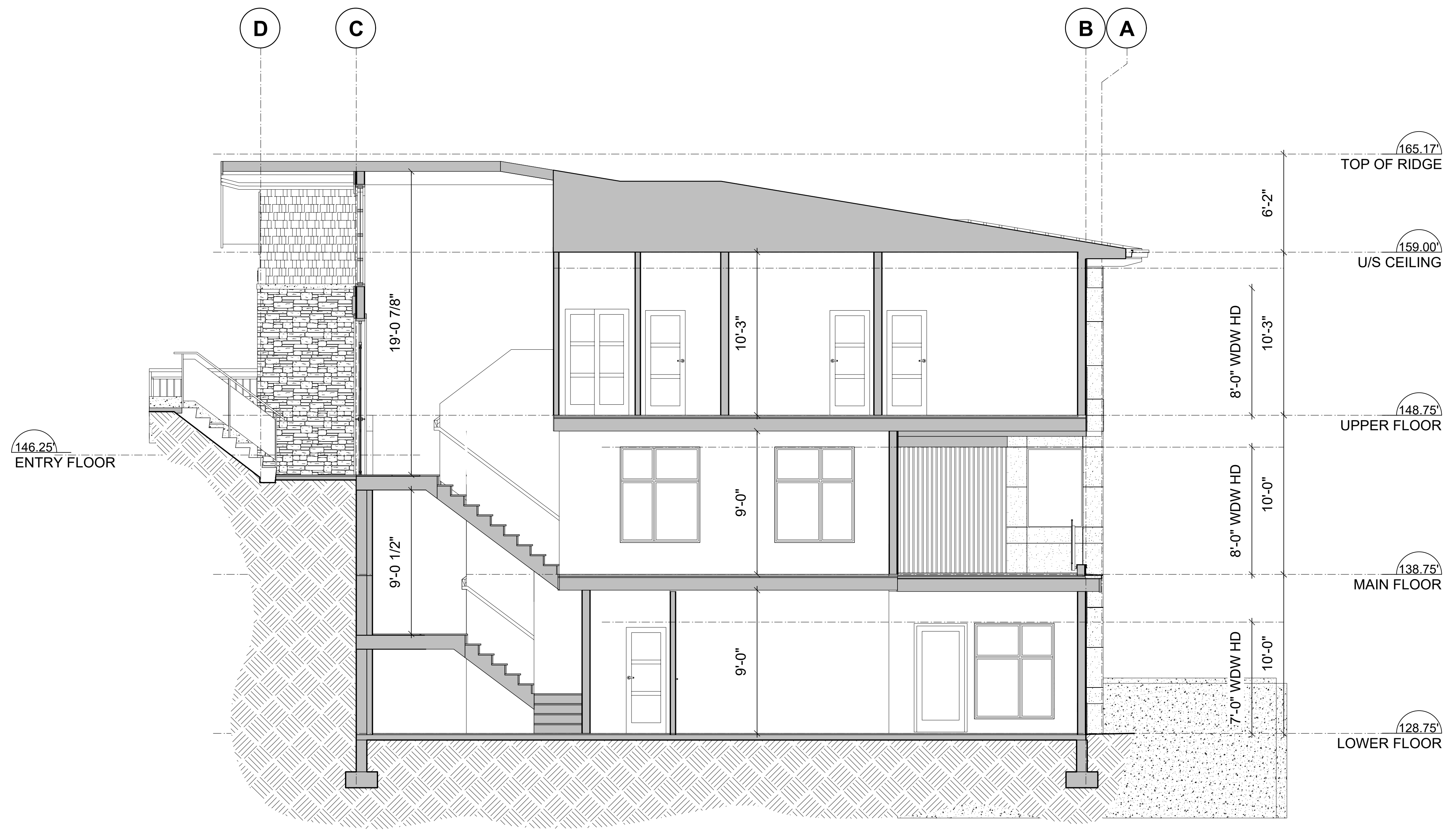


ROOF PLAN
UNIT G5



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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



A SECTION A-A
Scale: 1/4" = 1'-0"



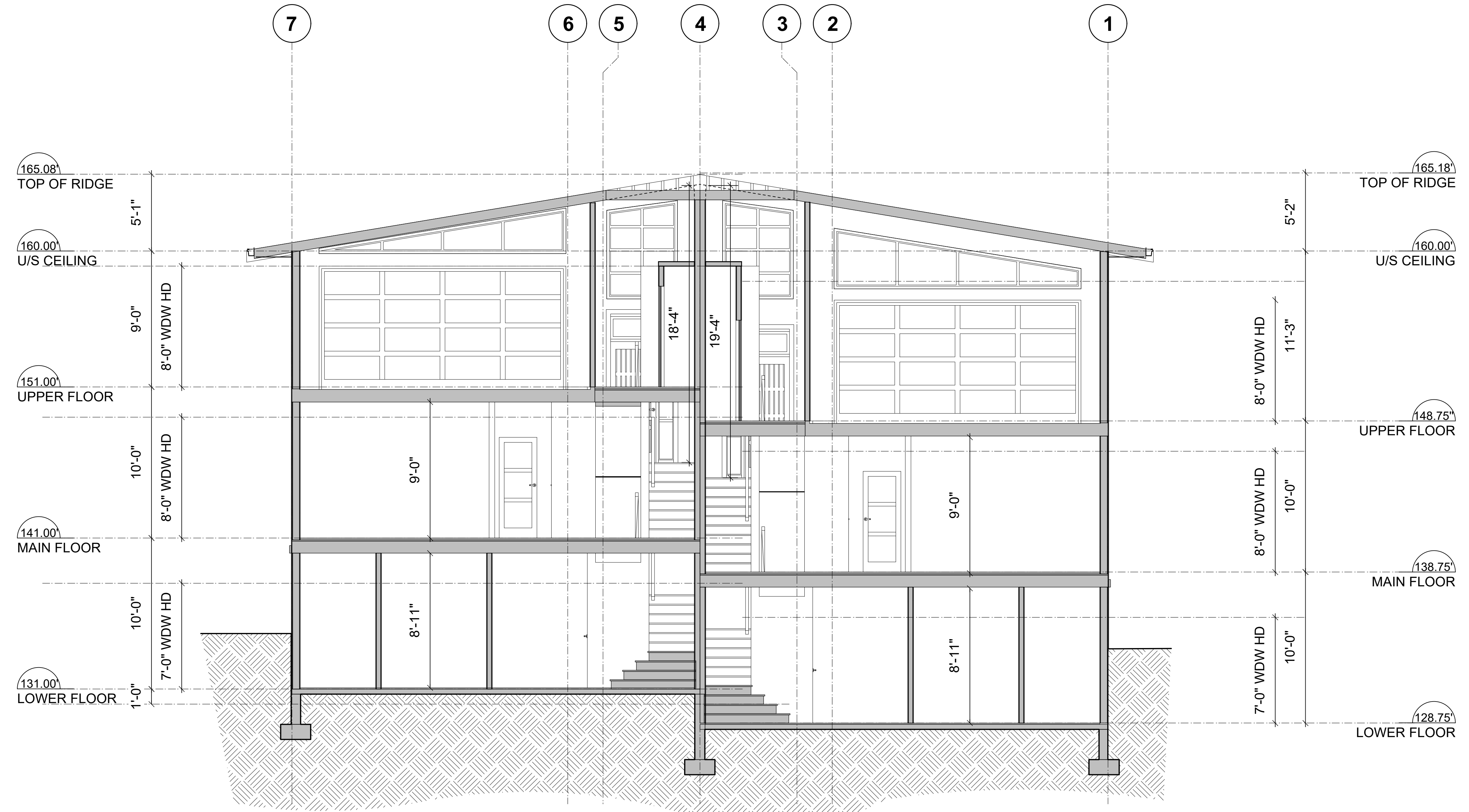
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G5

DRAWING
SECTION A-A

PROJECT#	SHEET
8030	AG5-
SCALE 1/4" = 1'-0"	3.01
DATE OCT 1, 2023	

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"

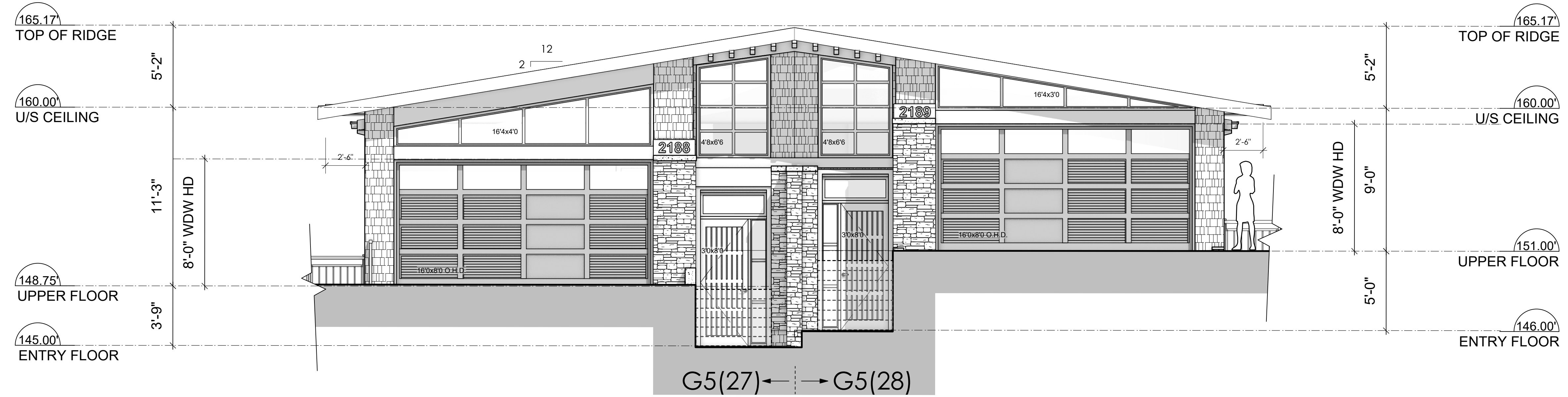


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G5

DRAWING
SECTION B-B

PROJECT#	8030	SHEET	AG5-3.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



FRONT / ENTRY ELEVATION
UNIT G5



BACK ELEVATION
UNIT G5

LOWER FLOOR / BASEMENT EXEMPTIONS:
(137.10'- 131.00' / 141.00'- 131.00') x 100 = 61%

1,145 (gross area) x 61% = 698.45 SF (exemption)

SPATIAL SEPARATION CALCULATION

EXPOSED BUILDING FACE: 1579.05 SF (146.70 SM)
LIMITING DISTANCE: 12.86' (3.92 M)
UNPROTECTED OPENING: 384.00 SF (35.67 SM)
PROPOSED OPENING: 24.43%
PERMITTED OPENINGS: 29.74%

LOWER FLOOR / BASEMENT EXEMPTIONS: 100%



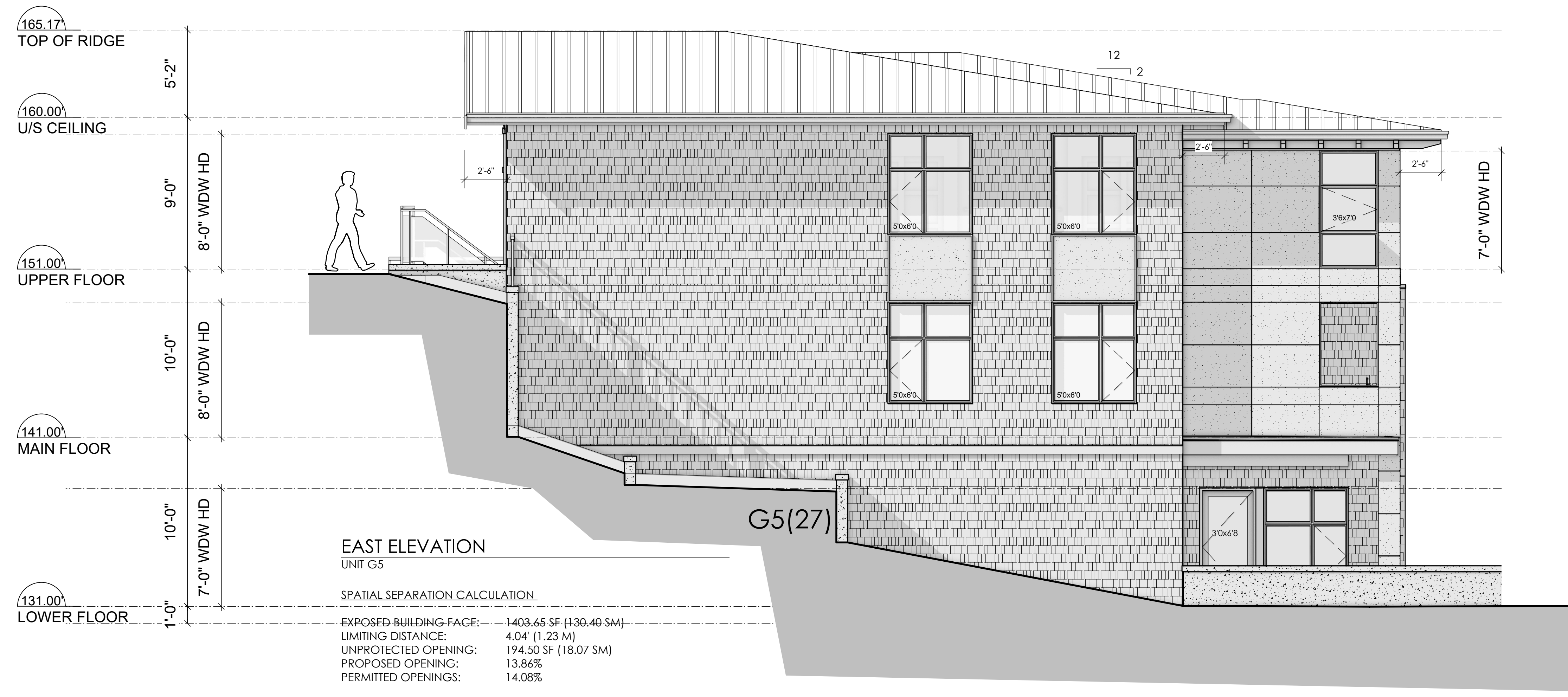
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
**FRONT & BACK
ELEVATIONS B/W**

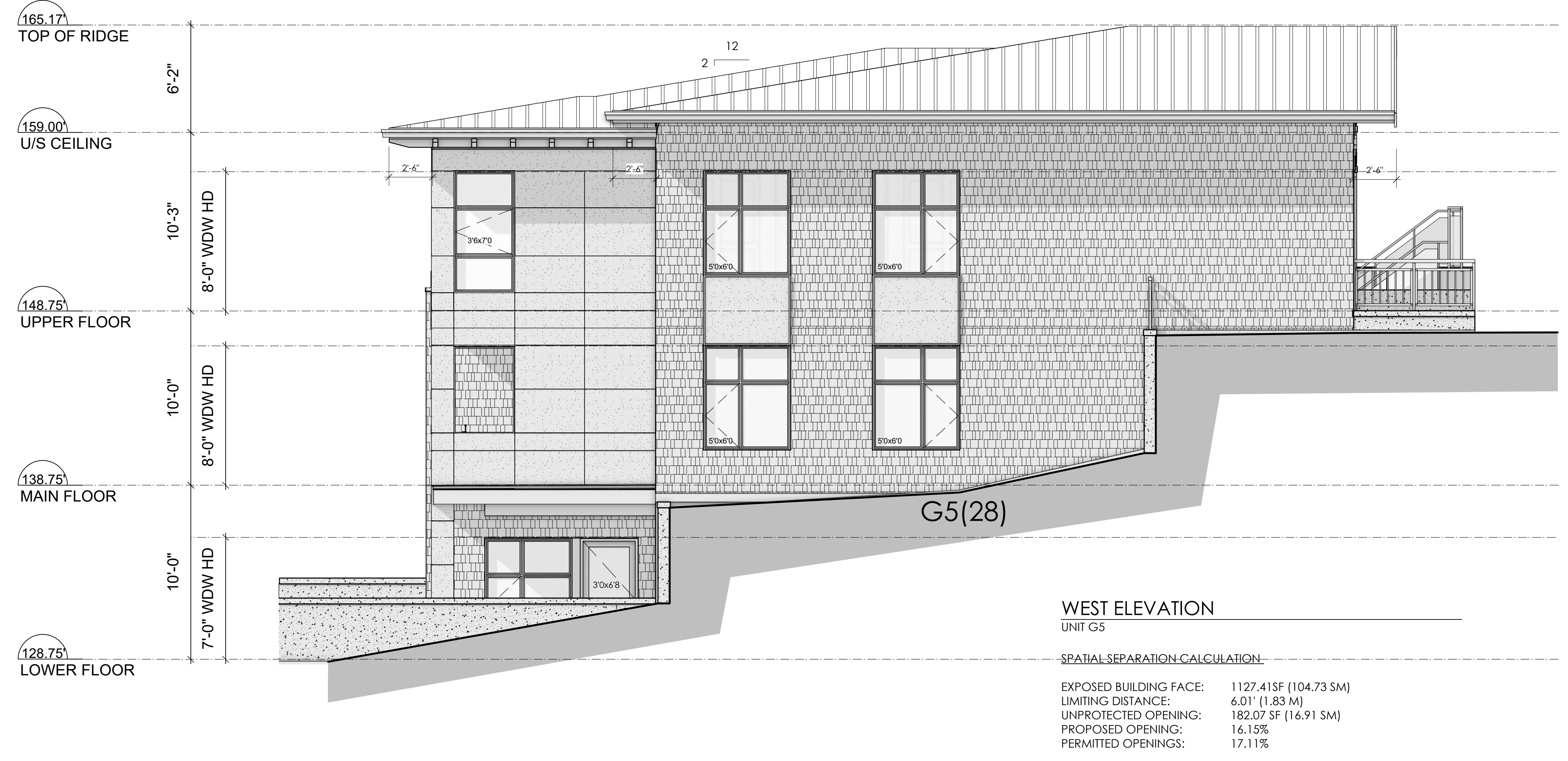
PROJECT#	SHEET
8030	AG5-4.01
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



PLEASE REVISE

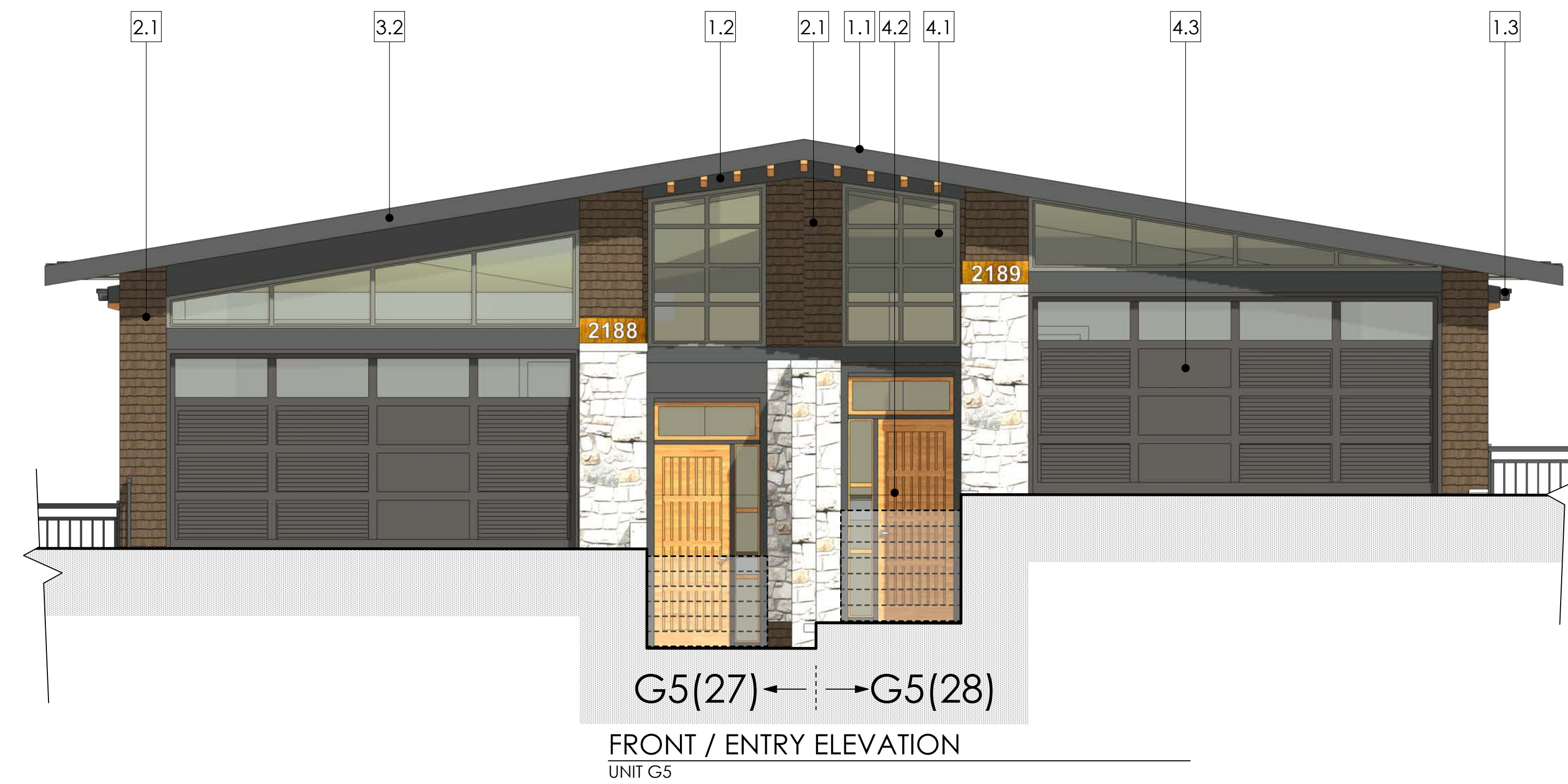


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G5

DRAWING
 EAST & WEST ELEVATIONS B/W

PROJECT#	SHEET
8030	AG5-4.02
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

These plans remain the ownership of Sterling Pacific



HARDY PANEL
FIBRE CEMENT SHINGLES - WOODTONE RUSTIC SERIES CARBON TRAILS



STONE CLADDING
METAL ROOF - CHARCOAL GRAY



ENTRY DOOR STILEWOOD - OLD MASTER GEL STAIN C/W CLEAR TOP COAT - SPECIAL WALNUT
WINDOW / FASCIA / BARGE BOARDS & UPSTAND - CHARCOAL GRAY



SOFFIT - ROCKPORT GRAY BM - HC - 105
BALCONY - WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	OCT 1, 2023	



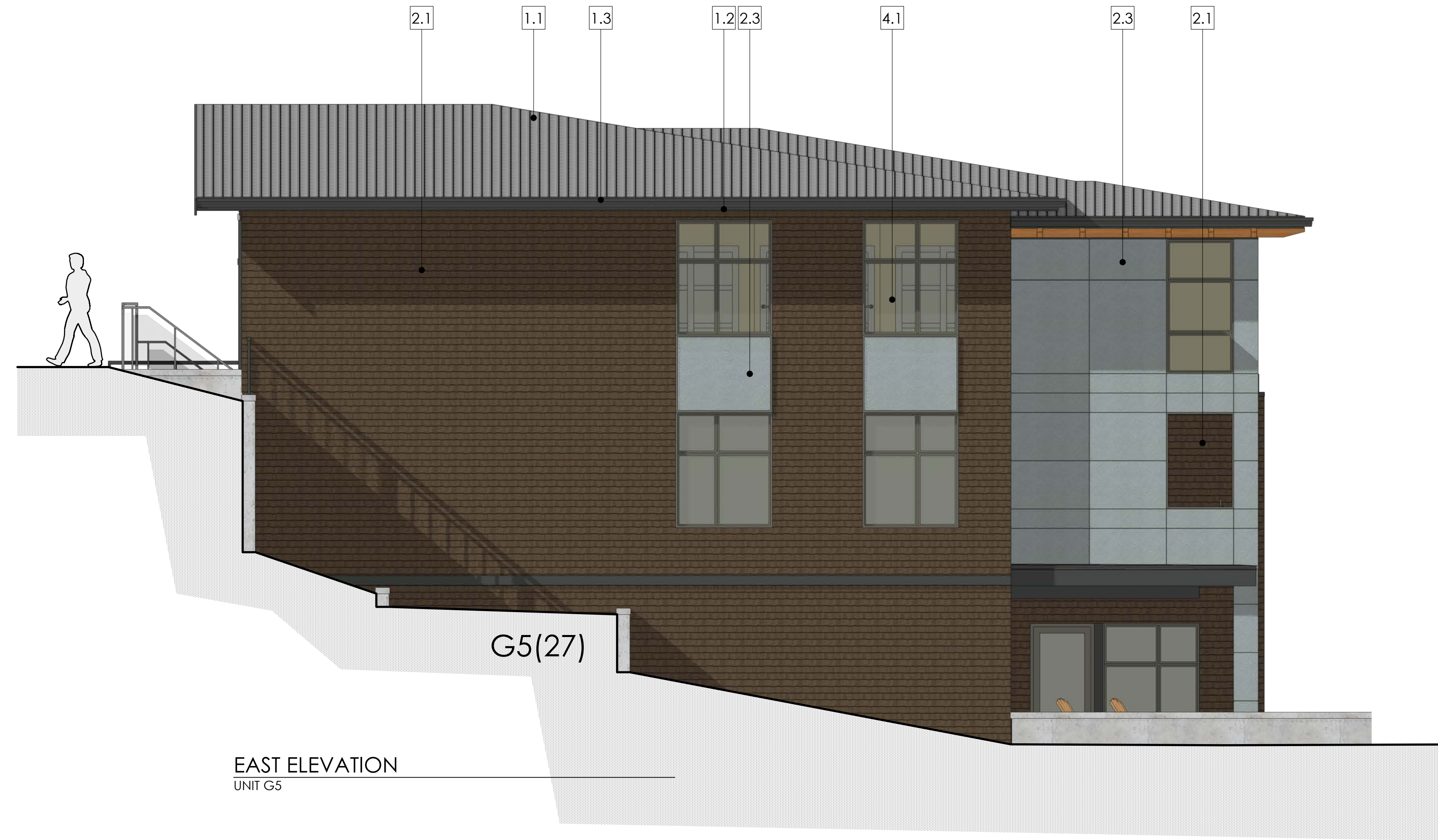
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G5

DRAWING
FRONT & BACK ELEVATIONS

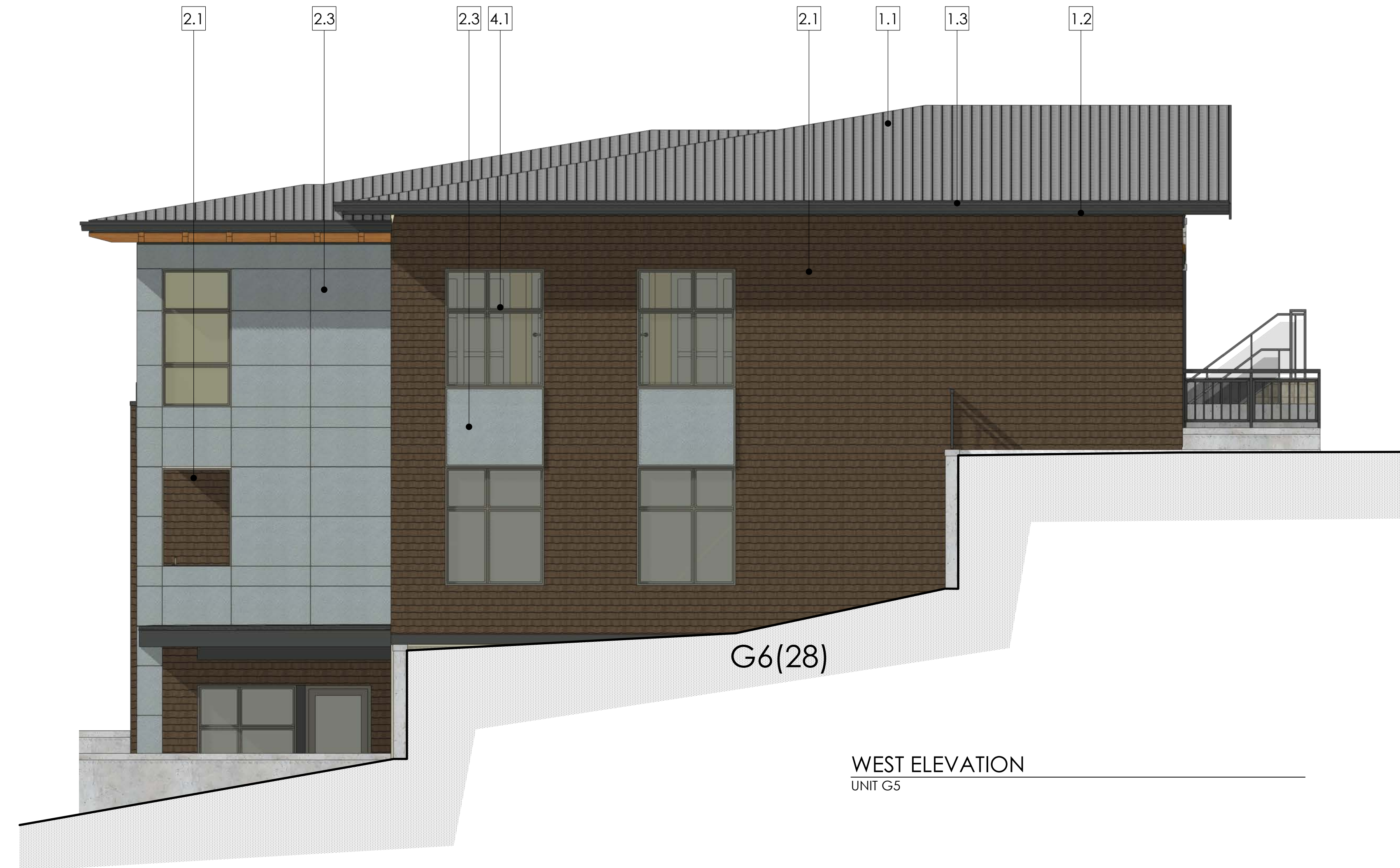
PROJECT#	8030	SHEET	AG5-4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



EAST ELEVATION
UNIT G5



WEST ELEVATION
UNIT G5

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT G5

DRAWING
EAST & WEST ELEVATIONS

PROJECT#	8030	SHEET	AG5-4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G5



BACK ELEVATION - CAMERA VIEW
UNIT G5



BACK ELEVATION - CAMERA VIEW
UNIT G5



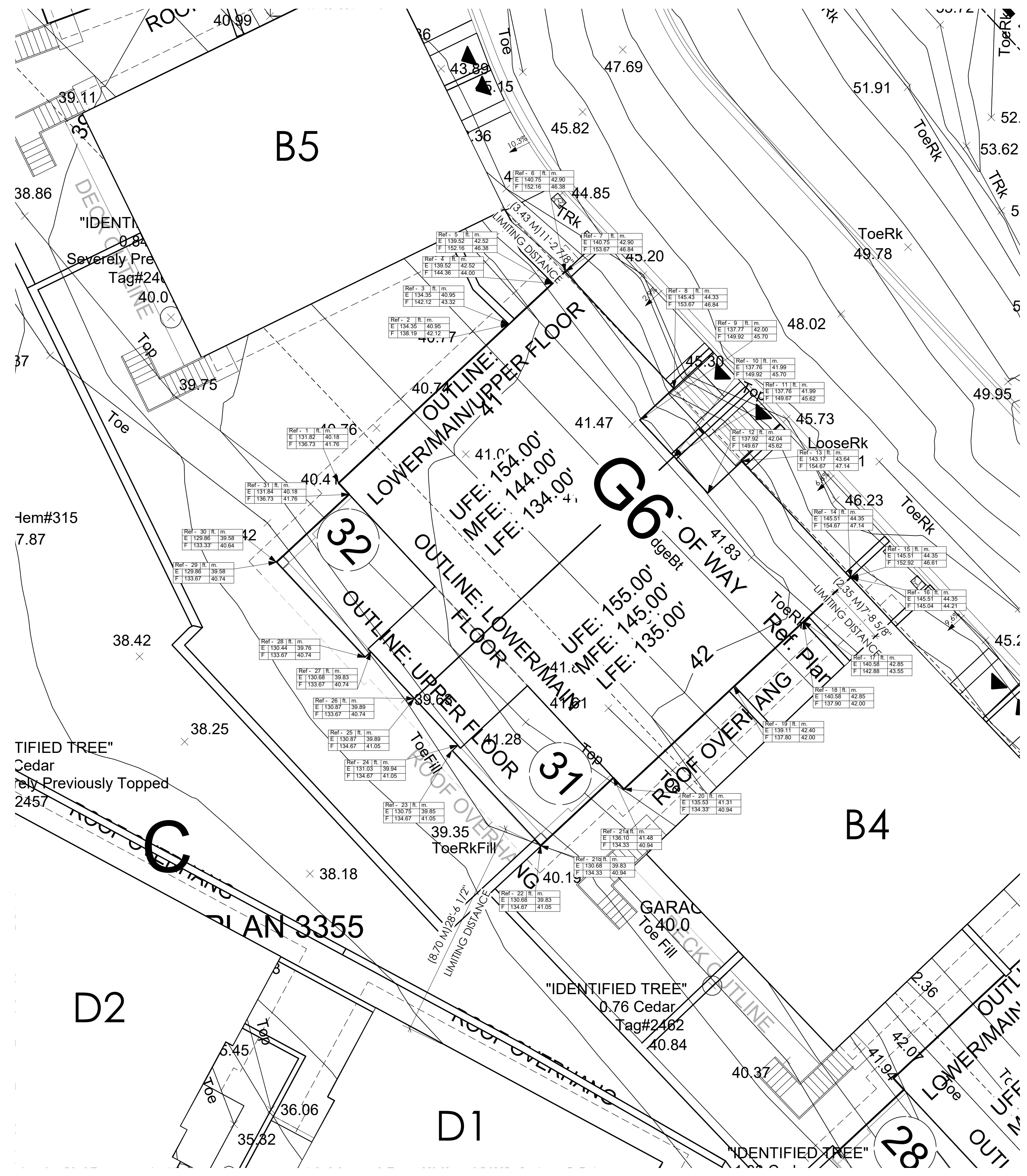
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G5

DRAWING
FRONT & BACK
ELEVATION
-CAMERA VIEW

PROJECT#	SHEET	
8030	AG5- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

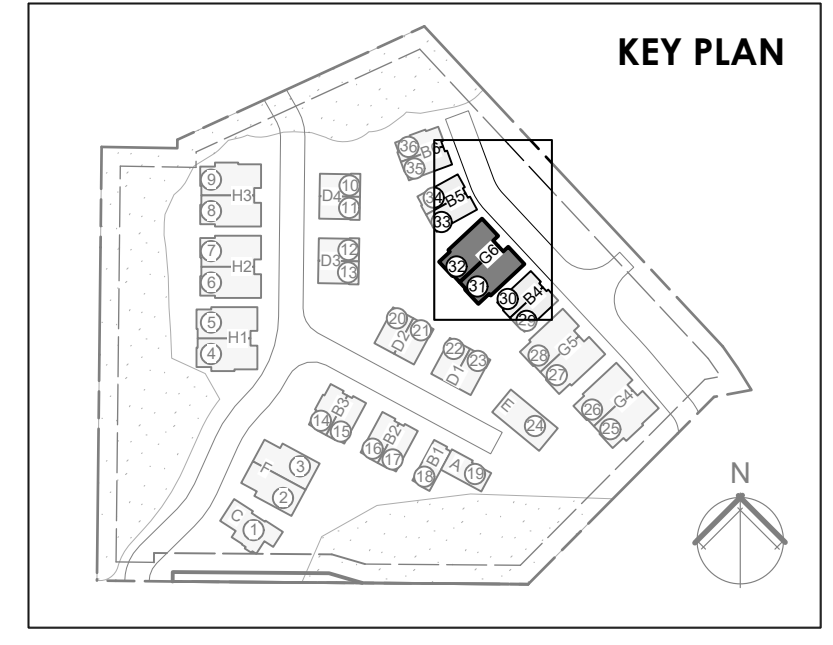
G6 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	134.79	2	138.19	136.49	30.02	4096.88
2	138.19	3	142.12	140.16	0.00	0.00
3	142.12	4	144.36	143.24	7.74	1109.25
4	144.36	5	152.16	148.26	0.00	0.00
5	152.16	6	152.16	152.16	2.24	340.84
6	152.16	7	153.67	152.92	0.00	0.00
7	153.67	8	149.92	151.80	20.58	3124.40
8	149.92	9	149.92	149.92	6.00	899.52
9	149.92	10	149.92	149.92	6.42	962.04
10	149.92	11	149.67	149.80	0.00	0.00
11	149.67	12	149.67	149.67	6.42	960.43
12	149.67	13	154.67	152.17	6.00	913.02
13	154.67	14	154.67	154.67	20.58	3183.57
14	154.67	15	152.92	153.80	0.00	0.00
15	152.92	16	146.04	149.48	0.00	0.00
16	146.04	17	142.88	144.46	8.30	1199.60
17	142.88	18	137.90	140.39	0.00	0.00
18	137.90	19	137.80	137.85	12.32	1698.86
19	137.80	20	134.33	136.07	19.37	2635.85
20	134.33	21a	134.33	134.33	2.00	268.66
21a	134.33	21b	134.33	134.33	12.83	1723.86
21b	134.33	22	134.67	134.50	0.00	0.00
22	134.67	23	134.67	134.67	16.79	2261.38
23	134.67	24	134.67	134.67	1.00	134.67
24	134.67	25	134.67	134.67	8.21	1105.37
25	134.67	26	133.67	134.17	0.00	0.00
26	133.67	27	133.67	133.67	8.21	1097.16
27	133.67	28	133.67	133.67	1.00	133.67
28	133.67	29	133.67	133.67	16.79	2244.59
29	133.67	30	133.67	133.67	12.83	1715.39
30	133.67	31	134.79	134.23	0.00	0.00
31	134.79	1	134.79	134.79	2.00	269.58
Total					227.67	32078.59
AVG Finish Grade						140.90
Max. Bldg Height (Ft):				29.85		170.75

G6 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	131.82	2	134.35	133.09	30.02	3994.68
2	134.35	3	134.35	134.35	0.00	0.00
3	134.35	4	139.52	136.94	7.74	1060.42
4	139.52	5	139.52	139.52	0.00	0.00
5	139.52	6	140.75	140.14	2.24	313.90
6	140.75	7	140.75	140.75	0.00	0.00
7	140.75	8	145.43	143.09	20.58	2945.22
8	145.43	9	137.77	141.60	6.00	849.60
9	137.77	10	137.76	137.77	6.42	884.04
10	137.76	11	137.76	137.76	0.00	0.00
11	137.76	12	137.92	137.84	6.42	884.52
12	137.92	13	143.17	140.55	6.00	843.27
13	143.17	14	145.51	144.34	20.58	2970.95
14	145.51	15	145.51	145.51	0.00	0.00
15	145.51	16	145.51	145.51	0.00	0.00
16	145.51	17	140.58	143.05	8.30	1187.85
17	140.58	18	140.58	140.58	0.00	0.00
18	140.58	19	139.11	139.85	12.32	1723.45
19	139.11	20	139.11	139.11	19.37	2694.84
20	139.11	21a	136.10	135.82	2.00	271.63
21a	136.10	21b	130.68	133.39	0.00	0.00
21b	130.68	22	130.68	130.68	12.83	1677.02
22	130.68	23	130.75	130.72	16.79	2194.97
23	130.75	24	131.03	130.89	1.00	130.89
24	131.03	25	130.87	130.95	8.21	1074.84
25	130.87	26	130.87	130.87	0.00	0.00
26	130.87	27	130.68	130.78	8.21	1073.40
27	130.68	28	130.44	130.56	1.00	130.56
28	130.44	29	129.86	130.15	16.79	2185.48
29	129.86	30	131.84	130.85	12.83	1679.20
30	131.84	31	131.82	131.83	0.00	0.00
31	131.84	1	131.82	131.83	2.00	263.66
Total					227.67	31034.38
AVG Existing Grade						136.32
Max. Bldg Height (Ft):				29.85		166.17



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G6 (31)			TOP OF FINISH FLOOR - G6 (32)		
Lower	Main	Upper	Lower	Main	Upper
41.15 m	44.20 m	47.24 m	40.84 m	43.89 m	46.94 m
135.00'	145.00'	155.00'	134.00'	144.00'	154.00'



These plans remain the ownership of Sterling Pacific

REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRG/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	OCT 1, 2023	



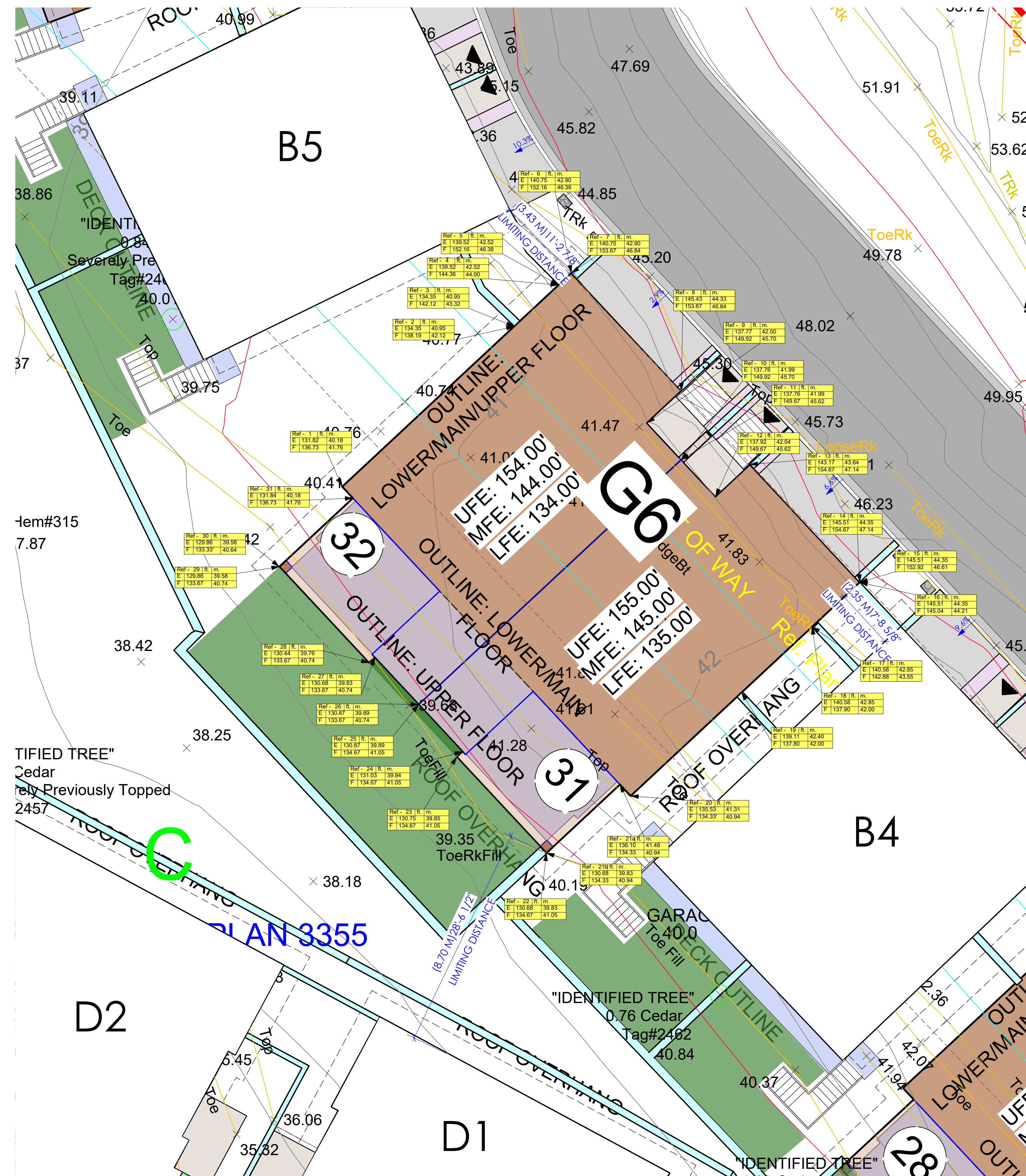
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G6

DRAWING
SITE PLAN

PROJECT#	SHEET
8030	AG6-1.01
SCALE	1/8" = 1'-0"
DATE	OCT 1, 2023

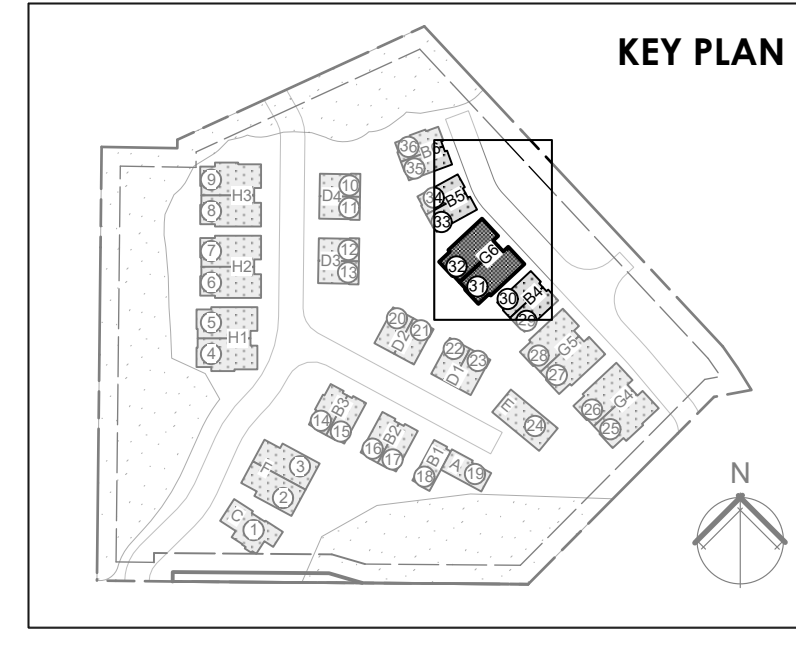
G6 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	134.79	2	138.19	136.49	30.02	4096.88
2	138.19	3	142.12	140.16	0.00	0.00
3	142.12	4	144.36	143.24	7.74	1109.25
4	144.36	5	152.16	148.26	0.00	0.00
5	152.16	6	152.16	152.16	2.24	340.84
6	152.16	7	153.67	152.92	0.00	0.00
7	153.67	8	149.92	151.80	20.58	3124.40
8	149.92	9	149.92	149.92	6.00	899.52
9	149.92	10	149.92	149.92	6.42	962.04
10	149.92	11	149.67	149.80	0.00	0.00
11	149.67	12	149.67	149.67	6.42	960.43
12	149.67	13	154.67	152.17	6.00	913.02
13	154.67	14	154.67	154.67	20.58	3183.57
14	154.67	15	152.92	153.80	0.00	0.00
15	152.92	16	146.04	149.48	0.00	0.00
16	146.04	17	142.88	144.46	8.30	1199.60
17	142.88	18	137.90	140.39	0.00	0.00
18	137.90	19	137.80	137.85	12.32	1698.86
19	137.80	20	134.33	136.07	19.37	2635.85
20	134.33	21a	134.33	134.33	2.00	268.66
21a	134.33	21b	134.33	134.33	12.83	1723.86
21b	134.33	22	134.67	134.50	0.00	0.00
22	134.67	23	134.67	134.67	16.79	2261.38
23	134.67	24	134.67	134.67	1.00	134.67
24	134.67	25	134.67	134.67	8.21	1105.37
25	134.67	26	133.67	134.17	0.00	0.00
26	133.67	27	133.67	133.67	8.21	1097.16
27	133.67	28	133.67	133.67	1.00	133.67
28	133.67	29	133.67	133.67	16.79	2244.59
29	133.67	30	133.67	133.67	12.83	1715.39
30	133.67	31	134.79	134.23	0.00	0.00
31	134.79	1	134.79	134.79	2.00	269.58
Total					227.67	32078.59
AVG Finish Grade						140.90
Max. Bldg Height (Ft):				29.85		170.75

G6 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
1	131.82	2	134.35	133.09	30.02	3994.68
2	134.35	3	134.35	134.35	0.00	0.00
3	134.35	4	139.52	136.94	7.74	1060.42
4	139.52	5	139.52	139.52	0.00	0.00
5	139.52	6	140.75	140.14	2.24	313.90
6	140.75	7	140.75	140.75	0.00	0.00
7	140.75	8	145.43	143.09	20.58	2945.22
8	145.43	9	137.77	141.60	6.00	849.60
9	137.77	10	137.76	137.77	6.42	884.04
10	137.76	11	137.76	137.76	0.00	0.00
11	137.76	12	137.92	137.84	6.42	884.52
12	137.92	13	143.17	140.55	6.00	843.27
13	143.17	14	145.51	144.34	20.58	2970.95
14	145.51	15	145.51	145.51	0.00	0.00
15	145.51	16	145.51	145.51	0.00	0.00
16	145.51	17	140.58	143.05	8.30	1187.85
17	140.58	18	140.58	140.58	0.00	0.00
18	140.58	19	139.11	139.85	12.32	1723.45
19	139.11	20	139.11	139.11	19.37	2694.84
20	139.11	21a	136.10	135.82	2.00	271.63
21a	136.10	21b	130.68	133.39	0.00	0.00
21b	130.68	22	130.68	130.68	12.83	1677.02
22	130.68	23	130.75	130.72	16.79	2194.97
23	130.75	24	131.03	130.89	1.00	130.89
24	131.03	25	130.87	130.95	8.21	1074.84
25	130.87	26	130.87	130.87	0.00	0.00
26	130.87	27	130.68	130.78	8.21	1073.40
27	130.68	28	130.44	130.56	1.00	130.56
28	130.44	29	129.86	130.15	16.79	2185.48
29	129.86	30	131.84	130.85	12.83	1679.20
30	131.84	31	131.82	131.83	0.00	0.00
31	131.84	1	131.82	131.83	2.00	263.66
Total					227.67	31034.38
AVG Existing Grade						136.32
Max. Bldg Height (Ft):				29.85		166.17



SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G6 (31)			TOP OF FINISH FLOOR - G6 (32)		
Lower	Main	Upper	Lower	Main	Upper
41.15 m	44.20 m	47.24 m	40.84 m	43.89 m	46.94 m
135.00'	145.00'	155.00'	134.00'	144.00'	154.00'



These plans remain the ownership of Sterling Pacific

REVISIONS		
Issued for DP/Rezoning		Aug 31, 2021
DRC/ Public Comment Revisions		MAY 12, 2023
G1, G2, G3 Revisions		JULY 31, 2023
H unit additions		OCT 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G6

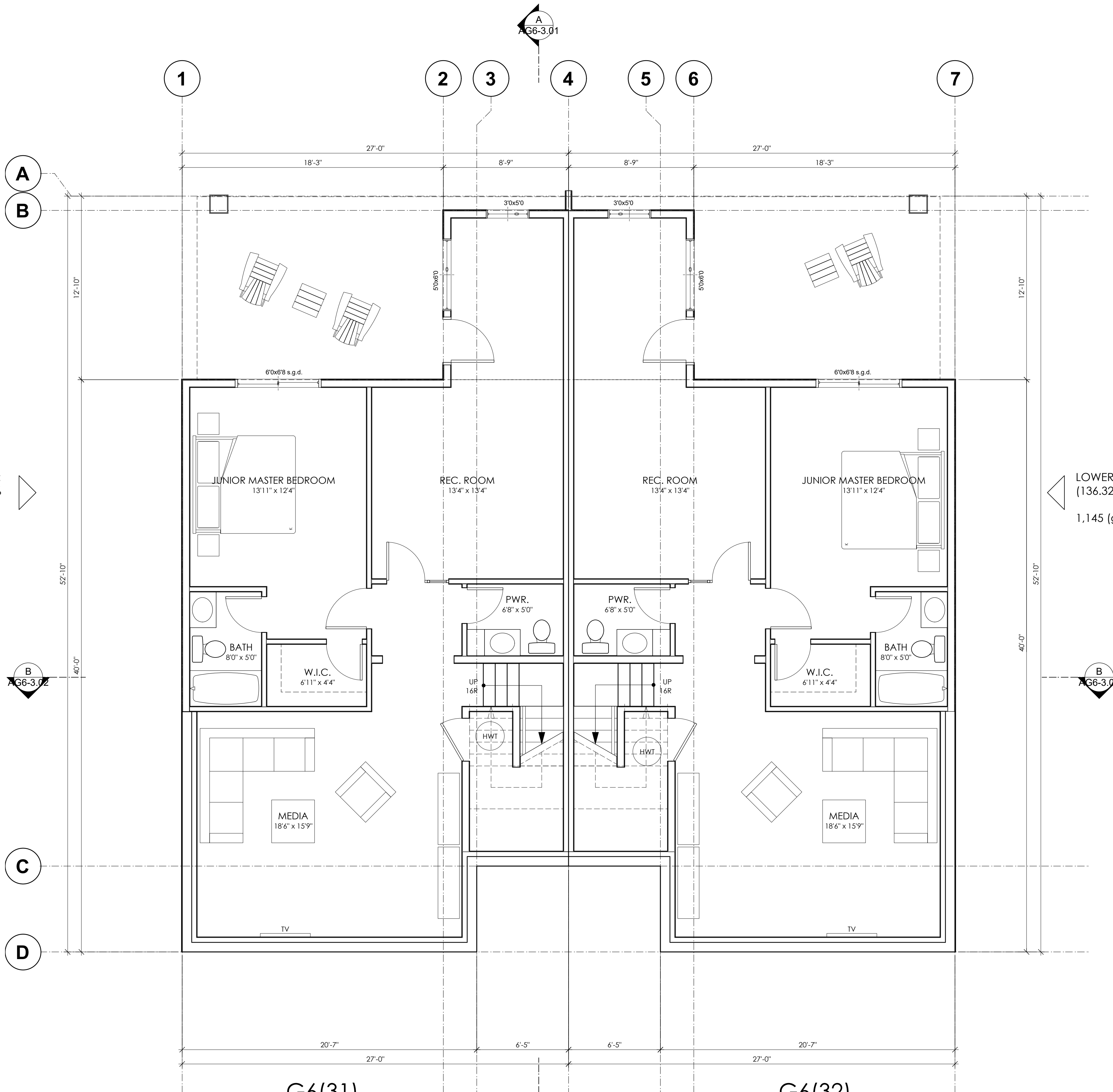
DRAWING
SITE PLAN

PROJECT#	SHEET
8030	AG6-1.01
SCALE	1/8" = 1'-0"
DATE	OCT 1, 2023

These plans remain the ownership of Sterling Pacific

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32'- 134.00' / 144.00'- 134.00') x 100 = 23.2%
 1,145 (gross area) x 23.2% = 265.64SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (136.32'- 135.00' / 145.00'- 135.00') x 100 = 13.2%
 1,145 (gross area) x 13.2% = 151.14 SF (exemption)



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT G6

DRAWING
LOWER FLOOR PLAN

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
 SHEET **AG6-2.01**

UNIT 31 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 23.2%	265.6 SF	0.0 SF	0.0 SF	265.6 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	879.4 SF	1255.7 SF	996.3 SF	3131.4 SF

UNIT 31 FLOOR AREAS METRIC

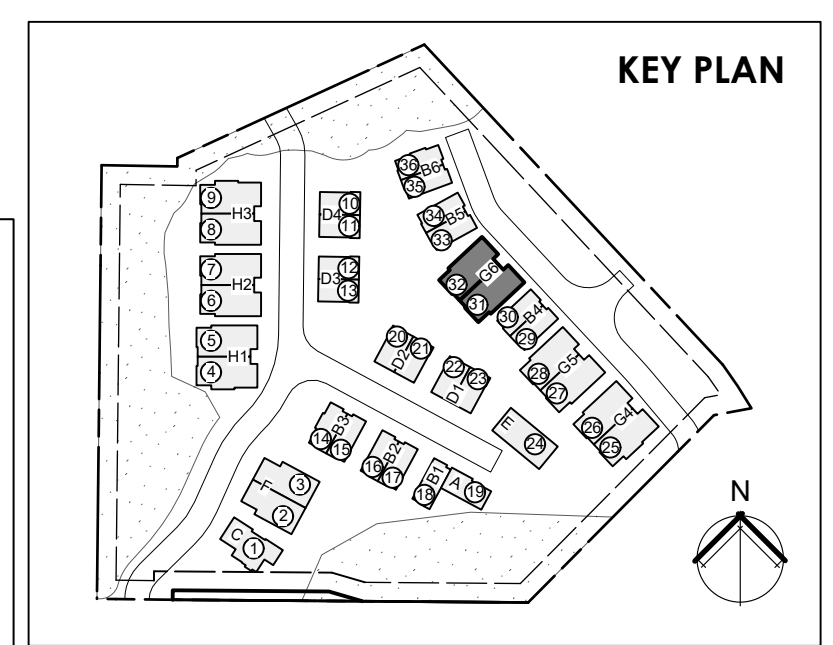
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 23.2%	24.7 SM	0.0 SM	0.0 SM	24.7 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	81.7 SM	116.7 SM	92.6 SM	290.9 SM

UNIT 32 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	993.9 SF	1255.7 SF	984.4 SF	3234.0 SF

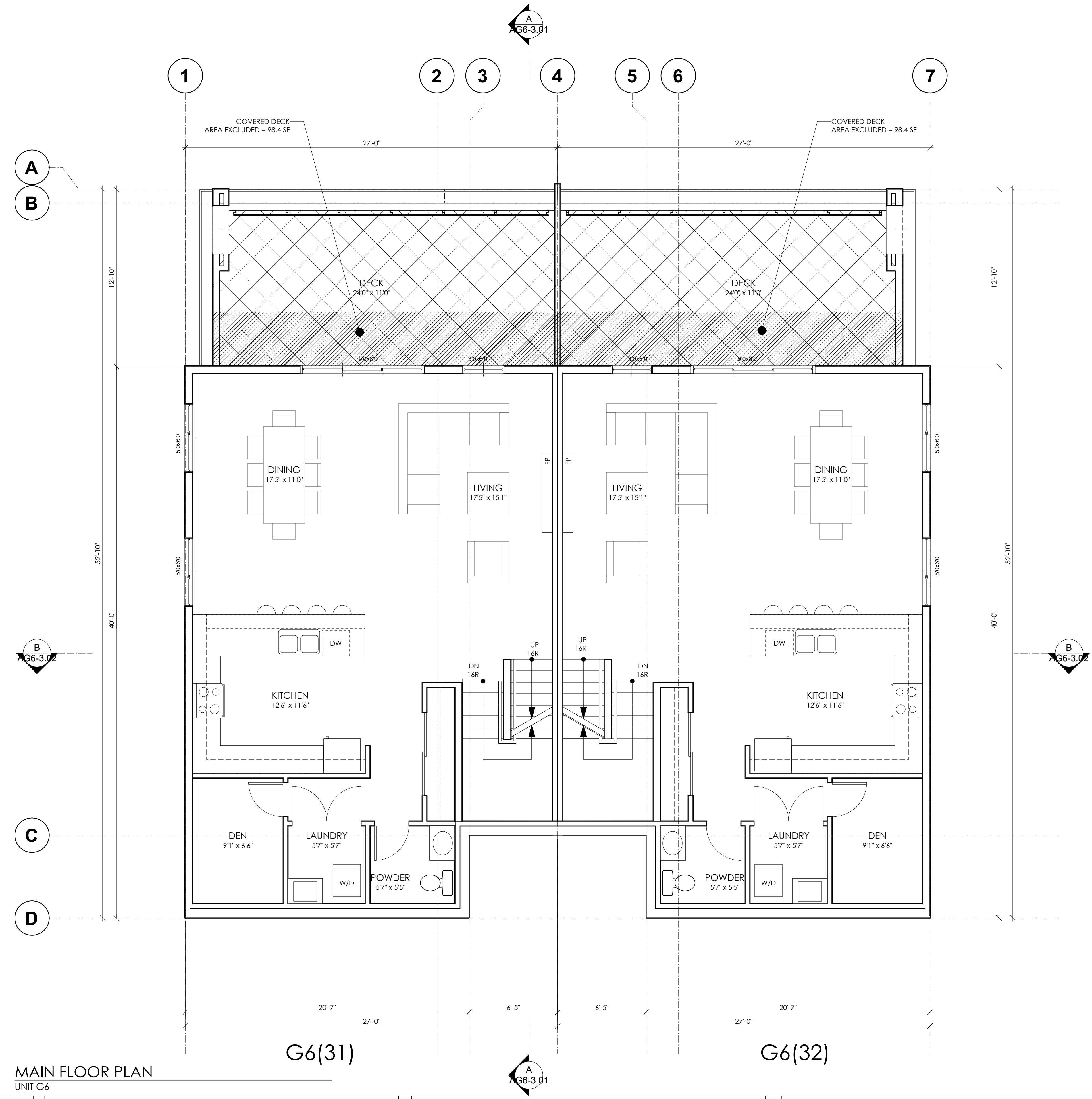
UNIT 32 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 13.2%	14.0 SM	0.0 SM	0.0 SM	14.0 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	3.4 SM	3.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	92.3 SM	116.7 SM	91.4 SM	300.4 SM



REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



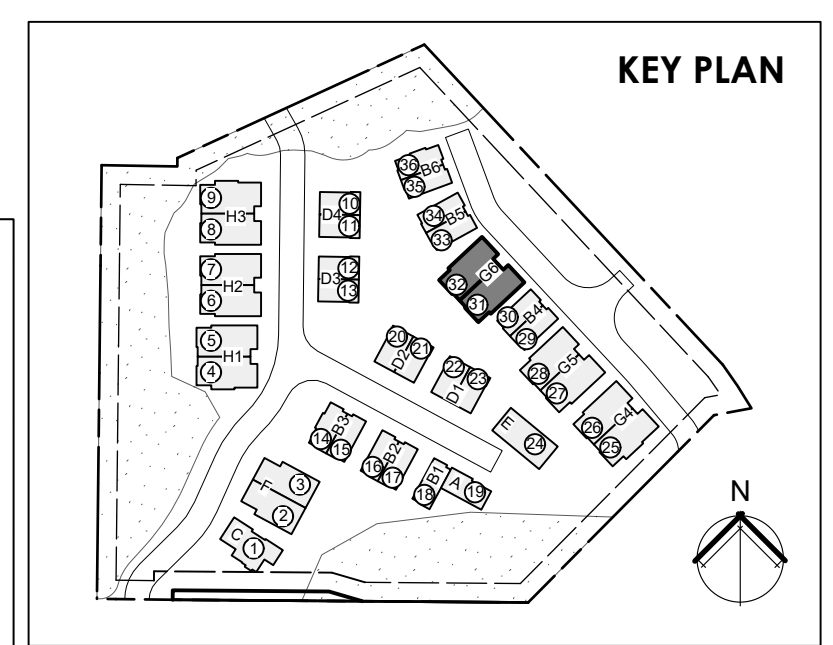
PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT G 6

DRAWING

MAIN FLOOR PLAN



UNIT 31 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 23.2%	265.4 SF	0.0 SF	0.0 SF	265.4 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	879.4 SF	1255.7 SF	996.3 SF	3131.4 SF

UNIT 31 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 23.2%	24.7 SM	0.0 SM	0.0 SM	24.7 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	81.7 SM	116.7 SM	92.6 SM	290.9 SM

UNIT 32 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	993.9 SF	1255.7 SF	984.4 SF	3234.0 SF

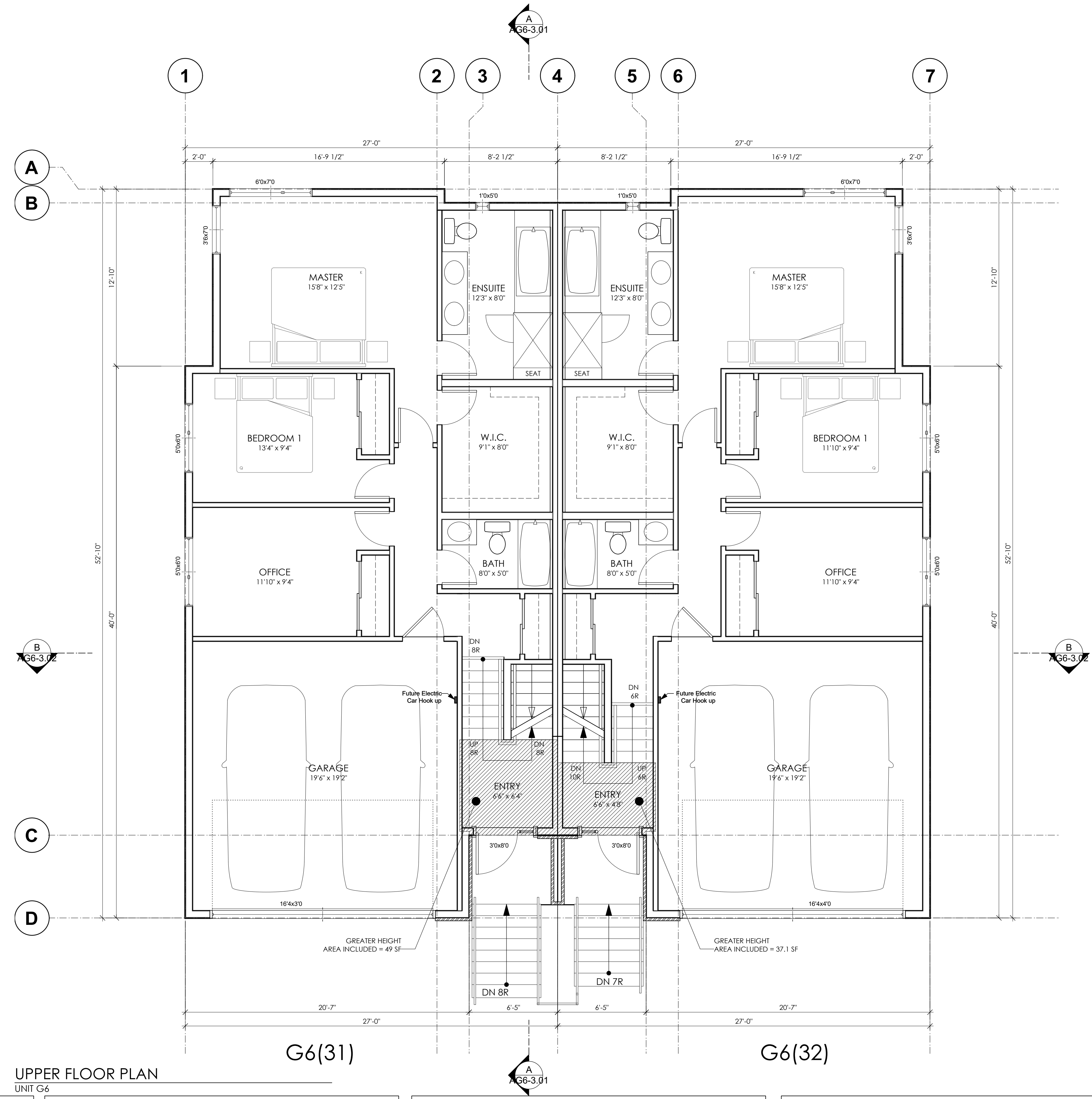
UNIT 32 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 13.2%	14.0 SM	0.0 SM	0.0 SM	14.0 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	3.4 SM	3.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	92.3 SM	116.7 SM	91.4 SM	300.4 SM

PROJECT#	8030	SHEET	AG6-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



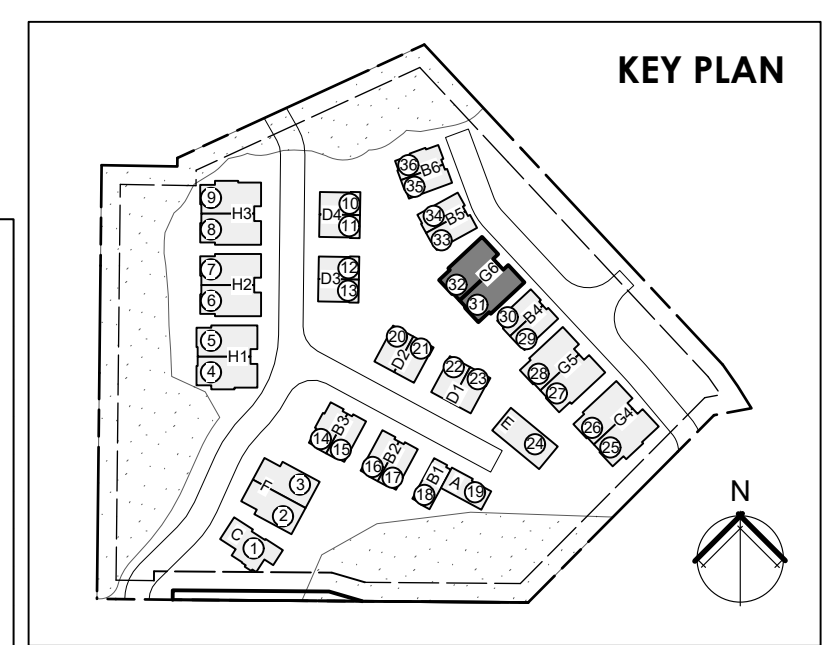
PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT G6

DRAWING

UPPER FLOOR PLAN



UNIT 31 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 23.2%	265.4 SF	0.0 SF	0.0 SF	265.4 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	879.4 SF	1255.7 SF	996.3 SF	3131.4 SF

UNIT 31 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 23.2%	24.7 SM	0.0 SM	0.0 SM	24.7 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	81.7 SM	116.7 SM	92.6 SM	290.9 SM

UNIT 32 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1354.1 SF	1354.1 SF	3853.3 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 13.2%	151.1 SF	0.0 SF	0.0 SF	151.1 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	37.1 SF	37.1 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	993.9 SF	1255.7 SF	984.4 SF	3234.0 SF

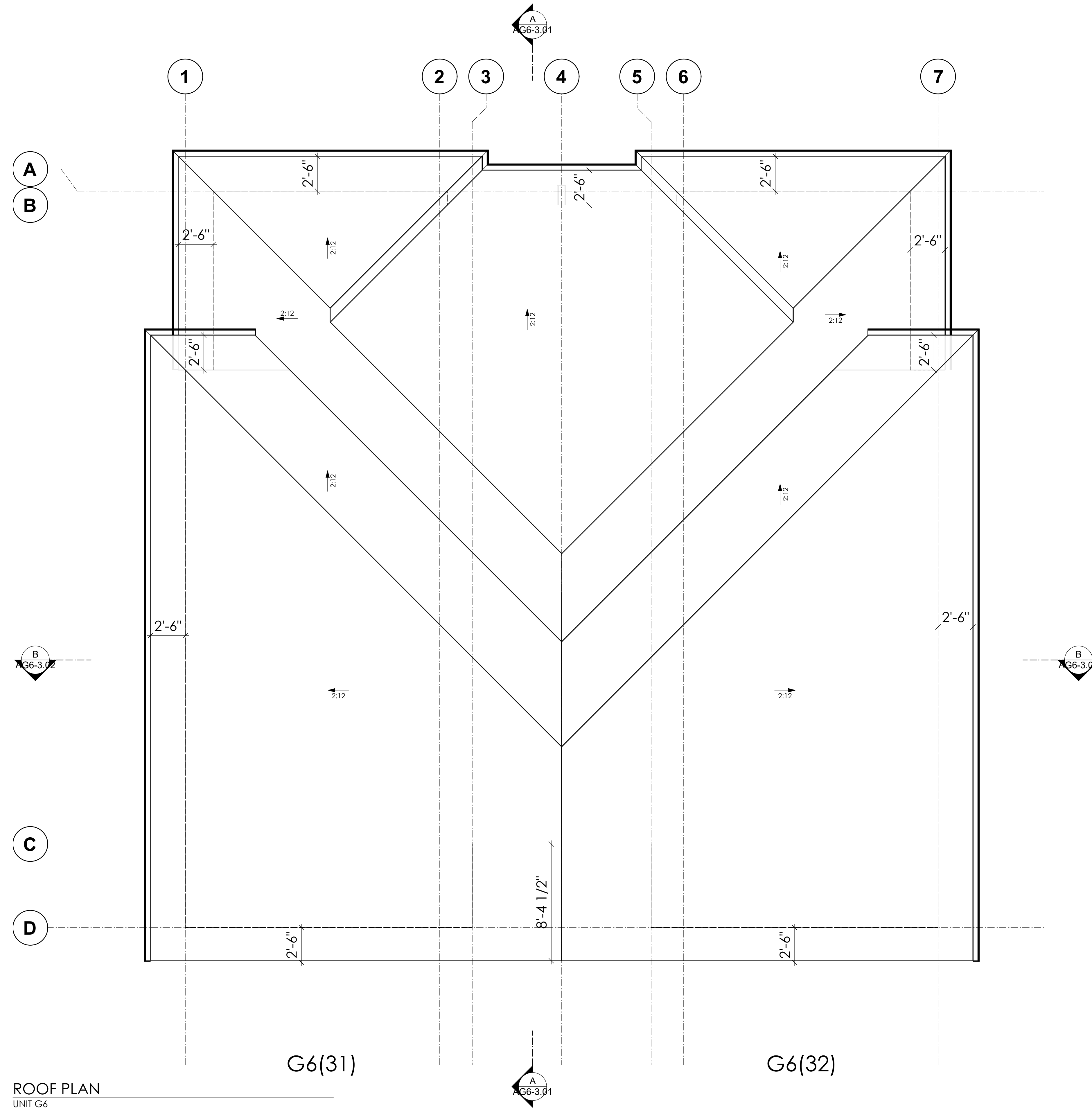
UNIT 32 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 13.2%	14.0 SM	0.0 SM	0.0 SM	14.0 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	3.4 SM	3.4 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	92.3 SM	116.7 SM	91.4 SM	300.4 SM

PROJECT#	8030	SHEET	AG6-2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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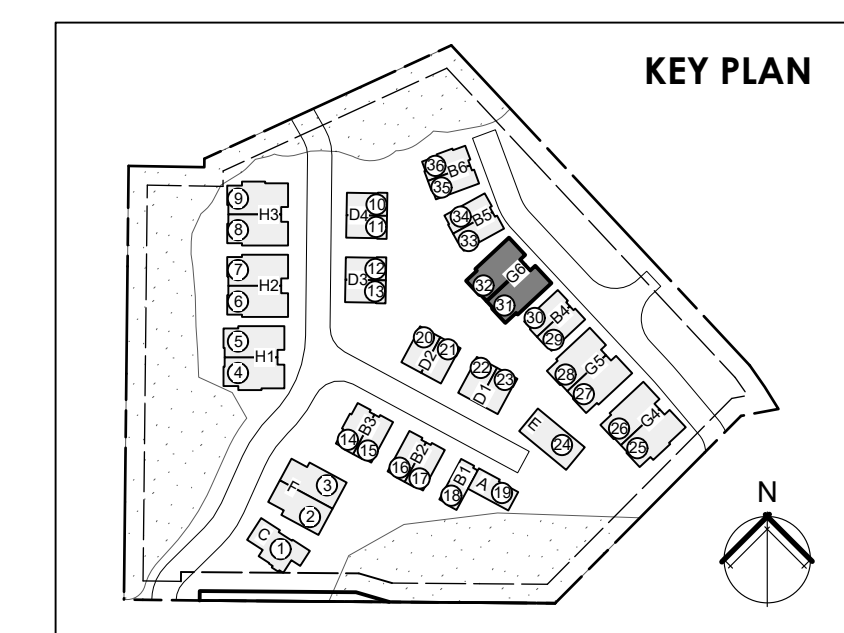
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



ROOF PLAN
UNIT G6

G6(31)

G6(32)



PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT G6

DRAWING

ROOF PLAN

PROJECT#

SHEET

8030

SCALE

1/4" = 1'-0"

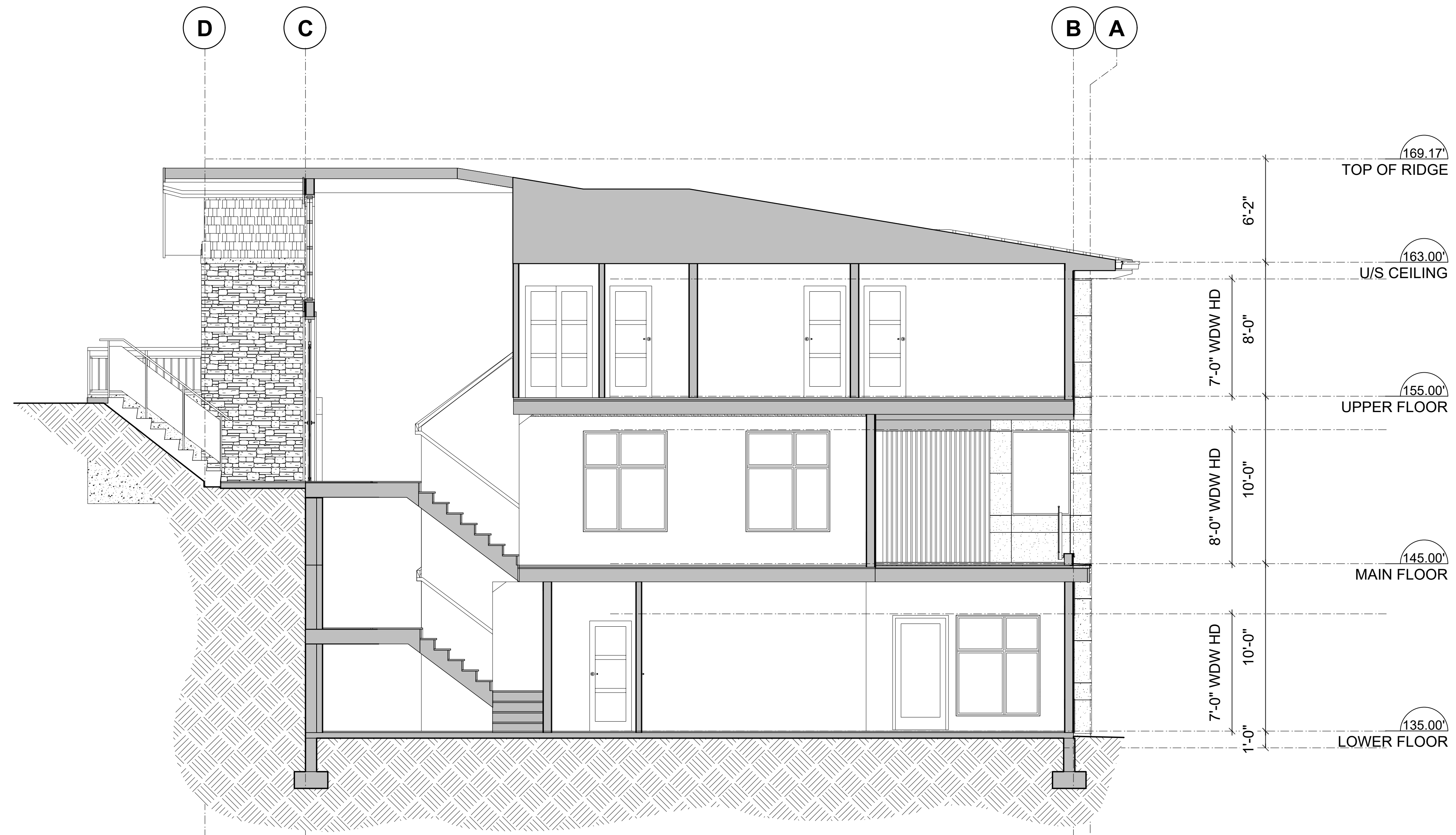
DATE

OCT 1, 2023

**AG6-
2.04**

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



A SECTION A-A
Scale: 1/4" = 1'-0"

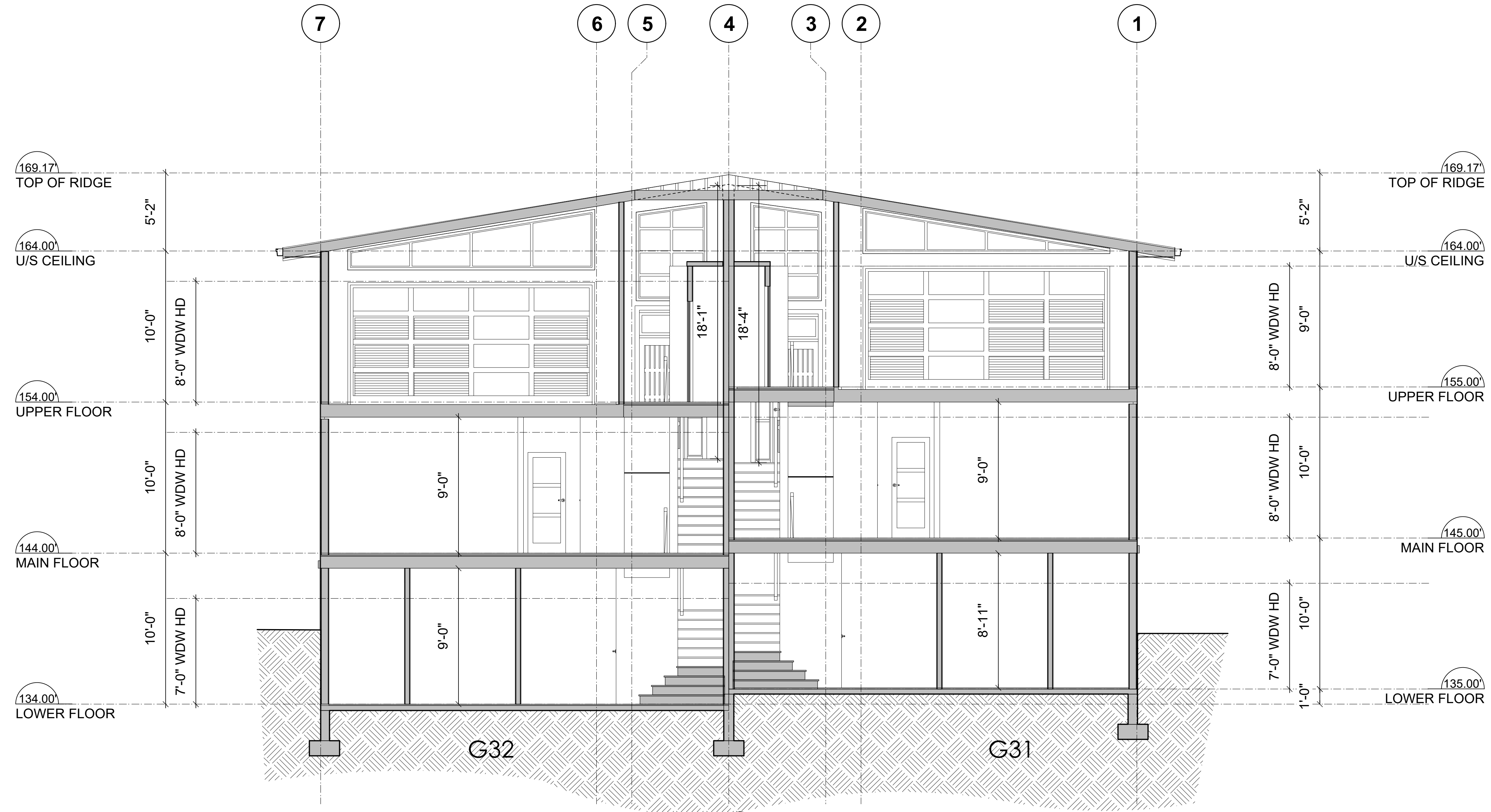


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G 6

DRAWING
SECTION A-A

PROJECT#	SHEET
8030	AG6-3.01
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



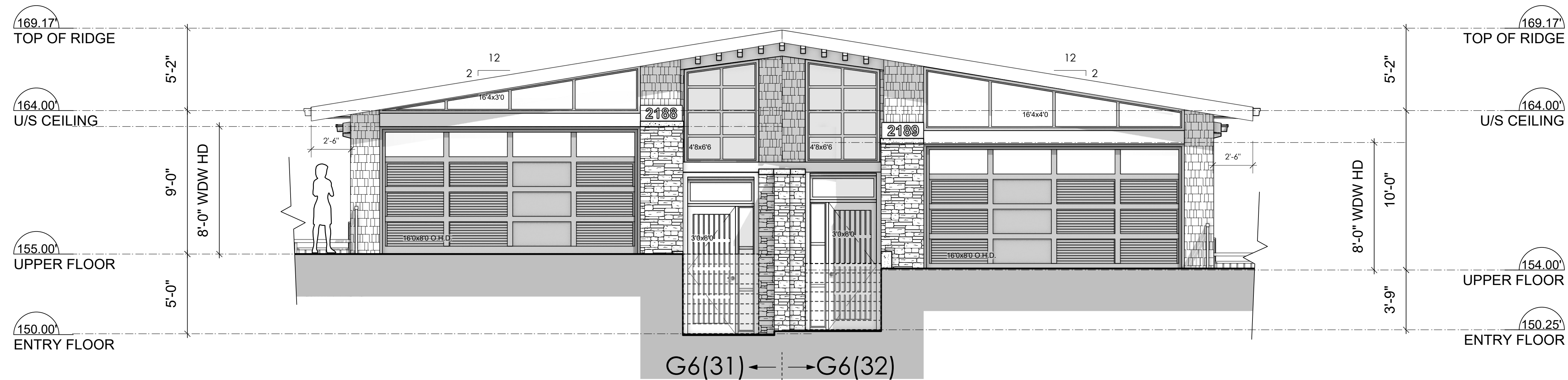
B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT G 6

DRAWING
SECTION B-B

PROJECT#	8030	SHEET	AG6-3.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



FRONT / ENTRY ELEVATION
UNIT G6



BACK ELEVATION
UNIT G6

LOWER FLOOR / BASEMENT EXEMPTIONS:
(136.32- 134.00' / 144.00'- 134.00') x 100 = 23.2%
1,145 (gross area) x 23.2% = 265.64SF (exemption)

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)
EXPOSED BUILDING FACE: 1550.45 SF (144.04 SM)
LIMITING DISTANCE: 28.54' (4.35 M)
UNPROTECTED OPENING: 384.00 SF (35.67 SM)
PROPOSED OPENING: 24.76%
PERMITTED OPENINGS: 34.38%

LOWER FLOOR / BASEMENT EXEMPTIONS:
(136.32- 135.00' / 145.00'- 135.00') x 100 = 13.2%
1,145 (gross area) x 13.2% = 151.14 SF (exemption)

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
**FRONT & BACK
ELEVATIONS B/W**

PROJECT#	SHEET
8030	AG6- 4.01
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



PROJECT

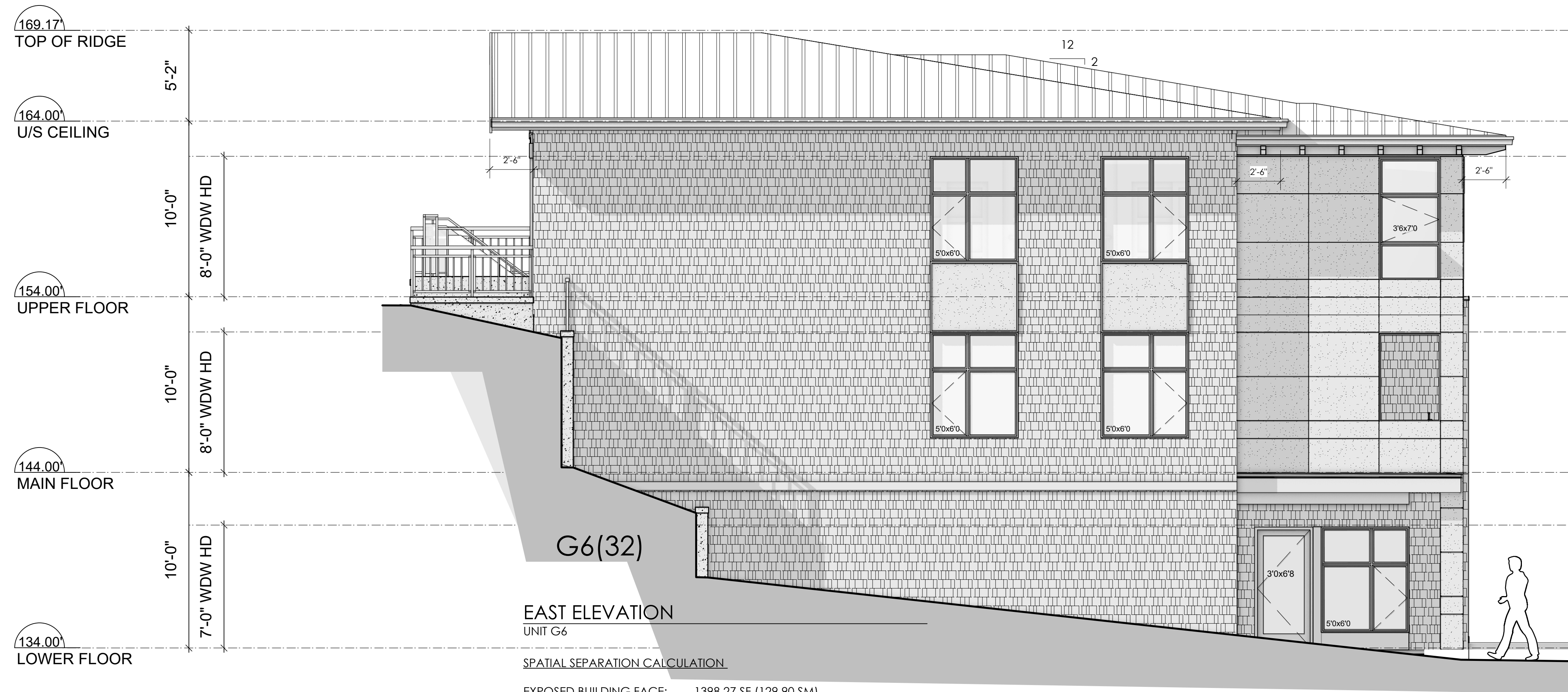
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT G 6

DRAWING

EAST & WEST ELEVATIONS B/W

PROJECT#	8030	SHEET	AG6-4.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



EAST ELEVATION
UNIT G6

SPATIAL SEPARATION CALCULATION

EXPOSED BUILDING FACE:	1398.27 SF (129.90 SM)
LIMITING DISTANCE:	5.6' (1.71 M)
UNPROTECTED OPENING:	194.50 SF (18.07 SM)
PROPOSED OPENING:	13.91%
PERMITTED OPENINGS:	15.64%



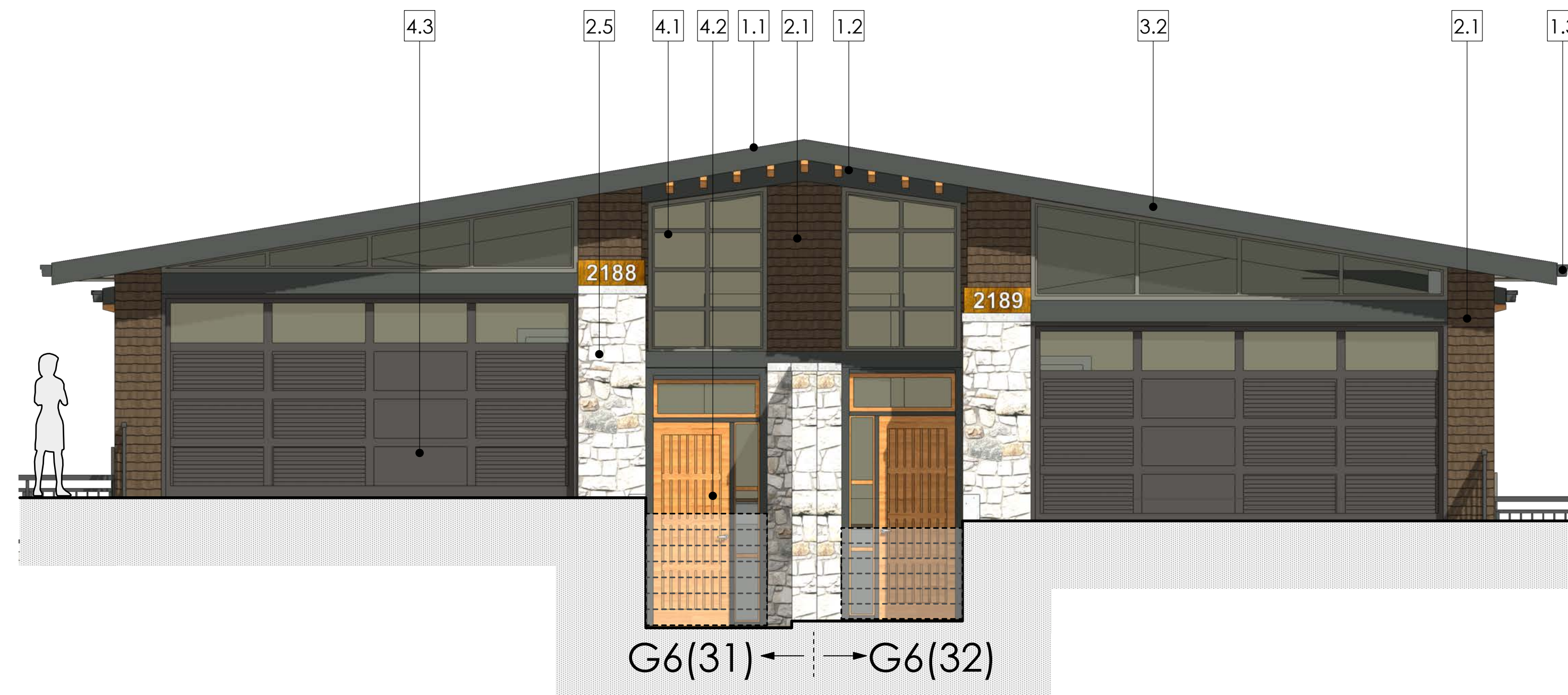
WEST ELEVATION
UNIT G6

SPATIAL SEPARATION CALCULATION

EXPOSED BUILDING FACE:	1387.30 SF (128.88 SM)
LIMITING DISTANCE:	3.8' (1.16 M)
UNPROTECTED OPENING:	176.50 SF (16.40 SM)
PROPOSED OPENING:	12.72%
PERMITTED OPENINGS:	13.5%

G6(31)

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FRONT / ENTRY ELEVATION
UNIT G6



BACK ELEVATION
UNIT G6



HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light Mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G 6

DRAWING
**FRONT & BACK
ELEVATIONS**

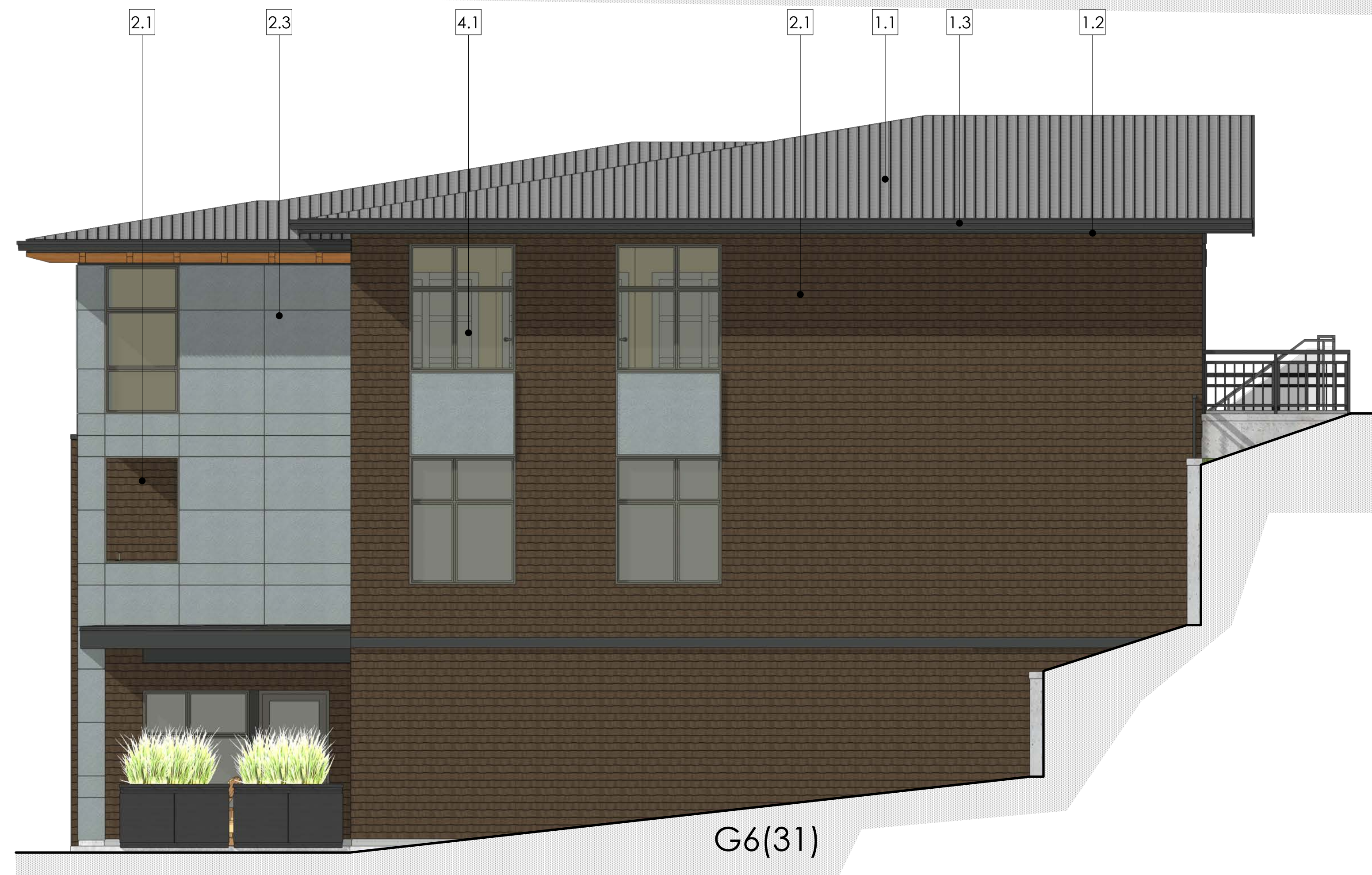
PROJECT#	8030	SHEET	AG6- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



EAST ELEVATION
UNIT G6



WEST ELEVATION
UNIT G6

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light Mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT G 6

DRAWING
**EAST & WEST
ELEVATIONS**

PROJECT#	8030	SHEET	AG6- 4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G6



BACK ELEVATION - CAMERA VIEW
UNIT G6



BACK ELEVATION - CAMERA VIEW
UNIT G6



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT G6

DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET	
8030	AG6- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS

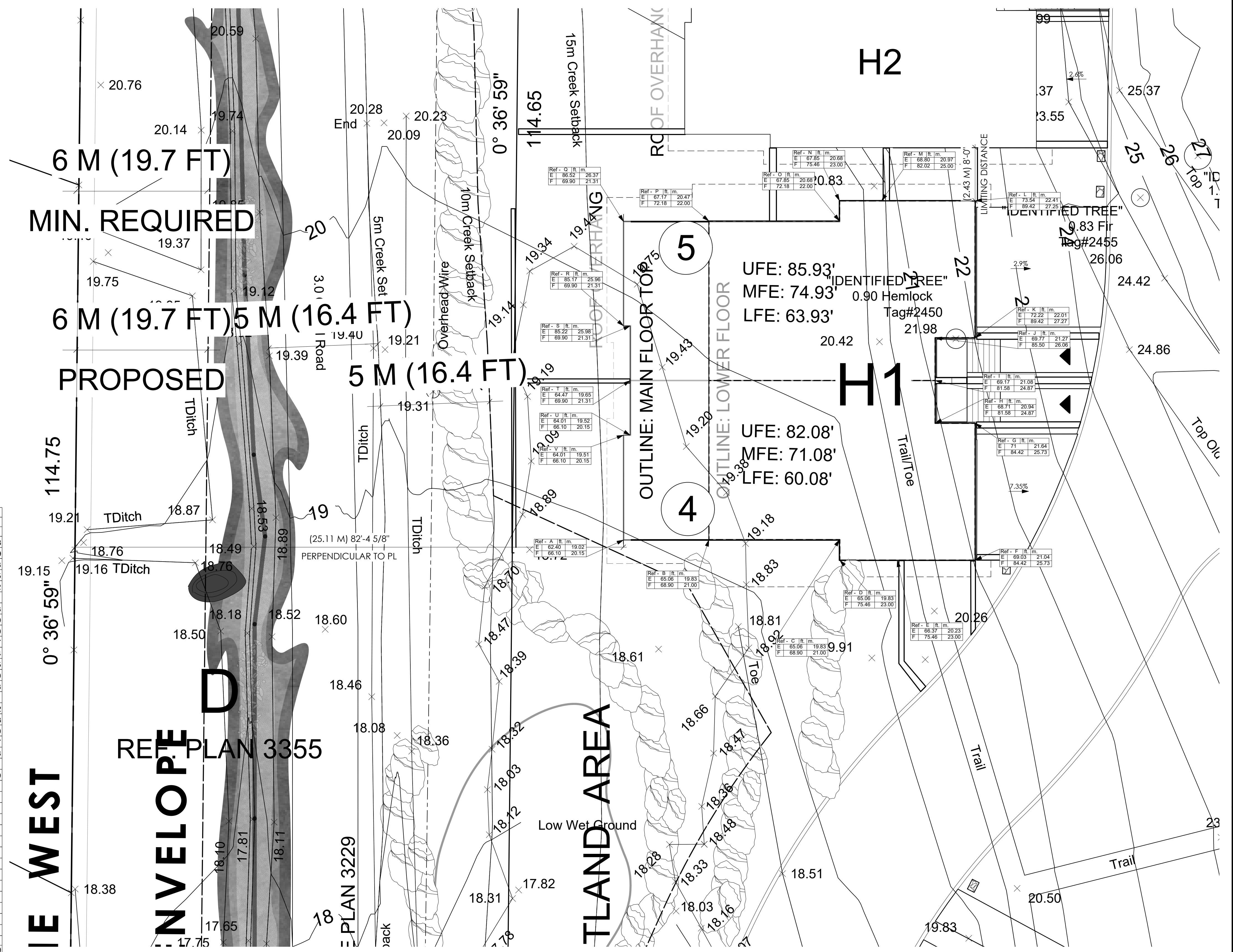
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023

G1 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	66.10	B	68.90	67.50	16.00	1080.00
B	68.90	C	68.90	68.90	16.46	1134.09
C	68.90	D	75.46	72.18	3.08	222.31
D	75.46	E	75.46	75.46	10.21	770.45
E	75.46	F	84.42	79.94	10.21	816.19
F	84.42	G	84.42	84.42	20.50	1730.61
G	84.42	H	81.58	83.00	6.00	498.00
H	81.58	I	81.58	81.58	6.42	523.74
I	81.58	J	85.50	83.54	6.42	536.33
J	85.50	K	89.42	87.46	6.00	524.76
K	89.42	L	89.42	89.42	20.50	1833.11
L	89.42	M	82.02	85.72	10.21	875.20
M	82.02	N	75.46	78.74	10.21	803.94
N	75.46	O	72.18	73.82	3.08	227.37
O	72.18	P	72.18	72.18	16.46	1188.08
P	72.18	Q	69.90	71.04	16.00	1136.64
Q	69.90	R	69.90	69.90	15.66	1094.63
R	69.90	S	69.90	69.90	1.00	69.90
S	69.90	T	69.90	69.90	8.25	576.68
T	69.90	U	66.10	68.00	8.25	561.00
U	66.10	V	66.10	66.10	1.00	66.10
V	66.10	A	66.10	66.10	15.66	1035.13
Total					227.58	17304.25
AVG Finish Grade						76.04
Max. Bldg Height (Ft):	29.85					105.89

G1 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	62.40	B	65.06	63.73	16.00	1019.68
B	65.06	C	65.06	65.06	16.46	1070.89
C	65.06	D	65.06	65.06	3.08	200.38
D	65.06	E	66.37	65.72	10.21	670.95
E	66.37	F	69.03	67.70	10.21	691.22
F	69.03	G	71.00	70.02	20.50	1435.31
G	71.00	H	68.71	69.86	6.00	419.13
H	68.71	I	68.71	68.94	6.42	442.59
I	68.71	J	69.77	69.47	6.42	446.00
J	69.77	K	72.22	71.00	6.00	425.97
K	72.22	L	73.54	72.88	20.50	1494.04
L	73.54	M	68.80	71.17	10.21	726.65
M	68.80	N	67.85	68.33	10.21	697.60
N	67.85	O	67.85	67.85	3.08	208.98
O	67.85	P	67.17	67.51	16.46	1111.21
P	67.17	Q	86.52	76.85	16.00	1229.52
Q	86.52	R	85.17	85.85	15.66	1344.33
R	85.17	S	85.22	85.20	1.00	85.20
S	85.22	T	64.47	74.85	8.25	617.47
T	64.47	U	64.01	64.24	8.25	529.98
U	64.01	V	64.01	64.01	1.00	64.01
V	64.01	A	62.40	63.21	15.66	989.79
Total					227.58	15920.90
AVG Existing Grade						69.96
Max. Bldg Height (Ft):	29.85					99.81



SITE PLAN
SCALE: 1/8"=10"

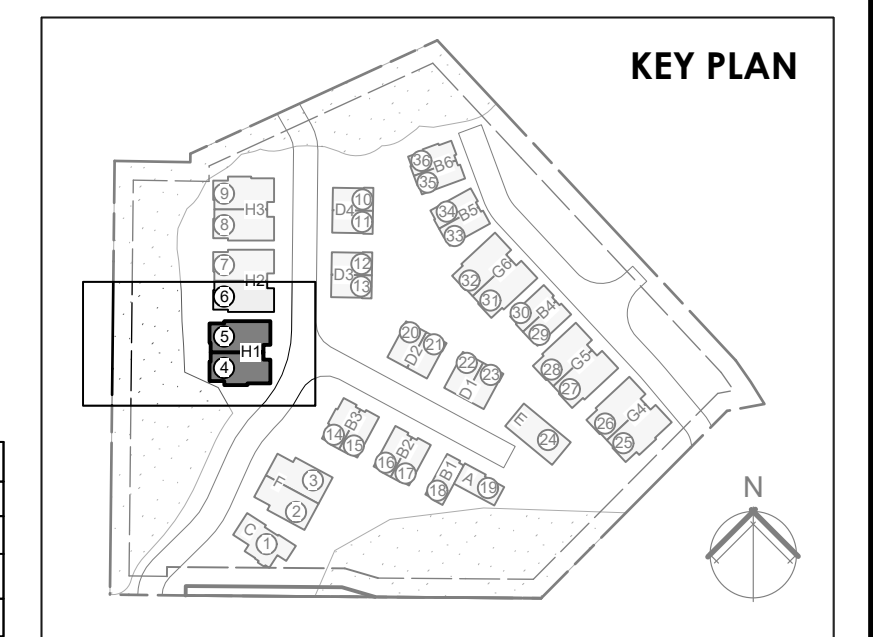


PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
SITE PLAN

PROJECT# 8030
SCALE 1/8" = 1'-0"
DATE OCT 1, 2023
SHEET
AH1-1.01

TOP OF FINISH FLOOR - H1 (4)			TOP OF FINISH FLOOR - H1 (5)		
Lower	Main	Upper	Lower	Main	Upper
20.35 m	23.09 m	26.14 m	21.87 m	24.61 m	27.66 m
66.75'	75.75'	85.75'	71.75'	80.75'	90.75'

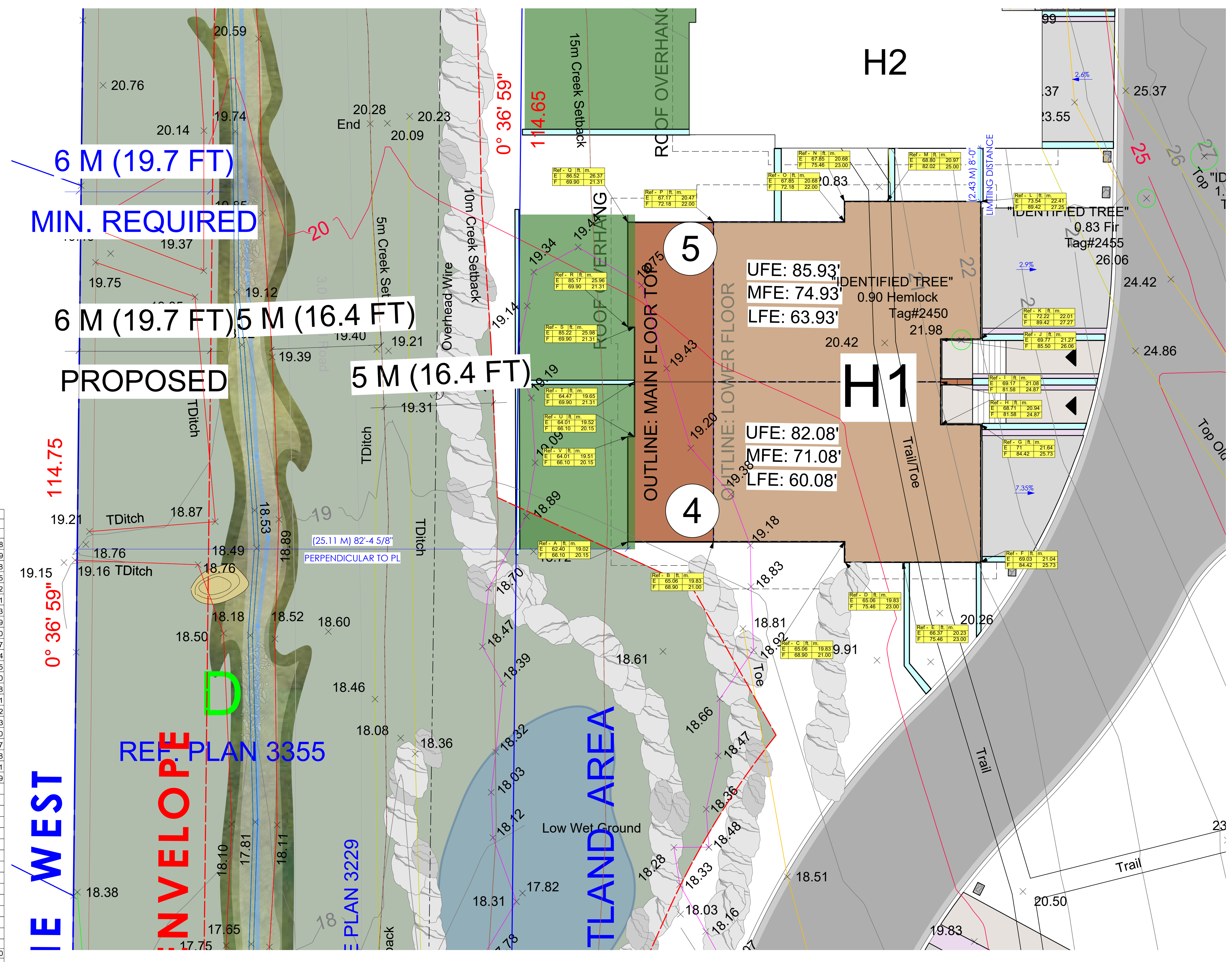


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REVISIONS
 Issued for DP/Rezoning Aug 31, 2021
 DRG/ Public Comment Revisions MAY 12, 2023
 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

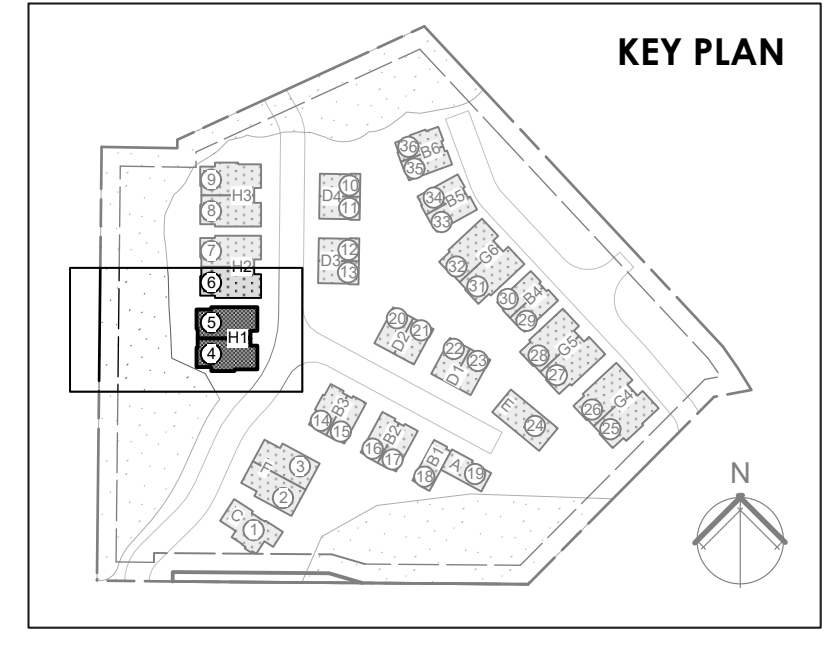
G1 - AVERAGE FINISHED GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	66.10	B	68.90	67.50	16.00	1080.00
B	68.90	C	68.90	68.90	16.46	1134.09
C	68.90	D	75.46	72.18	3.08	222.31
D	75.46	E	75.46	75.46	10.21	770.45
E	75.46	F	84.42	79.94	10.21	816.19
F	84.42	G	84.42	84.42	20.50	1730.61
G	84.42	H	81.58	83.00	6.00	498.00
H	81.58	I	81.58	81.58	6.42	523.74
I	81.58	J	85.50	83.54	6.42	536.33
J	85.50	K	89.42	87.46	6.00	524.76
K	89.42	L	89.42	89.42	20.50	1833.11
L	89.42	M	82.02	85.72	10.21	875.20
M	82.02	N	75.46	78.74	10.21	803.94
N	75.46	O	72.18	73.82	3.08	227.37
O	72.18	P	72.18	72.18	16.46	1188.08
P	72.18	Q	69.90	71.04	16.00	1136.64
Q	69.90	R	69.90	69.90	15.66	1094.63
R	69.90	S	69.90	69.90	1.00	69.90
S	69.90	T	69.90	69.90	8.25	576.68
T	69.90	U	66.10	68.00	8.25	561.00
U	66.10	V	66.10	66.10	1.00	66.10
V	66.10	A	66.10	66.10	15.66	1035.13
Total					227.58	17304.25
AVG Finish Grade						76.04
Max. Bldg Height (Ft):					29.85	105.89

G1 - AVERAGE EXISTING GRADE CALCULATION						
Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	62.40	B	65.06	63.73	16.00	1019.68
B	65.06	C	65.06	65.06	16.46	1070.89
C	65.06	D	65.06	65.06	3.08	200.38
D	65.06	E	66.37	65.72	10.21	670.95
E	66.37	F	69.03	67.70	10.21	691.22
F	69.03	G	71.00	70.02	20.50	1435.31
G	71.00	H	68.71	69.86	6.00	419.13
H	68.71	I	69.17	68.94	6.42	442.59
I	69.17	J	69.77	69.47	6.42	446.00
J	69.77	K	72.22	71.00	6.00	425.97
K	72.22	L	73.54	72.88	20.50	1494.04
L	73.54	M	68.80	71.17	10.21	726.65
M	68.80	N	67.85	68.33	10.21	697.80
N	67.85	O	67.85	67.85	3.08	208.98
O	67.85	P	67.17	67.51	16.46	1111.21
P	67.17	Q	86.52	76.85	16.00	1229.52
Q	86.52	R	85.17	85.85	15.66	1344.33
R	85.17	S	85.22	85.20	1.00	85.20
S	85.22	T	64.47	74.85	8.25	617.47
T	64.47	U	64.01	64.24	8.25	529.98
U	64.01	V	64.01	64.01	1.00	64.01
V	64.01	A	62.40	63.21	15.66	989.79
Total					227.58	15920.90
AVG Existing Grade						69.96
Max. Bldg Height (Ft):					29.85	99.81



SITE PLAN
 SCALE: 1/8"=10"

TOP OF FINISH FLOOR - H1 (4)			TOP OF FINISH FLOOR - H1 (5)		
Lower	Main	Upper	Lower	Main	Upper
20.35 m	23.09 m	26.14 m	21.87 m	24.61 m	27.66 m
66.75'	75.75'	85.75'	71.75'	80.75'	90.75'



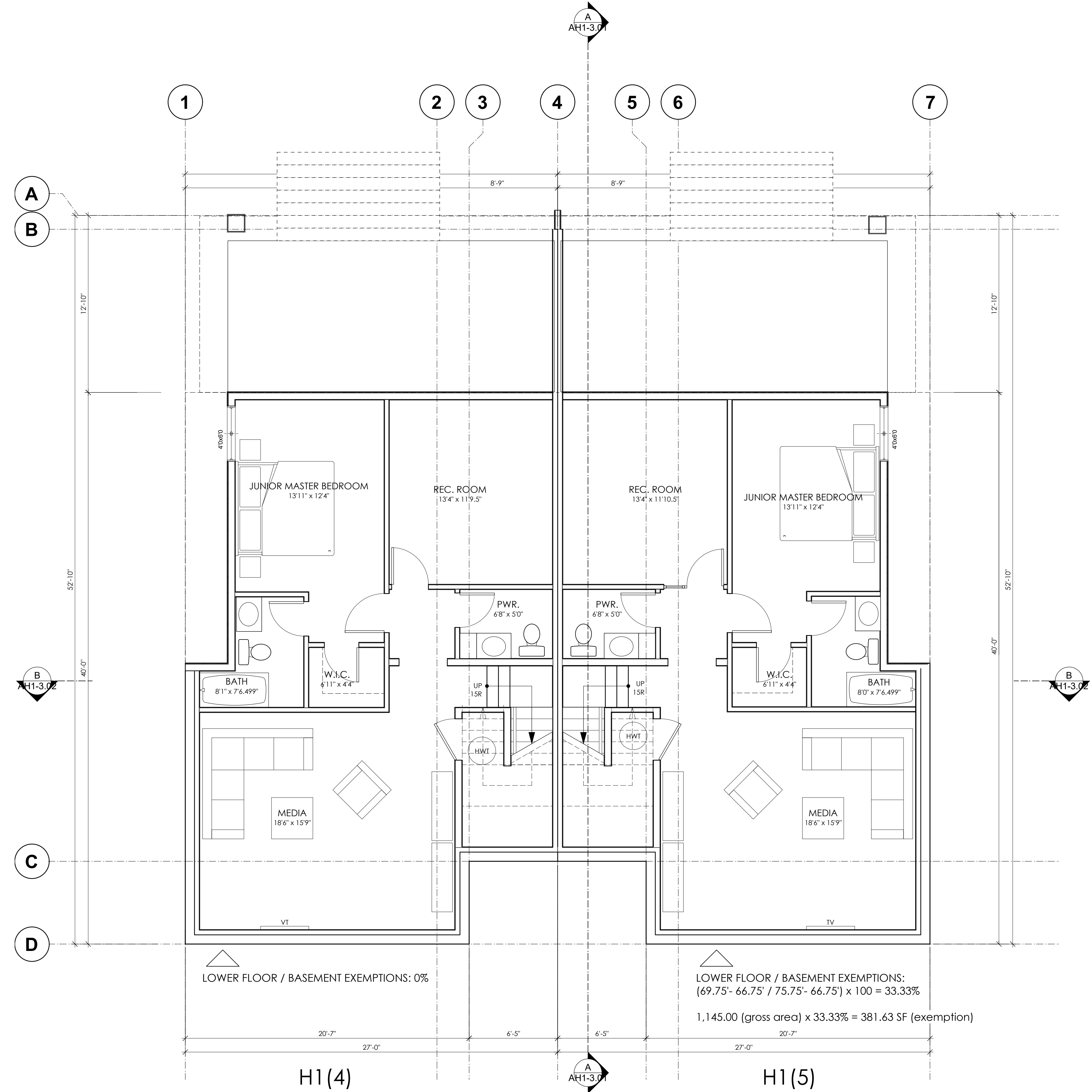
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H1

DRAWING
 SITE PLAN
 PROJECT# 8030
 SCALE 1/8" = 1'-0"
 DATE OCT 1, 2023
 SHEET AH1-1.01

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REVISIONS

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DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS: 0%
 LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(69.75' - 66.75' / 75.75' - 66.75') \times 100 = 33.33\%$
 1,145.00 (gross area) x 33.33% = 381.63 SF (exemption)

LOWER FLOOR PLAN
UNIT H1

UNIT 4 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1295.4 SF	1281.2 SF	3559.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 0%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	94.5 SF	0.0 SF	94.5 SF
NET	982.8 SF	1200.9 SF	874.4 SF	3058.1 SF

UNIT 4 FLOOR AREAS METRIC

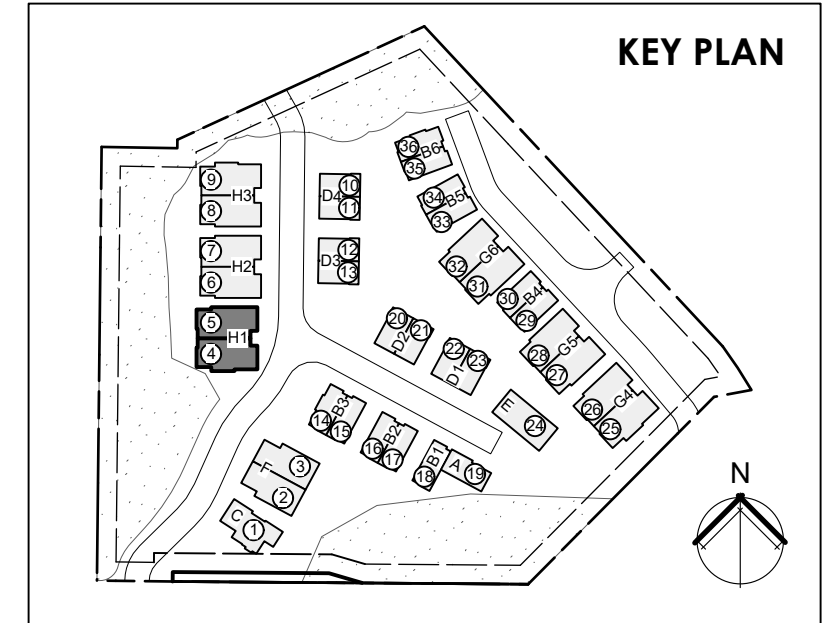
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	91.3 SM	120.3 SM	119.0 SM	330.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	8.8 SM	0.0 SM	8.8 SM
NET	91.3 SM	111.6 SM	81.2 SM	284.1 SM

UNIT 5 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1281.1 SF	1282.0 SF	3545.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 33.33%	327.6 SF	0.0 SF	0.0 SF	327.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	94.5 SF	0.0 SF	94.5 SF
NET	655.2 SF	1186.6 SF	875.2 SF	2717.0 SF

UNIT 5 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	91.3 SM	119.0 SM	119.1 SM	329.4 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 33.33%	35.5 SM	0.0 SM	0.0 SM	35.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	55.9 SM	109.9 SM	81.3 SM	247.0 SM



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H1

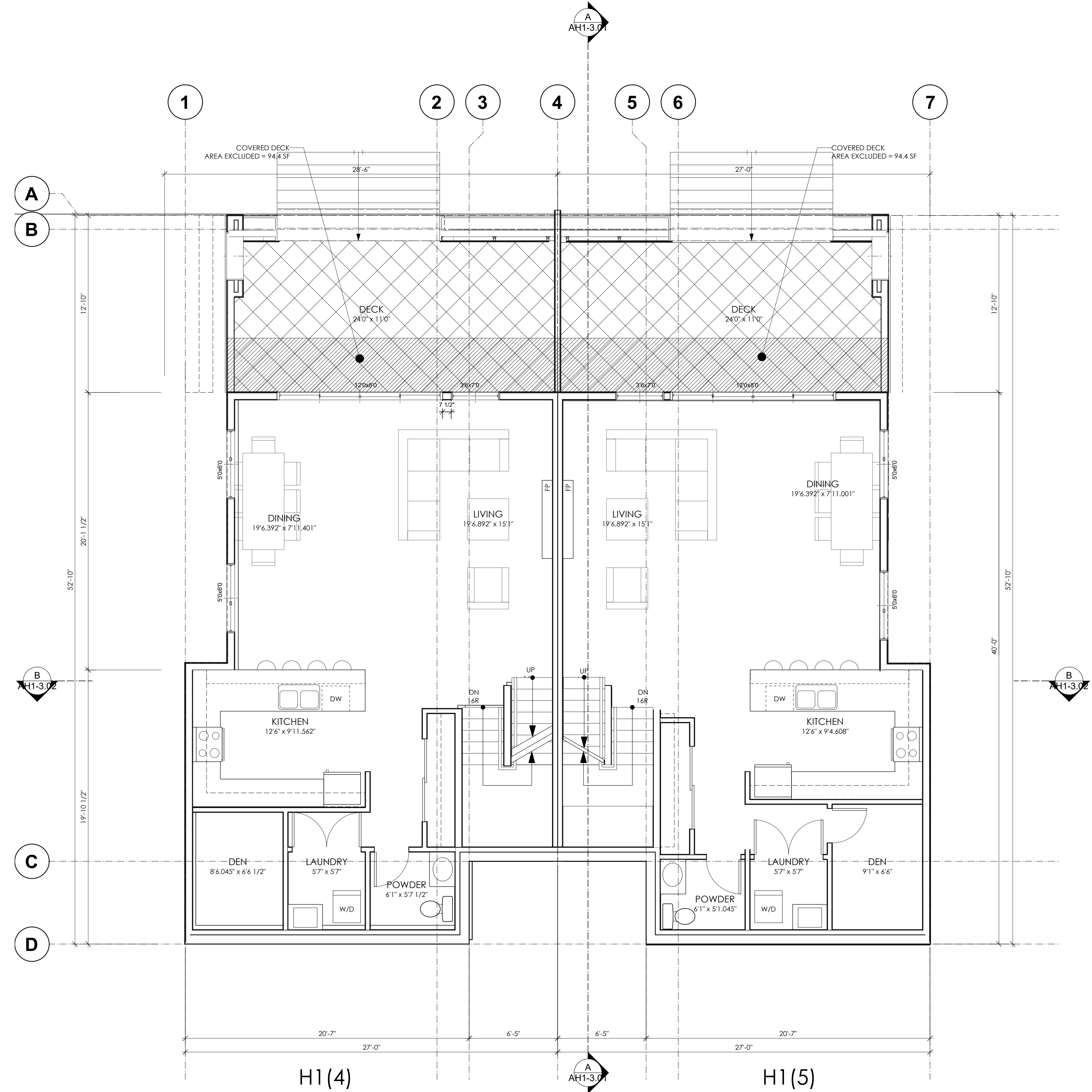
DRAWING
LOWER FLOOR PLAN

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
AH1-2.01

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REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



MAIN FLOOR PLAN
UNIT G1

UNIT 4 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1295.4 SF	1281.2 SF	3559.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 0%	0.0 SF	0.0 SF	0.0 SF	0.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	94.5 SF	0.0 SF	94.5 SF
NET	982.8 SF	1200.9 SF	874.4 SF	3058.1 SF

UNIT 4 FLOOR AREAS METRIC

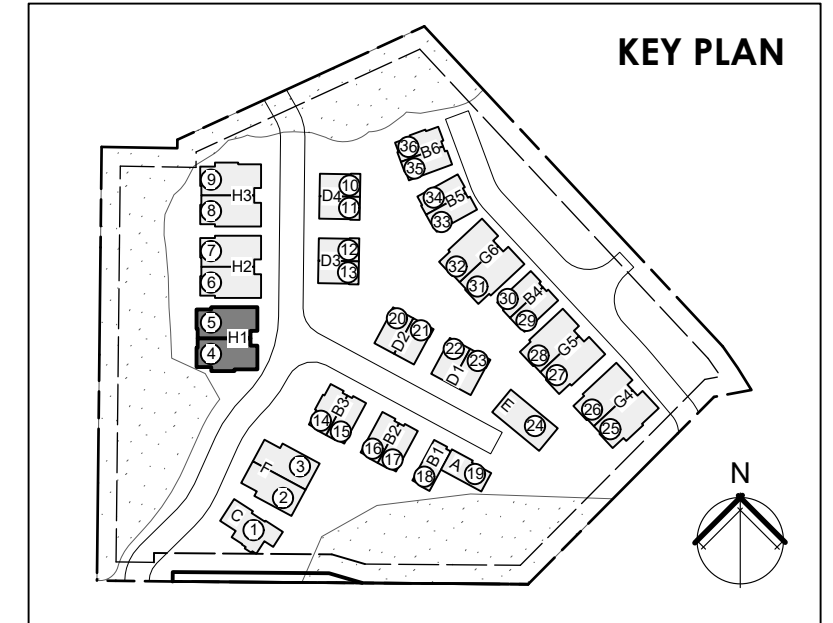
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	91.3 SM	120.3 SM	119.0 SM	330.7 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS	0.0 SM	0.0 SM	0.0 SM	0.0 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	8.8 SM	0.0 SM	8.8 SM
NET	91.3 SM	111.6 SM	81.2 SM	284.1 SM

UNIT 5 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1281.1 SF	1282.0 SF	3545.9 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 33.33%	327.6 SF	0.0 SF	0.0 SF	327.6 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	94.5 SF	0.0 SF	94.5 SF
NET	655.2 SF	1186.6 SF	875.2 SF	2717.0 SF

UNIT 5 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	91.3 SM	119.0 SM	119.1 SM	329.4 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 33.33%	35.5 SM	0.0 SM	0.0 SM	35.5 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	55.9 SM	109.9 SM	81.3 SM	247.0 SM



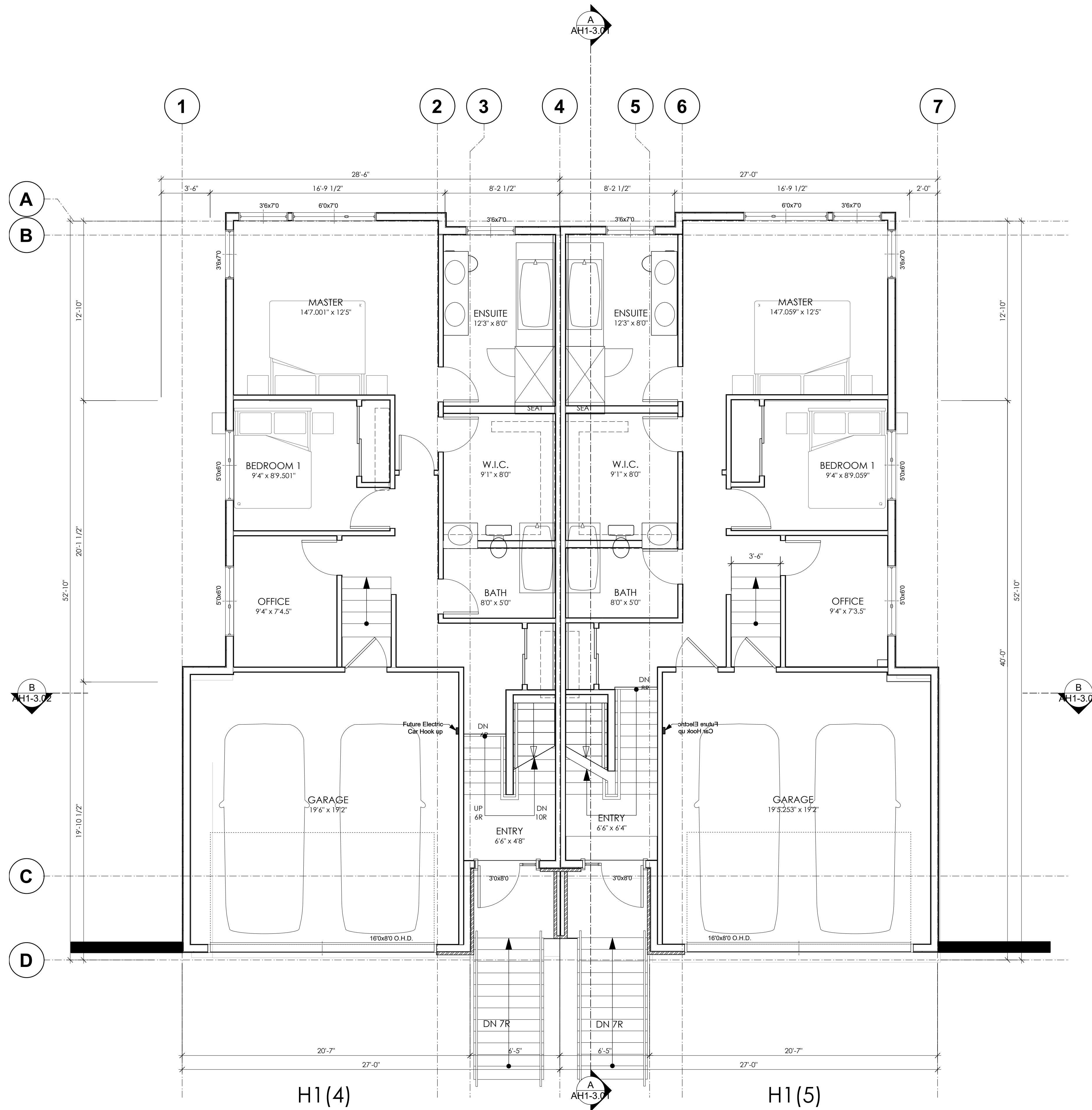
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
MAIN FLOOR PLAN

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AH1-2.02**

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



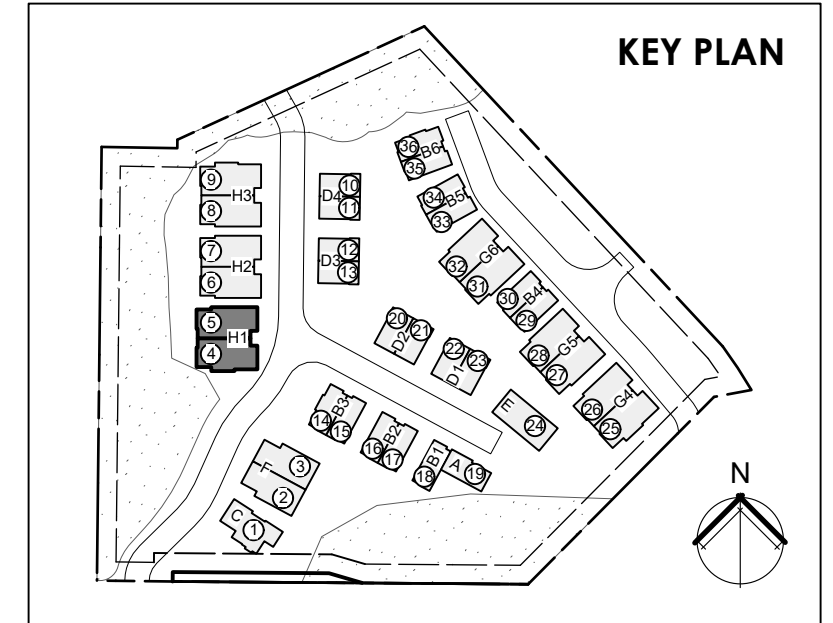
UPPER FLOOR PLAN
UNIT H1



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

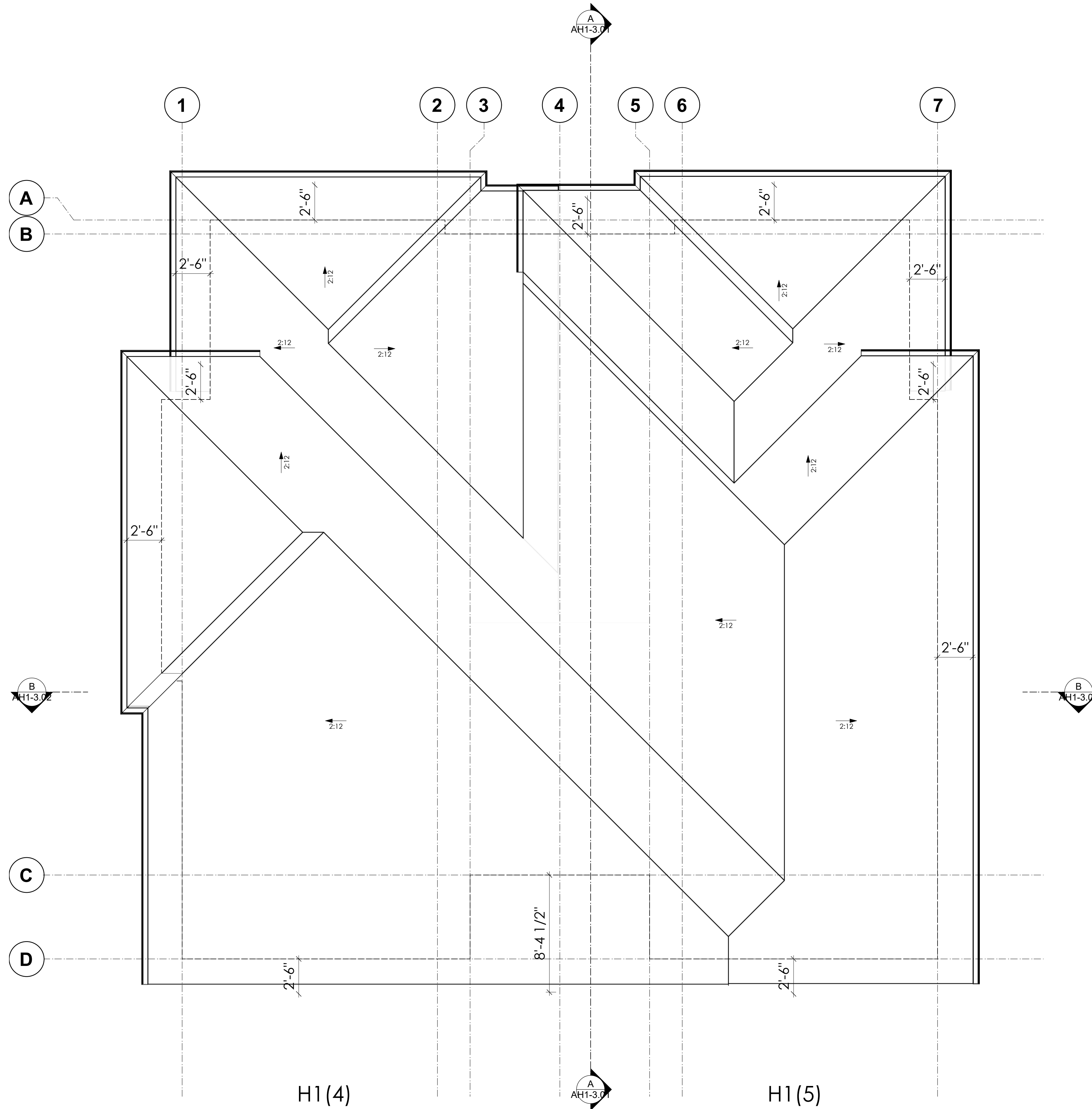
DRAWING
**UPPER FLOOR
PLAN**

PROJECT#	8030	SHEET	AH1- 2.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		



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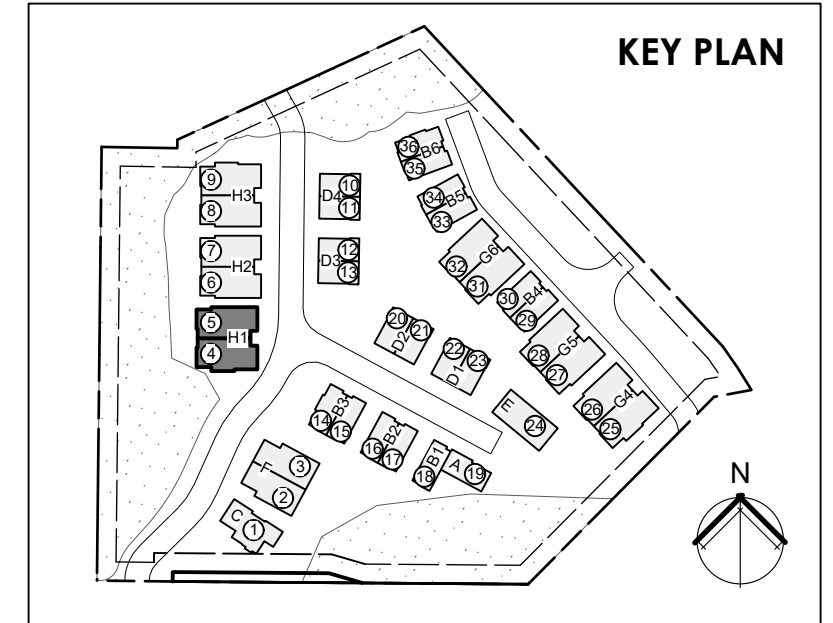
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



ROOF PLAN
UNIT H2

H1(4)

H1(5)

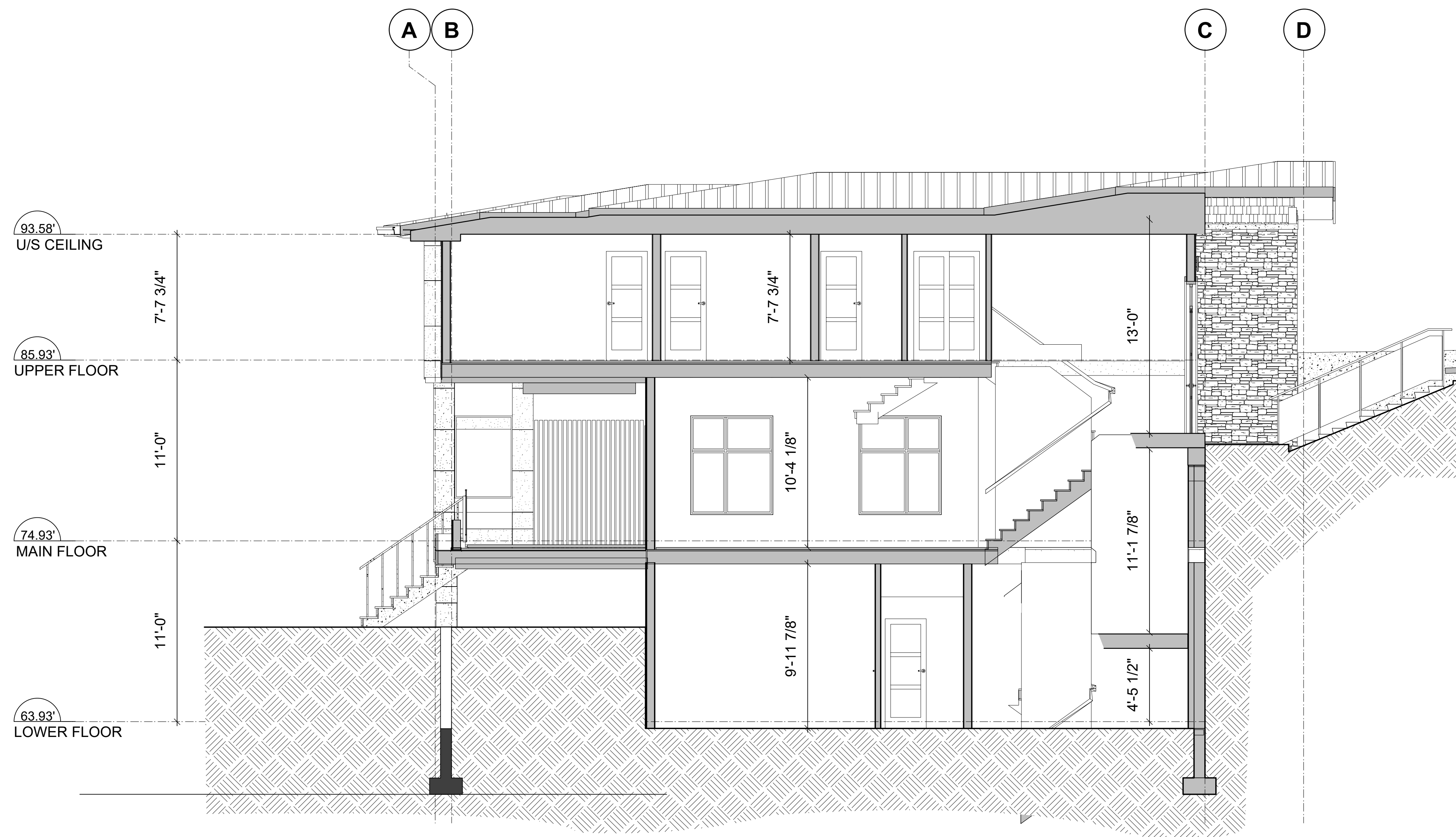


PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
ROOF PLAN

PROJECT#	8030	SHEET
SCALE	1/4" = 1'-0"	AH1-2.04
DATE	OCT 1, 2023	

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A-A
Scale: 1/4" = 1'-0"



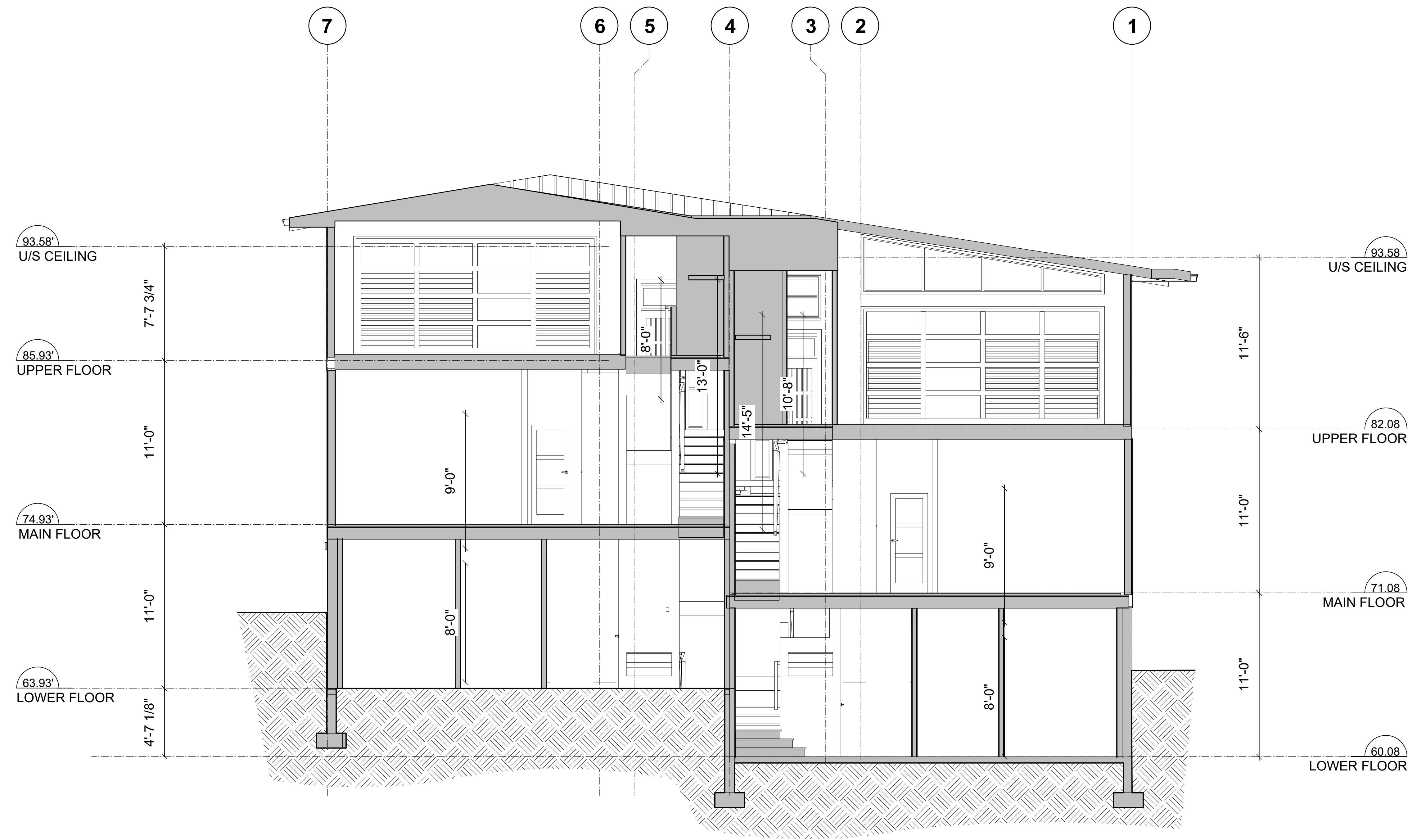
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
SECTION A-A

PROJECT#	8030	SHEET AH1-3.01
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2023	

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H unit additions	Oct 1, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



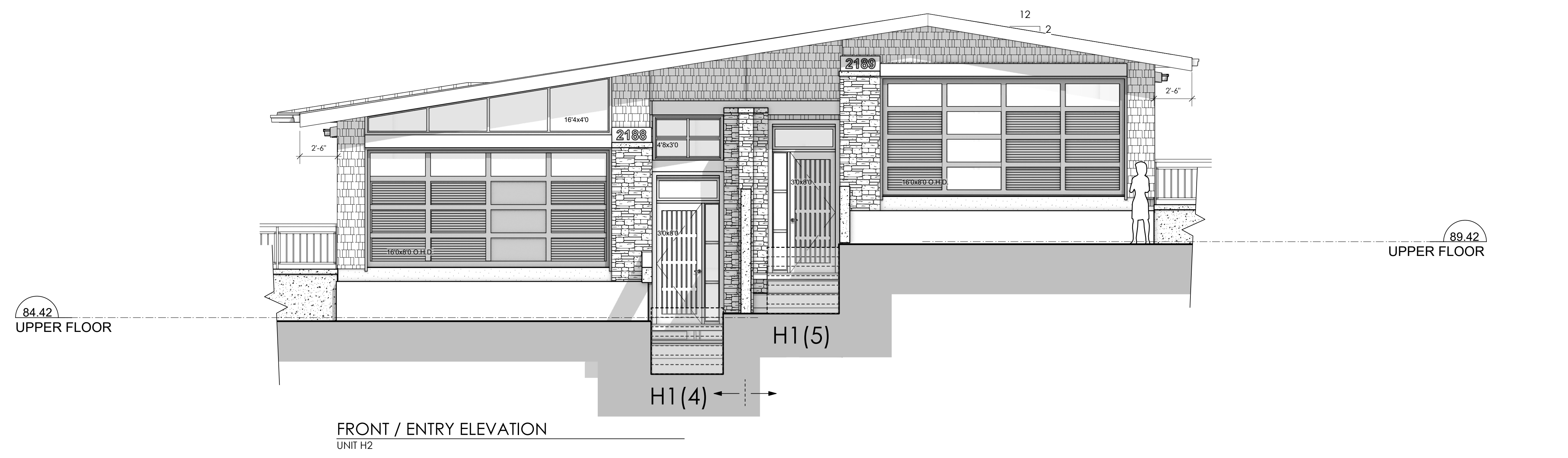
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
SECTION B-B

PROJECT#	8030	SHEET AH1-3.02
SCALE	1/4" = 1'-0"	
DATE	OCT 1, 2023	

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REVISIONS	
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LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(69.75' - 66.75' / 75.75' - 66.75') \times 100 = 33.33\%$
 $1,145.00 \text{ (gross area)} \times 33.33\% = 381.63 \text{ SF (exemption)}$



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H1

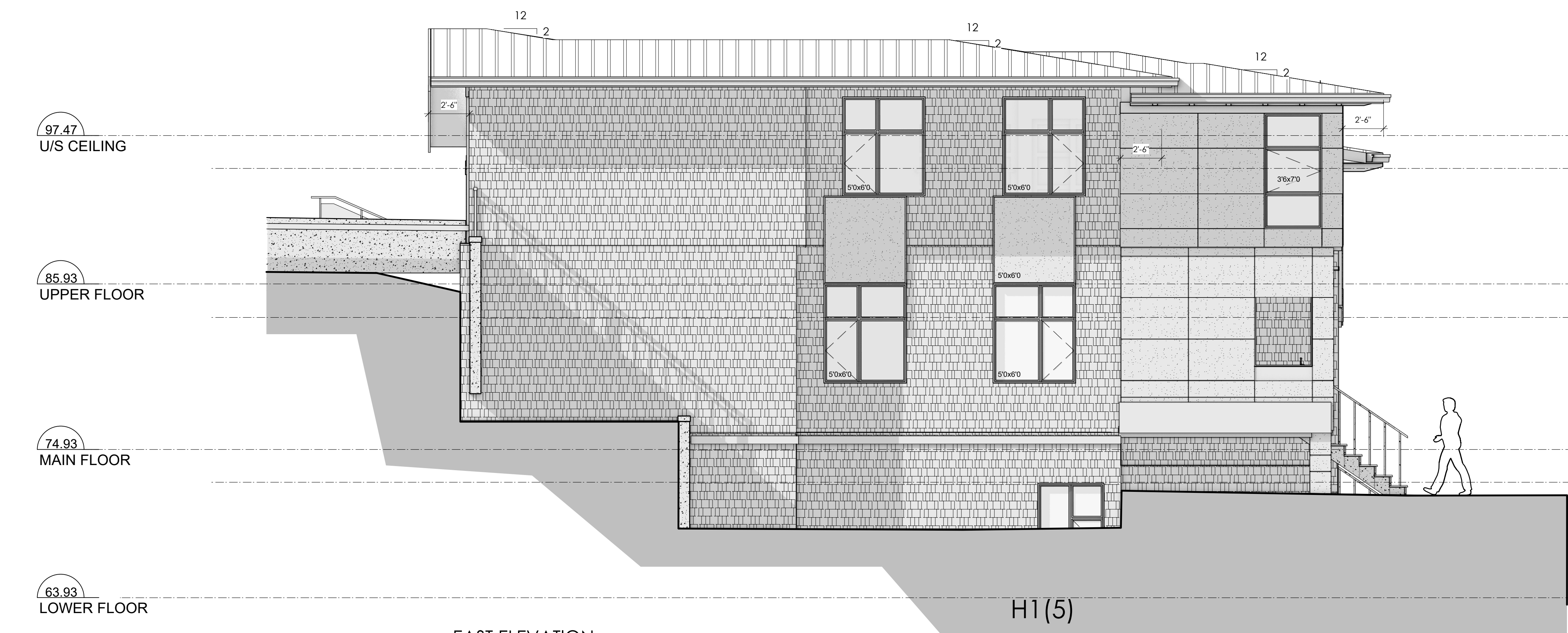
DRAWING
 FRONT & BACK ELEVATIONS B/W

PROJECT#	SHEET
8030	AH1-4.01
SCALE	
DATE	

1/4" = 1'-0"
 OCT 1, 2023

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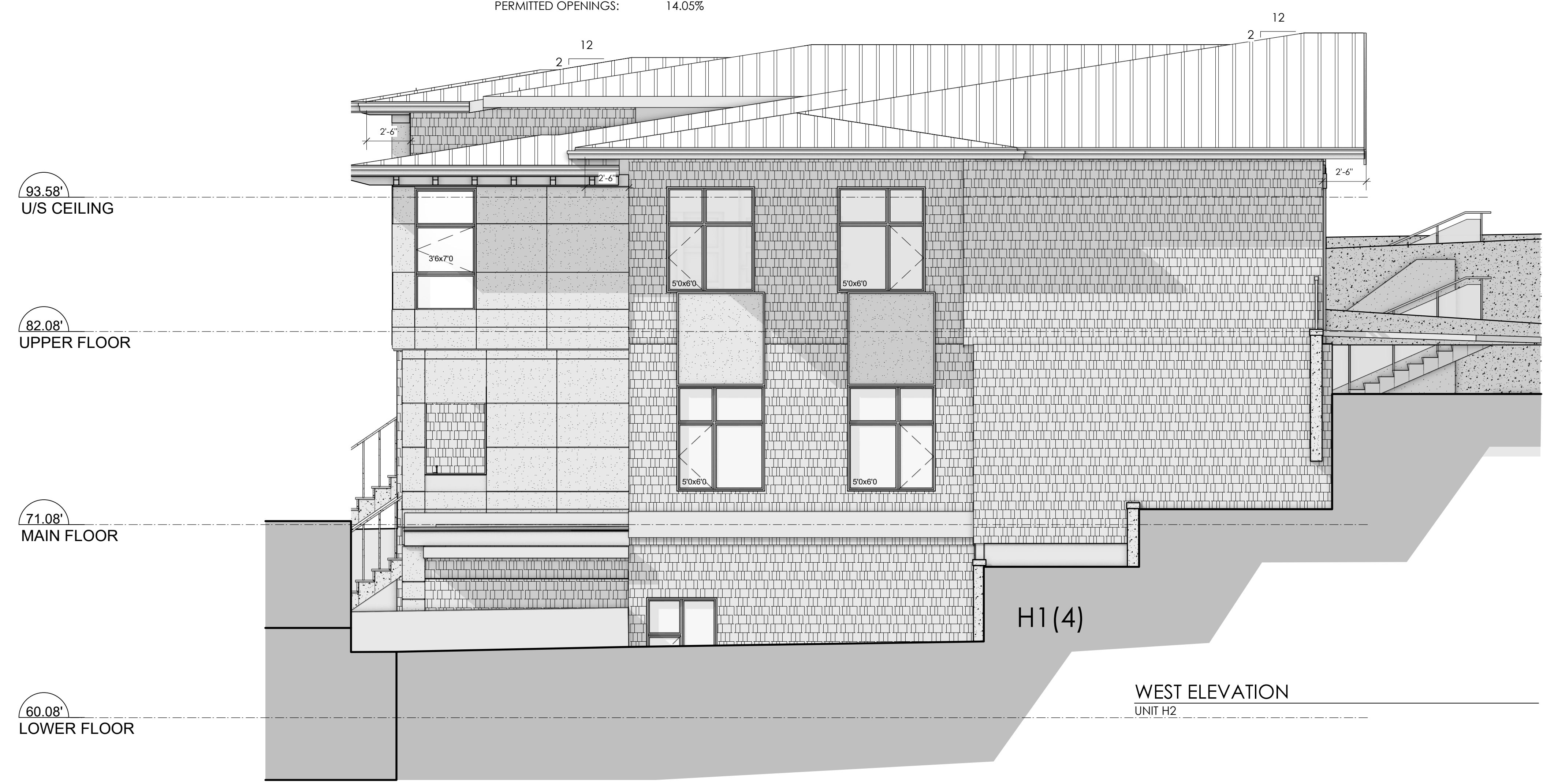
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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H unit additions	Oct 1, 2023



EAST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1285.23 SF (119.40 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	176.50 SF (16.40 SM)
PROPOSED OPENING:	13.73%
PERMITTED OPENINGS:	14.05%



WEST ELEVATION
UNIT H2



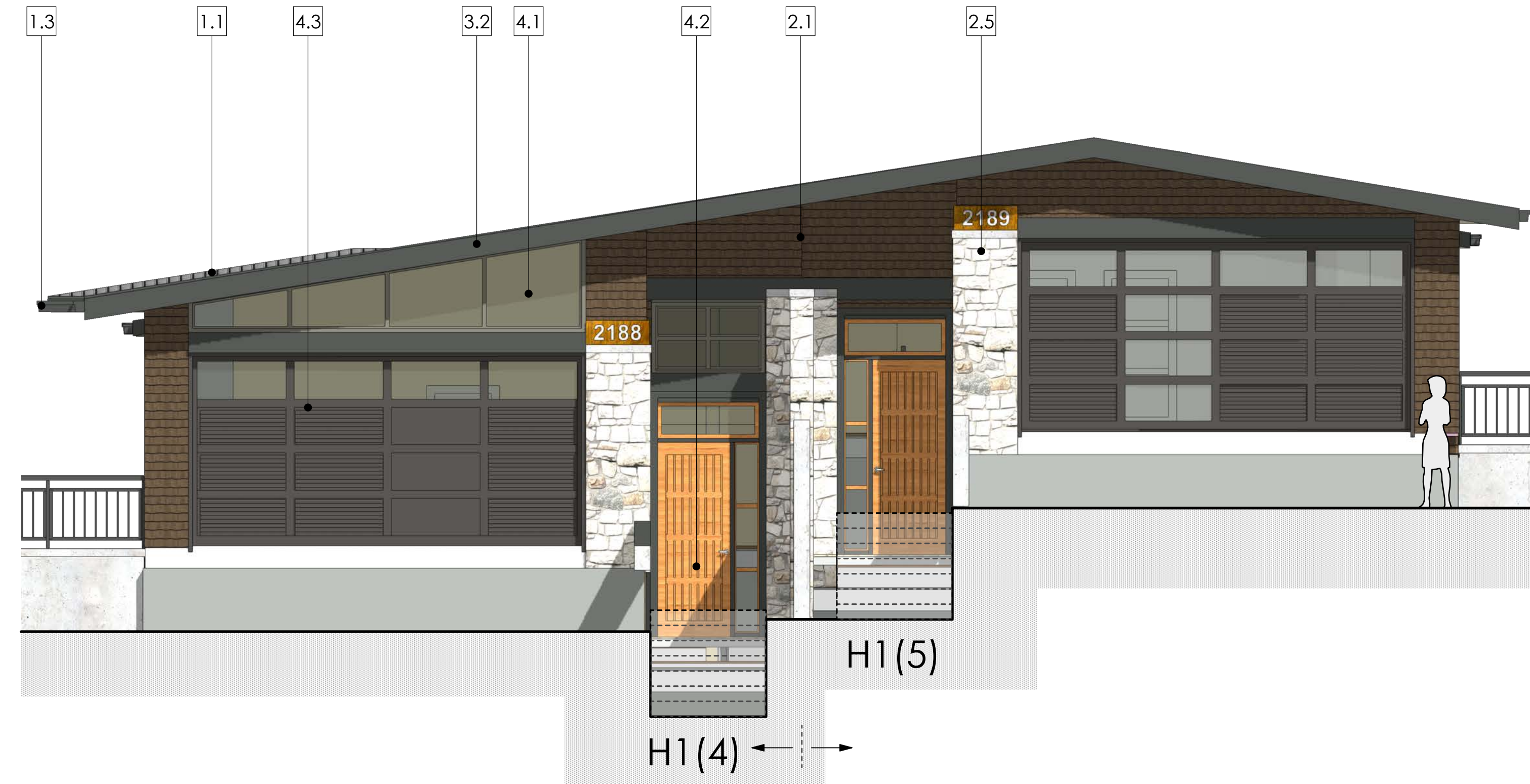
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
EAST & WEST ELEVATIONS B/W

PROJECT#	SHEET
8030	AH1-4.02
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

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FRONT / ENTRY ELEVATION
UNIT H2



BACK ELEVATION
UNIT H2



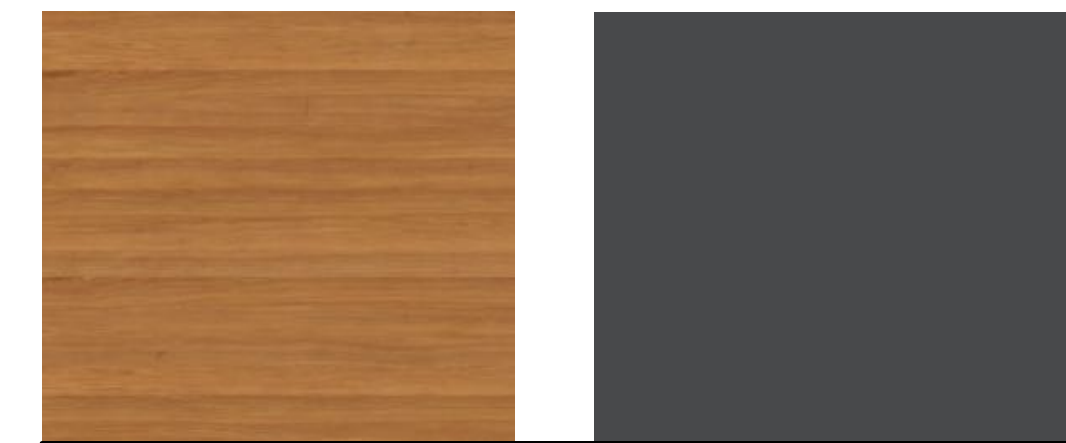
HARDY PANEL

FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING

METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT

WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105

BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA
EXTERIOR MATERIAL SCHEDULE

No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

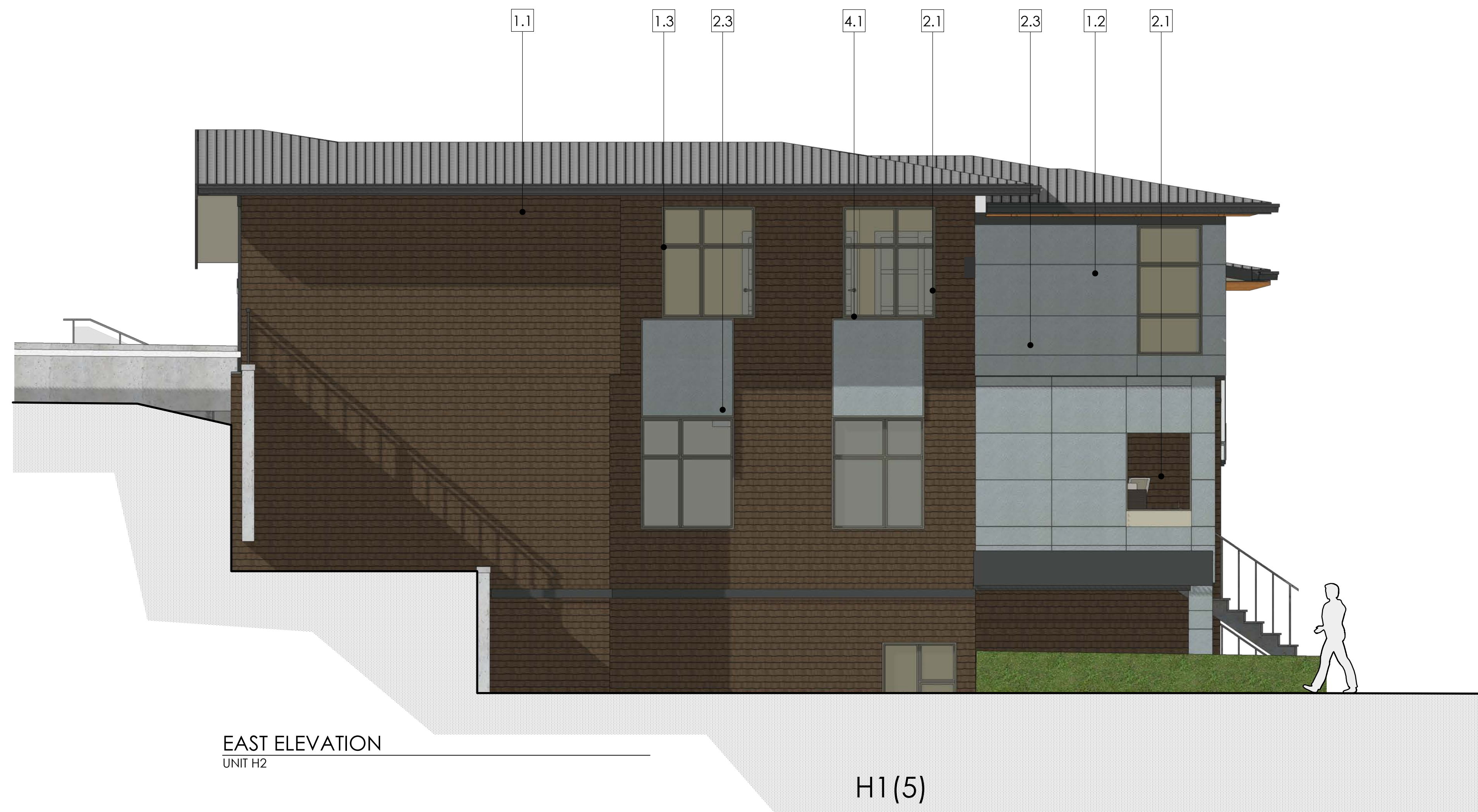
UNIT H1

DRAWING
**FRONT & BACK
ELEVATIONS**

PROJECT#	8030	SHEET	AH1- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



EAST ELEVATION
UNIT H2

H1(5)



WEST ELEVATION
UNIT H2

H1(4)

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H1

DRAWING
EAST & WEST ELEVATIONS

PROJECT#	8030	SHEET	AH1-4.04
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H1

DRAWING
FRONT, BACK
ELVETIONS -
CAMERA VIEW

PROJECT#	SHEET	
8030	AH1- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

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REVISIONS

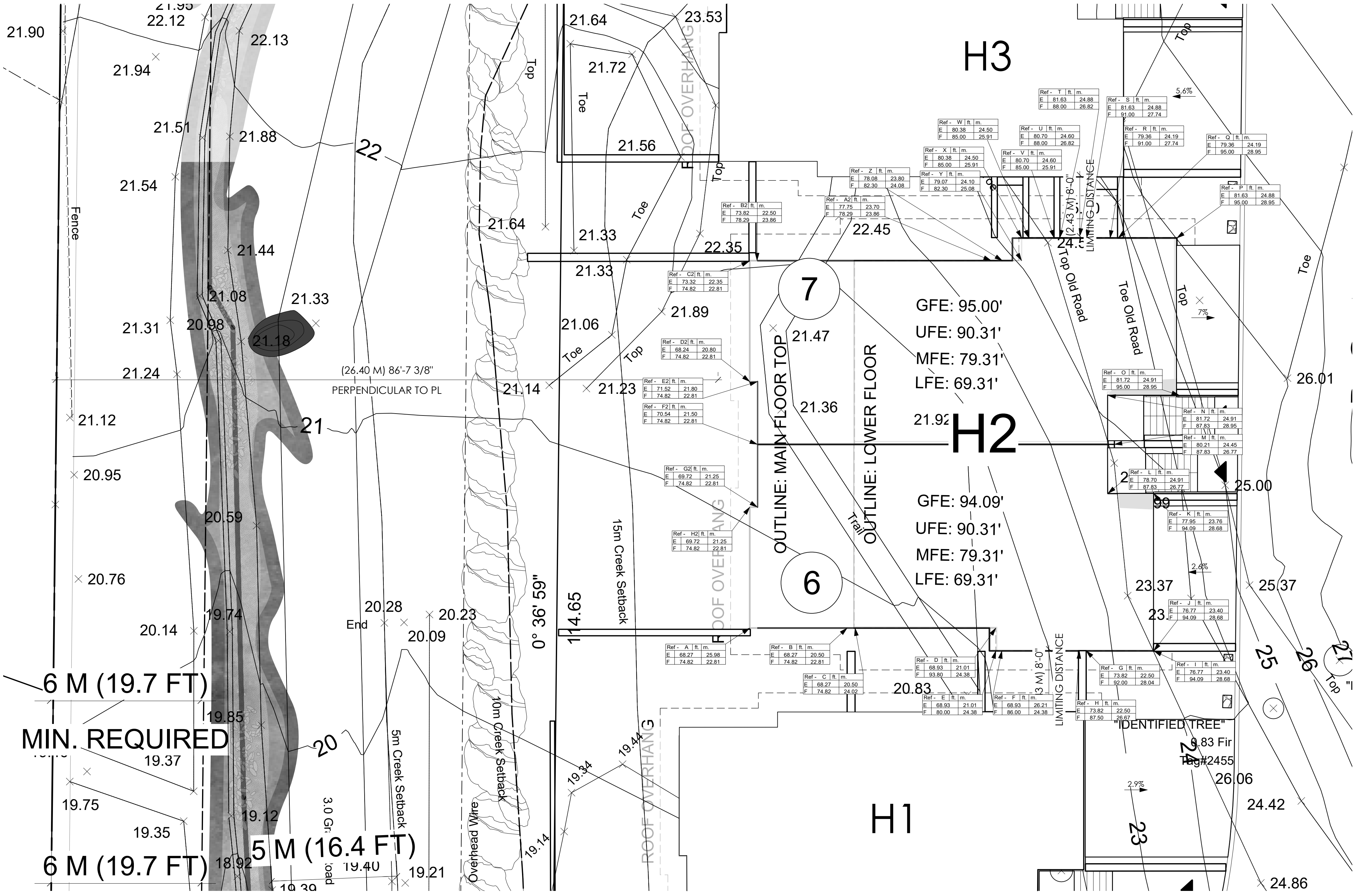
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023

H2 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	74.82	B	74.82	74.82	12.75	953.96
B	74.82	C	78.80	76.81	1.00	76.81
C	78.80	D	80.00	79.40	18.75	1488.75
D	80.00	E	80.00	80.00	3.00	240.00
E	80.00	F	86.00	83.00	1.00	83.00
F	86.00	G	87.50	86.75	9.50	824.13
G	87.50	H	92.00	89.75	1.00	89.75
H	92.00	I	94.09	93.05	8.75	814.14
I	94.09	J	94.09	94.09	1.00	94.09
J	94.09	K	94.09	94.09	19.75	1858.28
K	94.09	L	87.83	90.96	6.00	545.76
L	87.83	M	87.83	87.83	6.50	570.90
M	87.83	N	87.83	87.83	6.50	570.90
N	87.83	O	95.00	91.42	9.00	822.74
O	95.00	P	95.00	95.00	20.50	1947.50
P	95.00	Q	95.00	95.00	7.00	665.00
Q	95.00	R	91.00	93.00	1.00	93.00
R	91.00	S	91.00	91.00	3.25	295.75
S	91.00	T	88.00	89.50	1.00	89.50
T	88.00	U	88.00	88.00	3.25	286.00
U	88.00	V	85.00	86.50	1.00	86.50
V	85.00	W	85.00	85.00	3.25	276.25
W	85.00	X	85.00	85.00	1.00	85.00
X	85.00	Y	82.30	83.65	3.00	250.95
Y	82.30	Z	82.30	82.30	3.00	246.90
Z	82.30	A2	78.29	80.30	1.00	80.30
A2	78.29	B2	78.29	78.29	29.95	2344.79
B2	78.29	C2	74.82	76.56	1.00	76.56
C2	74.82	D2	74.82	74.82	15.76	1179.16
D2	74.82	E 2	74.82	74.82	1.00	74.82
E 2	74.82	F2	74.82	74.82	8.25	617.27
F2	74.82	G2	74.82	74.82	8.25	617.27
G2	74.82	H2	74.82	74.82	1.00	74.82
H2	74.82	A	74.82	74.82	15.76	1179.16
Total					233.72	19599.67
AVG Finish Grade						83.86
Max. Bldg Height (Ft):	29.85					113.71

H2 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	68.27	2	68.27	68.27	12.75	870.44
B	68.27	3	68.27	68.27	1.00	68.27
C	68.27	4	68.93	68.60	18.75	1286.25
D	68.93	5	68.93	68.93	3.00	206.79
E	68.93	6	68.93	68.93	1.00	68.93
F	68.93	7	73.82	71.38	9.50	678.06
G	73.82	8	76.82	75.32	1.00	75.32
H	76.82	9	76.77	76.80	8.75	671.96
I	76.77	10	76.77	76.77	1.00	76.77
J	76.77	11	77.95	77.36	19.75	1527.86
K	77.95	12	78.70	78.33	6.00	469.95
L	78.70	13	80.21	79.46	6.50	516.46
M	80.21	14	81.72	80.97	6.50	526.27
N	81.72	15	81.72	81.72	9.00	735.48
O	81.72	16	81.63	81.68	20.50	1674.34
P	81.63	17	79.36	80.50	7.00	563.47
Q	79.36	18	79.36	79.36	1.00	79.36
R	79.36	19	81.63	80.50	3.25	261.61
S	81.63	20	81.63	81.63	1.00	81.63
T	81.63	21	80.70	81.17	3.25	263.79
U	80.70	22	80.70	80.70	1.00	80.70
V	80.70	23	80.38	80.54	3.25	261.76
W	80.38	24	80.38	80.38	1.00	80.38
X	80.38	25	79.07	79.73	3.00	239.18
Y	79.07	26	78.08	78.58	3.00	235.73
Z	78.08	27	77.75	77.92	1.00	77.92
A2	77.75	28	73.82	75.79	29.95	2269.76
B2	73.82	29	73.82	73.82	1.00	73.82
C2	73.82	30	68.24	71.03	15.76	1119.43
D2	68.24	31	71.52	69.88	1.00	69.88
E 2	71.52	32	70.54	71.03	8.25	586.00
F2	70.54	33	69.72	70.13	8.25	578.57
G2	69.72	34	69.72	69.72	1.00	69.72
H2	69.72	35	68.27	69.00	15.76	1087.36
Total					233.72	17533.19
AVG Existing Grade						75.02
Max. Bldg Height (Ft):	29.85					104.87



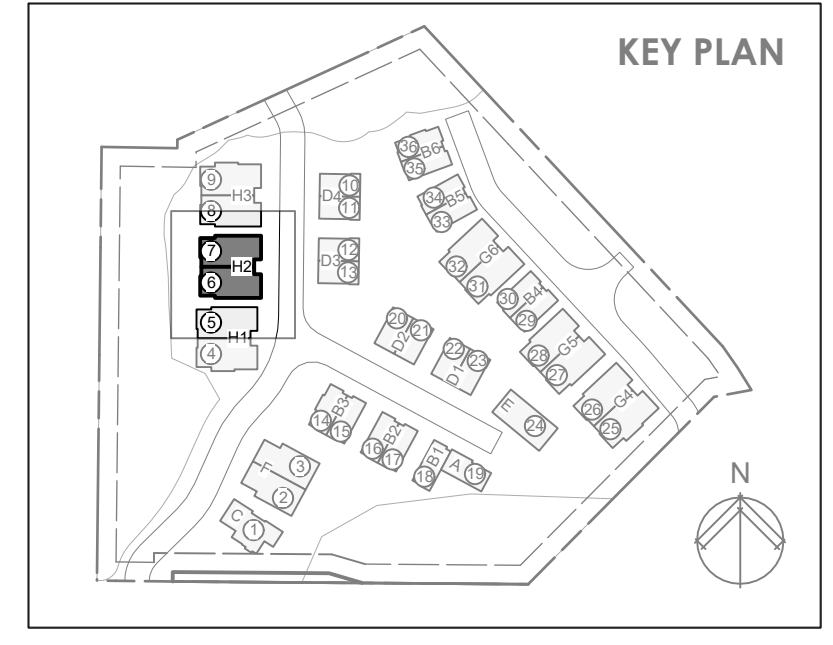
SITE PLAN
SCALE: 1/8"=1'0"

TOP OF FINISH FLOOR - G2 (6)

Lower	Main	Upper
23.39 m	26.14 m	29.18 m
76.75'	85.75'	95.75'

TOP OF FINISH FLOOR - G2 (7)

Lower	Main	Upper
24.13 m	27.05 m	29.92 m
79.17'	88.75'	98.17'



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DRAWING
SITE PLAN

PROJECT # 8030
SCALE 1/8" = 1'-0"
DATE OCT 1, 2023
SHEET **AH2-1.01**

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REVISIONS

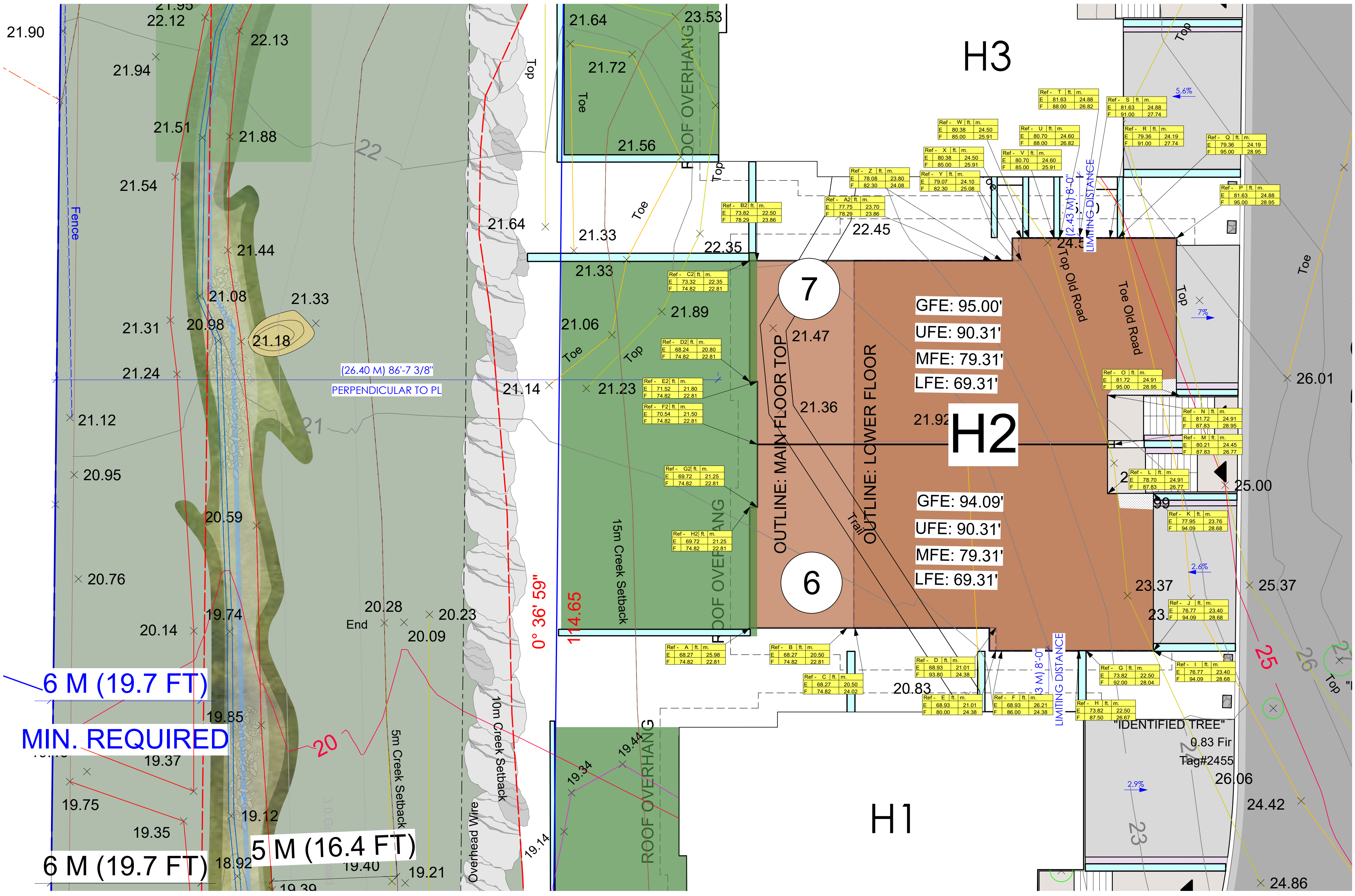
Issued for DP/Rezoning	Aug 31, 2021
DRG/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023

H2 - AVERAGE FINISHED GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	74.82	B	74.82	74.82	12.75	953.96
B	74.82	C	78.80	76.81	1.00	76.81
C	78.80	D	80.00	79.40	18.75	1488.75
D	80.00	E	80.00	80.00	3.00	240.00
E	80.00	F	86.00	83.00	1.00	83.00
F	86.00	G	87.50	86.75	9.50	824.13
G	87.50	H	92.00	89.75	1.00	89.75
H	92.00	I	94.09	93.05	8.75	814.14
I	94.09	J	94.09	94.09	1.00	94.09
J	94.09	K	94.09	94.09	19.75	1858.28
K	94.09	L	87.83	90.96	6.00	545.76
L	87.83	M	87.83	87.83	6.50	570.90
M	87.83	N	87.83	87.83	6.50	570.90
N	87.83	O	95.00	91.42	9.00	822.74
O	95.00	P	95.00	95.00	20.50	1947.50
P	95.00	Q	95.00	95.00	7.00	665.00
Q	95.00	R	91.00	93.00	1.00	93.00
R	91.00	S	91.00	91.00	3.25	295.75
S	91.00	T	88.00	89.50	1.00	89.50
T	88.00	U	88.00	88.00	3.25	286.00
U	88.00	V	85.00	86.50	1.00	86.50
V	85.00	W	85.00	85.00	3.25	276.25
W	85.00	X	85.00	85.00	1.00	85.00
X	85.00	Y	82.30	83.65	3.00	250.95
Y	82.30	Z	82.30	82.30	3.00	246.90
Z	82.30	A2	78.29	80.30	1.00	80.30
A2	78.29	B2	78.29	78.29	29.95	2344.79
B2	78.29	C2	74.82	76.56	1.00	76.56
C2	74.82	D2	74.82	74.82	15.76	1179.16
D2	74.82	E 2	74.82	74.82	1.00	74.82
E 2	74.82	F2	74.82	74.82	8.25	617.27
F2	74.82	G2	74.82	74.82	8.25	617.27
G2	74.82	H2	74.82	74.82	1.00	74.82
H2	74.82	A	74.82	74.82	15.76	1179.16
Total					233.72	19599.67
AVG Finish Grade						83.86
Max. Bldg Height (Ft):	29.85					113.71

H2 - AVERAGE EXISTING GRADE CALCULATION

Ref #	Elevation (Ft)	Ref #	Elevation (Ft)	Avg Elevation (Ft)	Distance (Ft)	Avg x Distance
A	68.27	2	68.27	68.27	12.75	870.44
B	68.27	3	68.27	68.27	1.00	68.27
C	68.27	4	68.93	68.60	18.75	1286.25
D	68.93	5	68.93	68.93	3.00	206.79
E	68.93	6	68.93	68.93	1.00	68.93
F	68.93	7	73.82	71.38	9.50	678.06
G	73.82	8	76.82	75.32	1.00	75.32
H	76.82	9	76.77	76.80	8.75	671.96
I	76.77	10	76.77	76.77	1.00	76.77
J	76.77	11	77.95	77.36	19.75	1527.86
K	77.95	12	78.70	78.33	6.00	469.95
L	78.70	13	80.21	79.46	6.50	516.46
M	80.21	14	81.72	80.97	6.50	526.27
N	81.72	15	81.72	81.72	9.00	735.48
O	81.72	16	81.63	81.68	20.50	1674.34
P	81.63	17	79.36	80.50	7.00	563.47
Q	79.36	18	79.36	79.36	1.00	79.36
R	79.36	19	81.63	80.50	3.25	261.61
S	81.63	20	81.63	81.63	1.00	81.63
T	81.63	21	80.70	81.17	3.25	263.79
U	80.70	22	80.70	80.70	1.00	80.70
V	80.70	23	80.38	80.54	3.25	261.76
W	80.38	24	80.38	80.38	1.00	80.38
X	80.38	25	79.07	79.73	3.00	239.18
Y	79.07	26	78.08	78.58	3.00	235.73
Z	78.08	27	77.75	77.92	1.00	77.92
A2	77.75	28	73.82	75.79	29.95	2269.76
B2	73.82	29	73.82	73.82	1.00	73.82
C2	73.82	30	68.24	71.03	15.76	1119.43
D2	68.24	31	71.52	69.88	1.00	69.88
E 2	71.52	32	70.54	71.03	8.25	586.00
F2	70.54	33	69.72	70.13	8.25	578.57
G2	69.72	34	69.72	69.72	1.00	69.72
H2	69.72	35	68.27	69.00	15.76	1087.36
Total					233.72	17533.19
AVG Existing Grade						75.02
Max. Bldg Height (Ft):	29.85					104.87



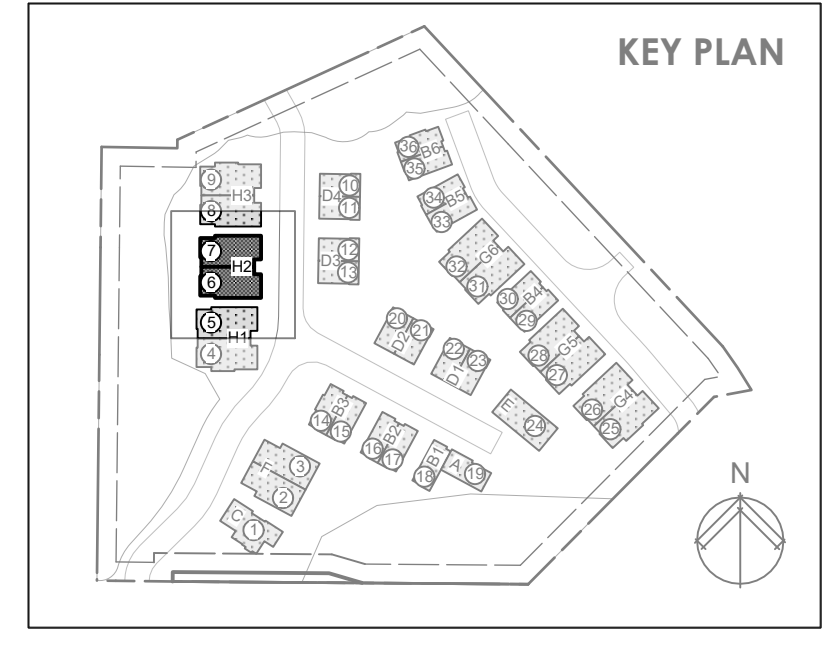
SITE PLAN
SCALE: 1/8"=1'-0"

TOP OF FINISH FLOOR - G2 (6)

Lower	Main	Upper
23.39 m	26.14 m	29.18 m
76.75'	85.75'	95.75'

TOP OF FINISH FLOOR - G2 (7)

Lower	Main	Upper
24.13 m	27.05 m	29.92 m
79.17'	88.75'	98.17'



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT H2

DRAWING

SITE PLAN

PROJECT# 8030

SCALE 1/8" = 1'-0"

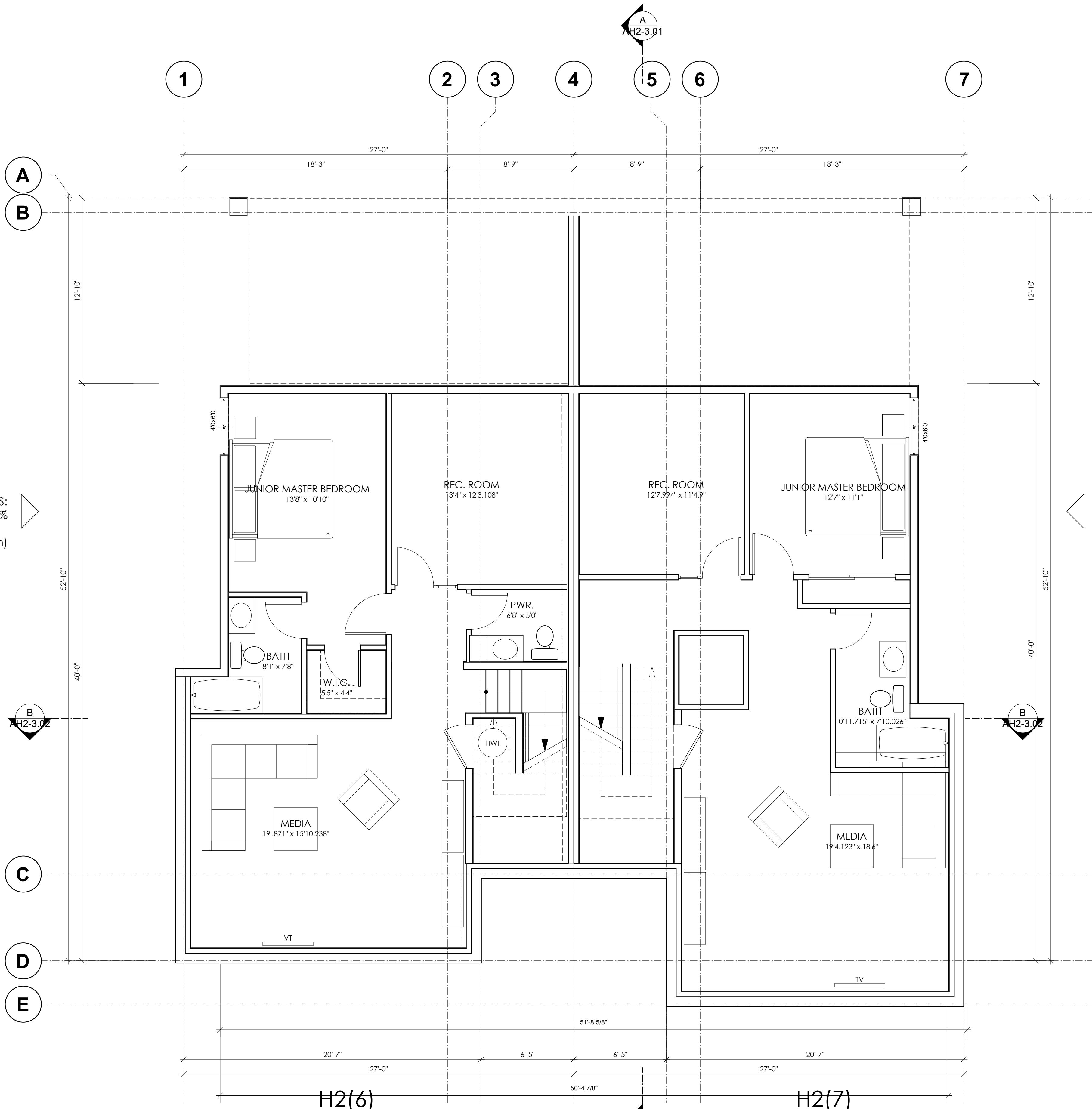
DATE OCT 1, 2023

SHEET

AH2-1.01

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(75.37' - 73.29' / 83.29' - 73.29') \times 100 = 20.80\%$
 1,145 (gross area) \times 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(75.37' - 73.29' / 83.29' - 73.29') \times 100 = 20.80\%$
 1,206.8 (gross area) \times 20.80% = 251.01 SF (exemption)

LOWER FLOOR PLAN
 UNIT H2

UNIT 6 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 20.80%	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	906.9 SF	1285.9 SF	977.5 SF	3170.3 SF

UNIT 6 FLOOR AREAS METRIC

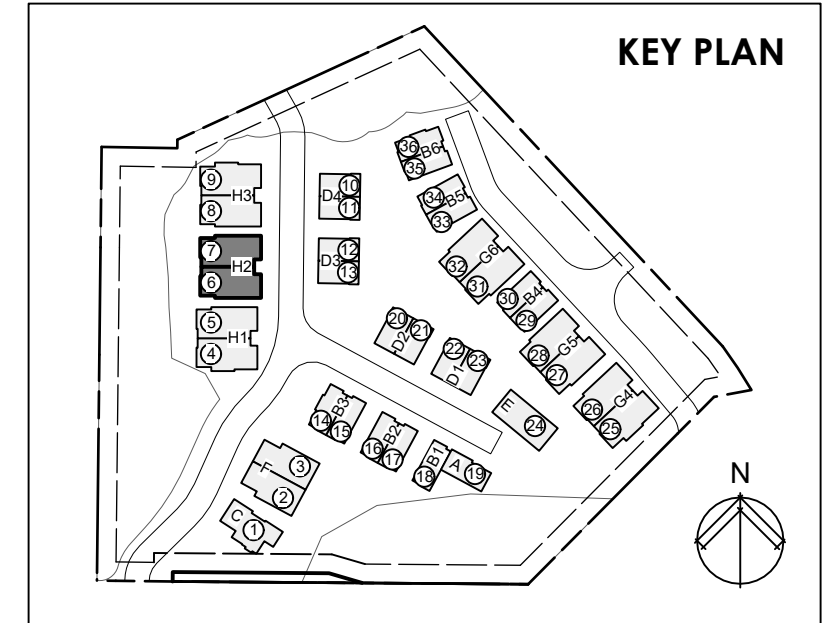
	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 20.80%	22.1 SM	0.0 SM	0.0 SM	22.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	84.3 SM	119.5 SM	90.8 SM	294.5 SM

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1206.8 SF	1415.9 SF	1415.9 SF	4038.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	955.8 SF	1317.4 SF	1007.0 SF	3280.3 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM



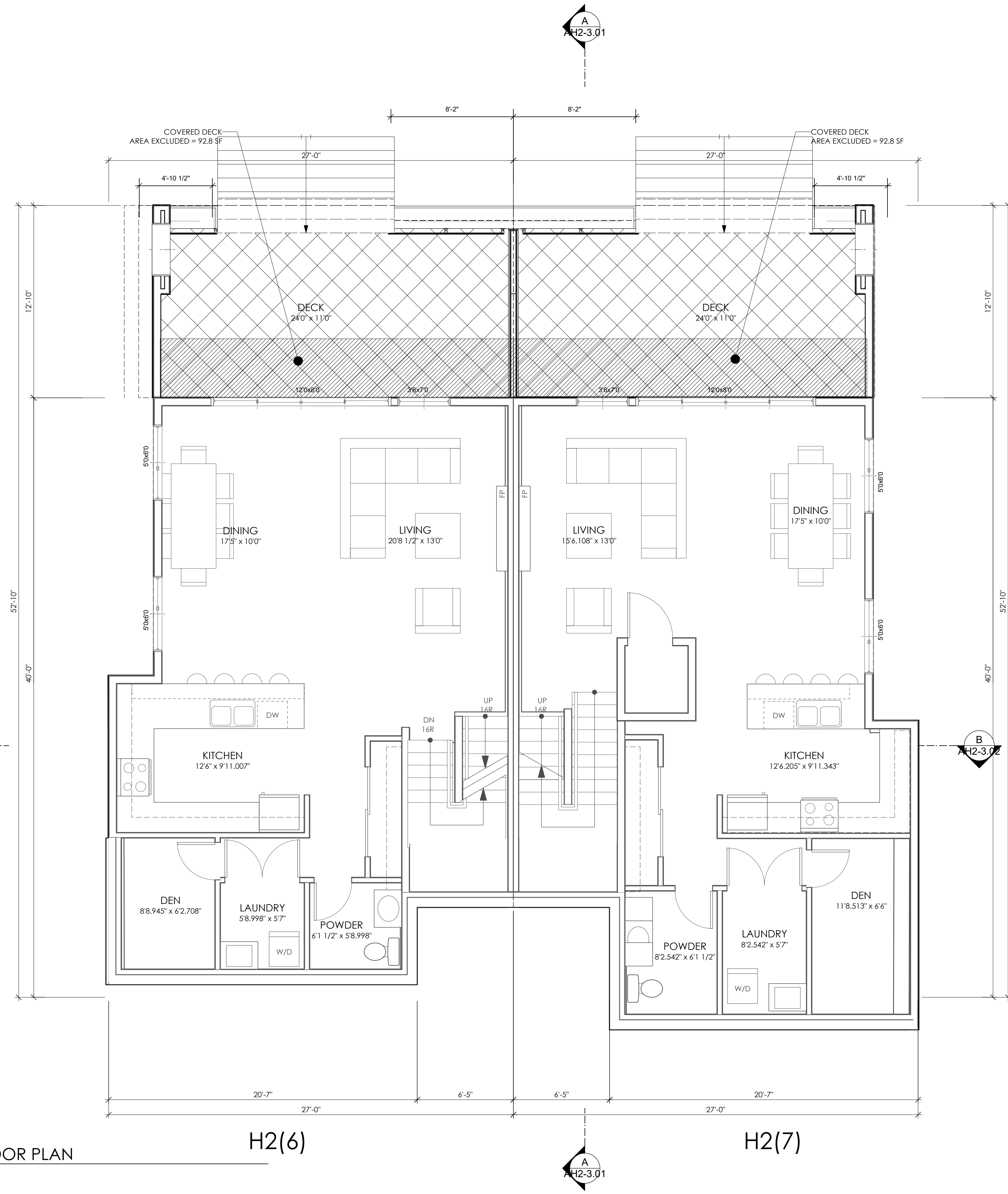
PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H2

DRAWING
LOWER FLOOR PLAN

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
AH2-2.01

REVISIONS

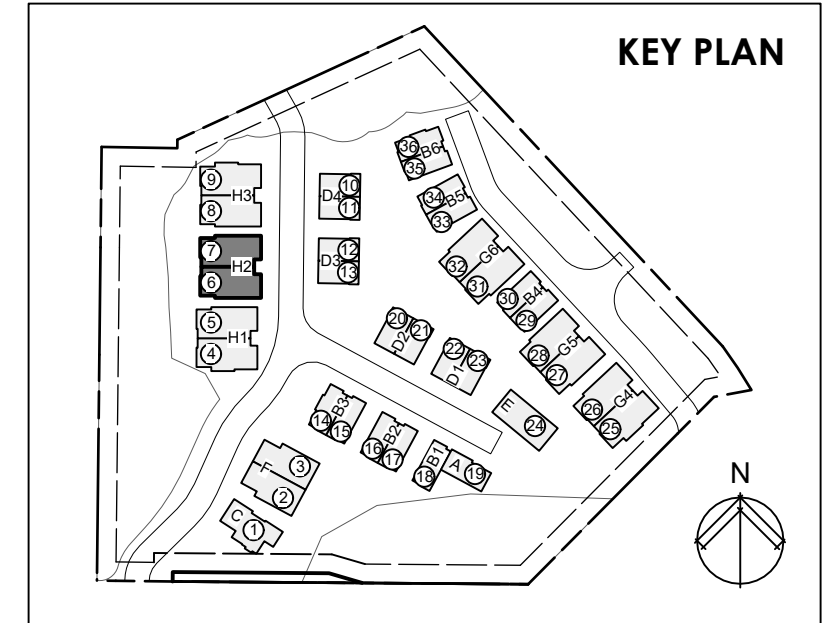
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



MAIN FLOOR PLAN
UNIT H2

H2(6)

H2(7)



UNIT 6 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 20.80%	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	906.9 SF	1285.9 SF	977.5 SF	3170.3 SF

UNIT 6 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 20.80%	22.1 SM	0.0 SM	0.0 SM	22.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	84.3 SM	119.5 SM	90.8 SM	294.5 SM

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1206.8 SF	1415.9 SF	1415.9 SF	4038.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	955.8 SF	1317.4 SF	1007.0 SF	3280.3 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM

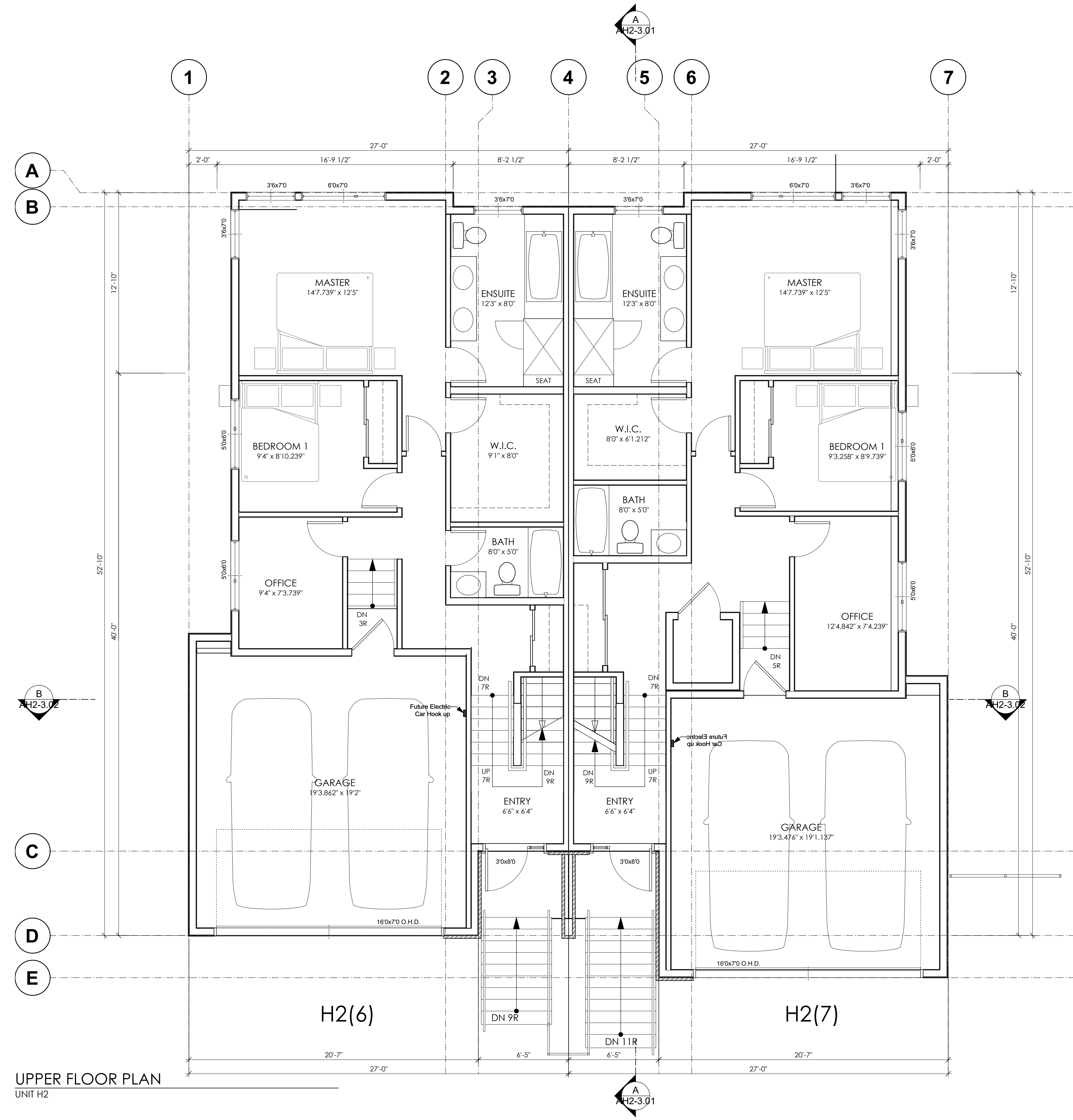
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DRAWING
MAIN FLOOR PLAN

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023
SHEET **AH2-2.02**

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023

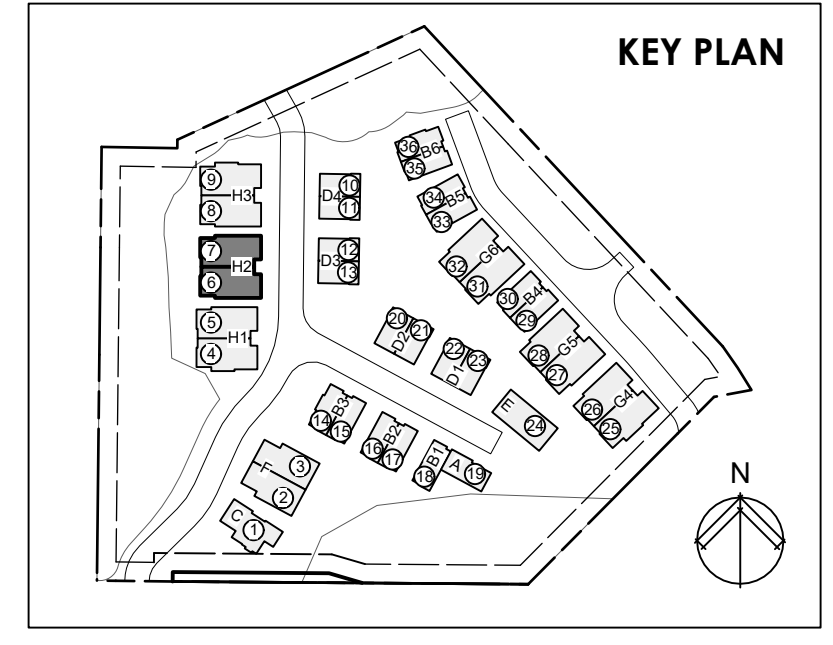


UPPER FLOOR PLAN
UNIT H2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DRAWING
UPPER FLOOR PLAN



UNIT 6 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 20.80%	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	906.9 SF	1285.9 SF	977.5 SF	3170.3 SF

UNIT 6 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 20.80%	22.1 SM	0.0 SM	0.0 SM	22.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	84.3 SM	119.5 SM	90.8 SM	294.5 SM

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	1206.8 SF	1415.9 SF	1415.9 SF	4038.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	955.8 SF	1317.4 SF	1007.0 SF	3280.3 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM

PROJECT# 8030
SCALE 1/4" = 1'-0"
DATE OCT 1, 2023

SHEET
AH2-2.03

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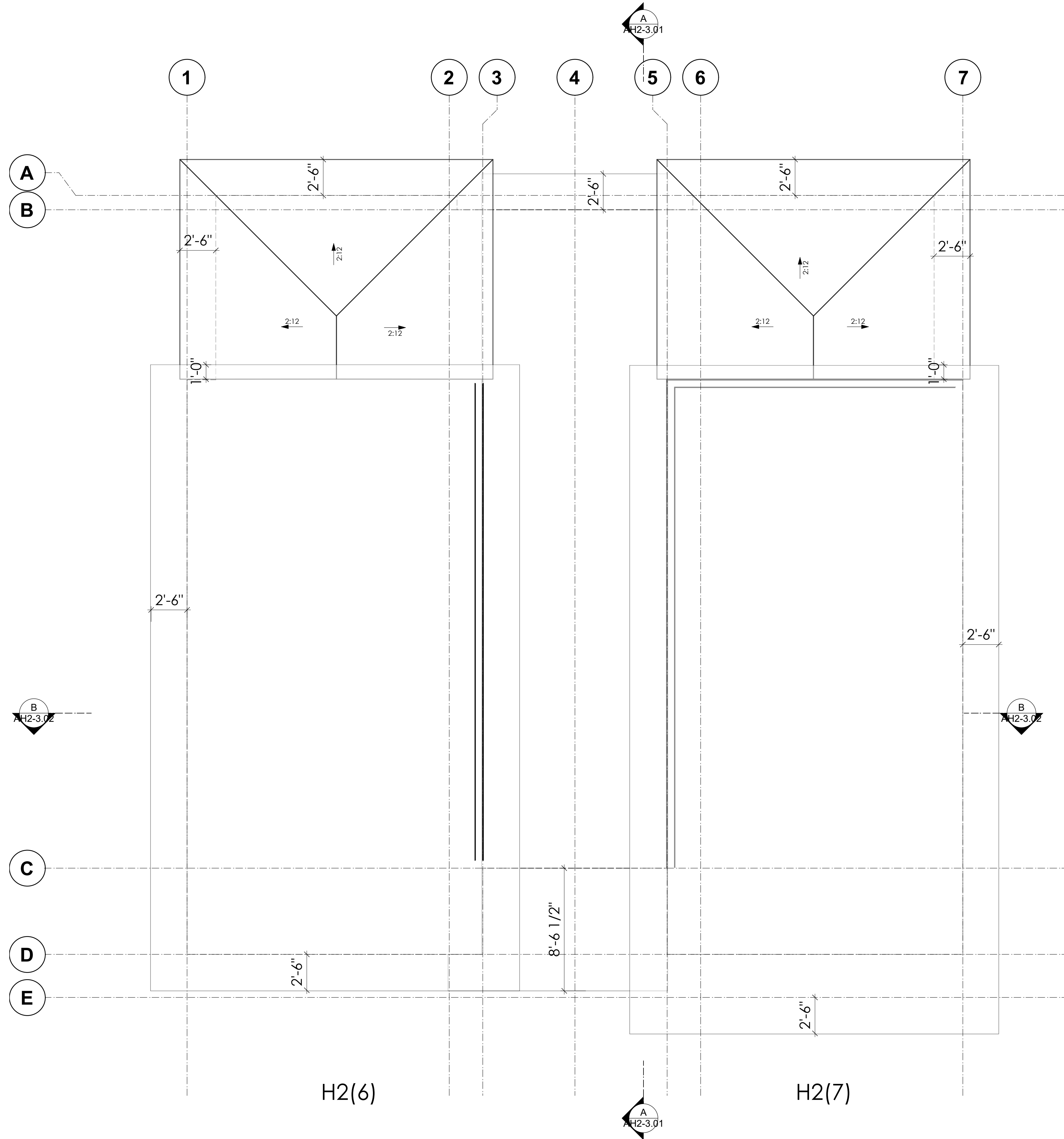
REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



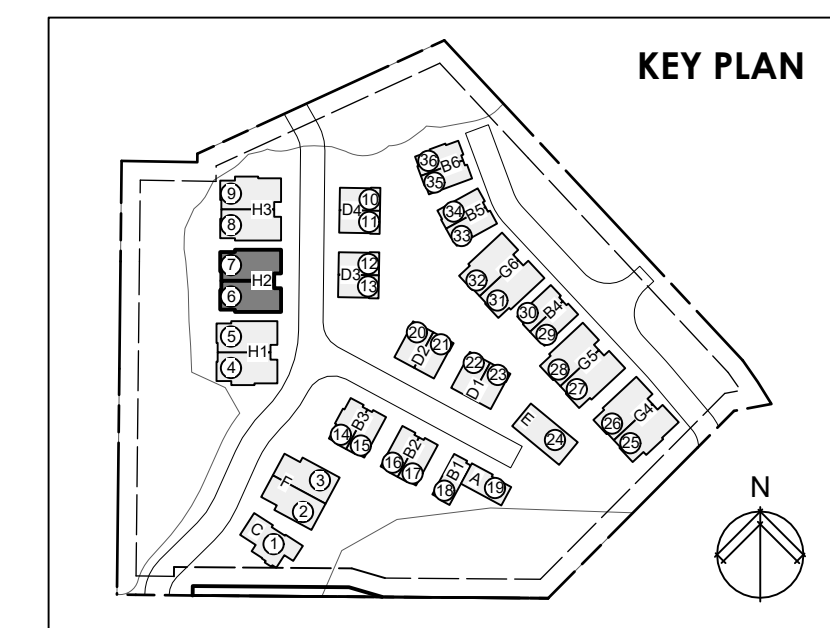
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
ROOF PLAN

PROJECT#	8030	SHEET
SCALE	1/4" = 1'-0"	AH2-2.04
DATE	OCT 1, 2023	

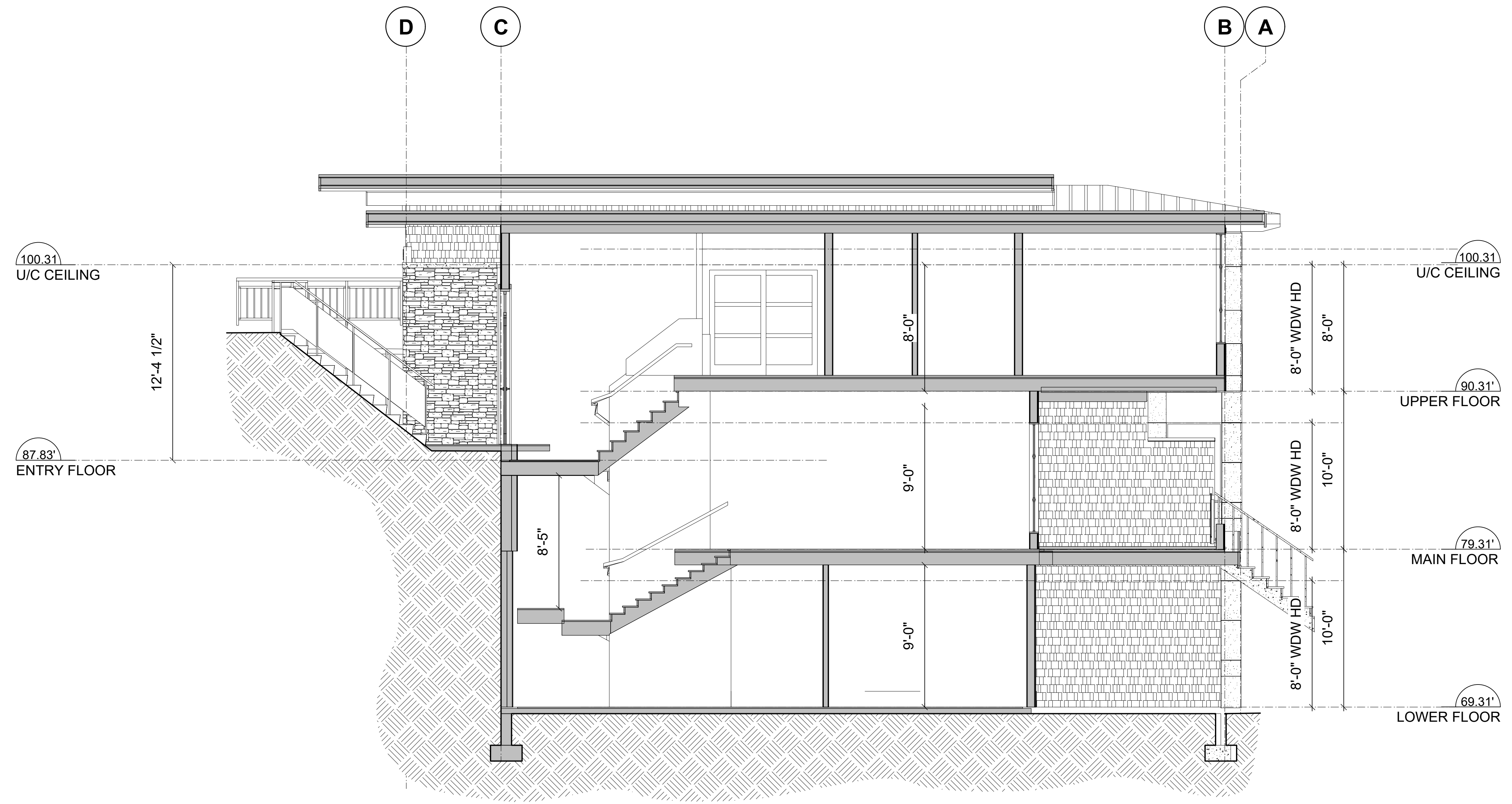


ROOF PLAN
UNIT H2



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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



A SECTION A-A
Scale: 1/4" = 1'-0"



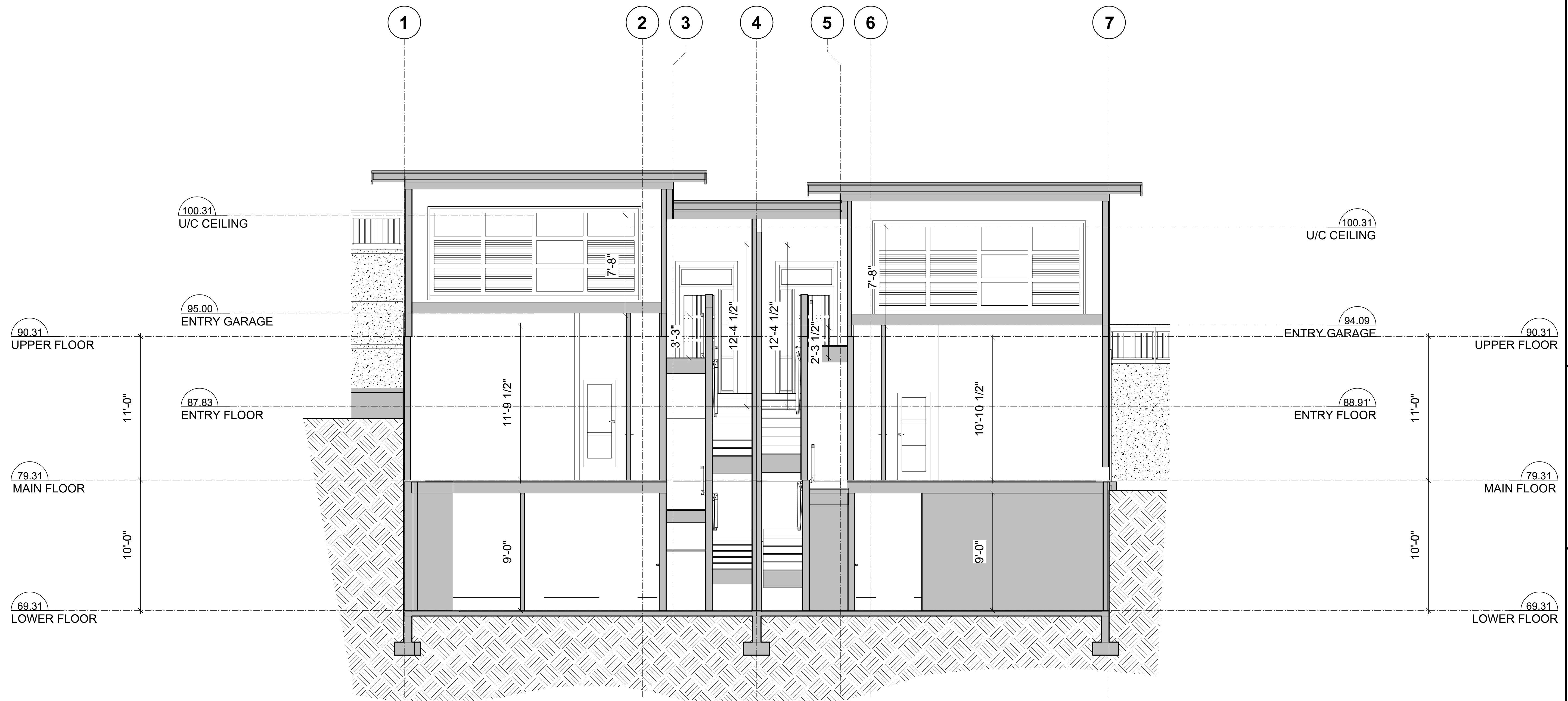
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DRAWING
SECTION A-A

PROJECT #	SHEET
8030	AH2-3.01
SCALE 1/4" = 1'-0"	
DATE OCT 1, 2023	

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



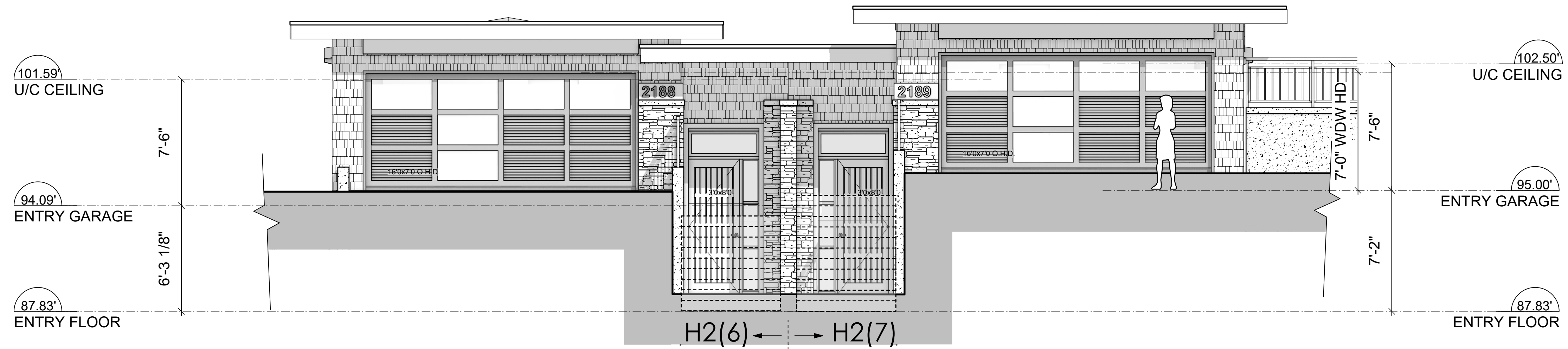
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H2

DRAWING
SECTION B-B

PROJECT#	SHEET
8030	AH2-
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023
	3.02

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



FRONT / ENTRY ELEVATION
UNIT H2



LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(75.37' - 73.29' / 83.29' - 73.29') \times 100 = 20.80\%$
 1,145 (gross area) \times 20.80% = 238.16 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 $(75.37' - 73.29' / 83.29' - 73.29') \times 100 = 20.80\%$
 1,206.8 (gross area) \times 20.80% = 251.01 SF (exemption)

BACK ELEVATION
UNIT H2



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H2

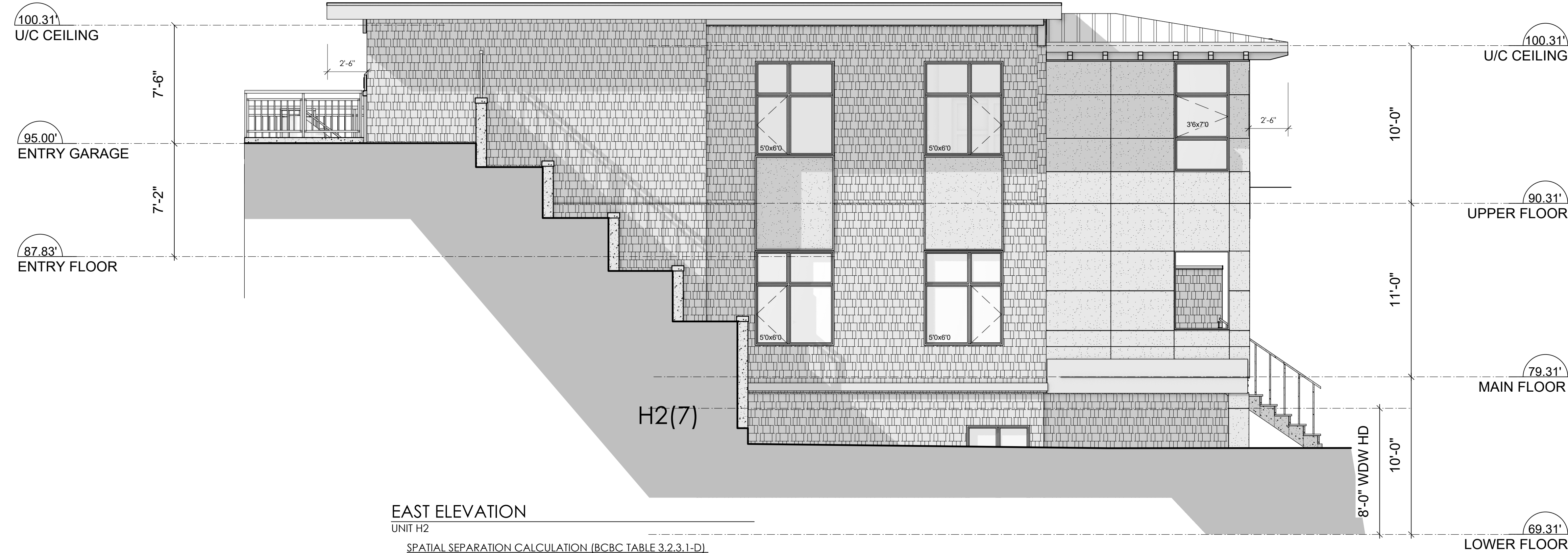
DRAWING
 FRONT & BACK
 ELEVATIONS B/W

PROJECT#	SHEET
8030	AH2-4.01
SCALE	
DATE	

1/4" = 1'-0"
 OCT 1, 2023

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



EAST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1091.70 SF (101.42 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	151.43 SF (14.07 SM)
PROPOSED OPENING:	13.87%
PERMITTED OPENINGS:	14.07%



WEST ELEVATION
UNIT H2

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1263.90 SF (117.42 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	176.50 SF (16.40 SM)
PROPOSED OPENING:	13.96%
PERMITTED OPENINGS:	14.05%



PROJECT

AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

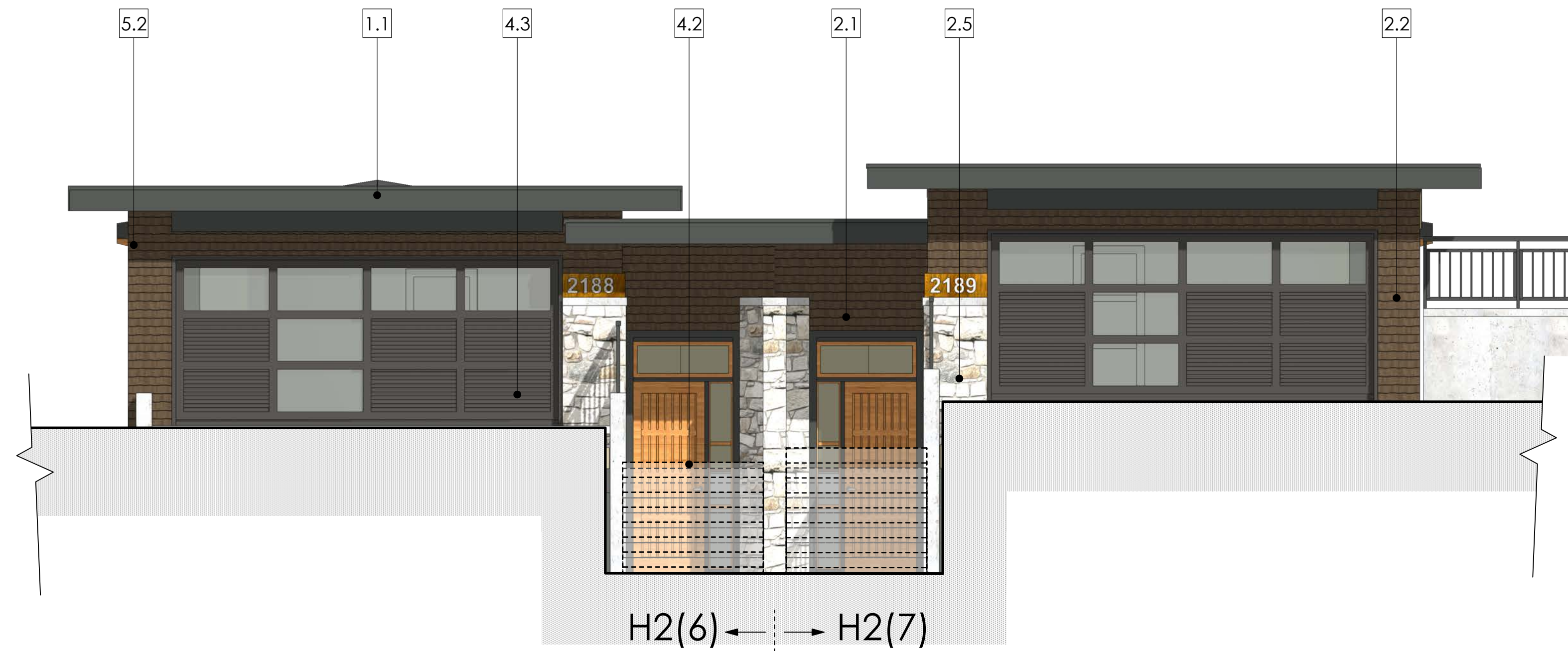
UNIT H2

DRAWING

EAST & WEST ELEVATIONS B/W

PROJECT#	8030	SHEET	AH2-4.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

These plans remain the ownership of Sterling Pacific



FRONT / ENTRY ELEVATION
UNIT H2



BACK ELEVATION
UNIT H2



HARDY PANEL



FIBRE CEMENT SHINGLES -
WOODTONE RUSTIC SERIES
CARBON TRAILS



STONE CLADDING



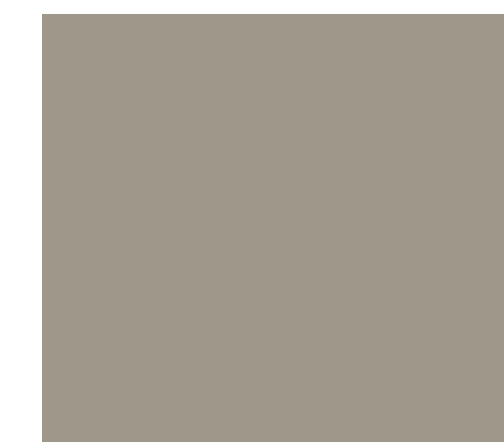
METAL ROOF -
CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
OLD MASTER GEL STAIN C/W
CLEAR TOP COAT - SPECIAL
WALNUT



WINDOW / FASCIA/
BARGE BOARDS & UPSTAND -
CHARCOAL GRAY



SOFFIT -
ROCKPORT GRAY BM - HC - 105



BALCONY -
WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

REVISIONS		
Issued for DP/Rezoning		Aug 31, 2021
DRC/ Public Comment Revisions		MAY 12, 2023
G1, G2, G3 Revisions		JULY 31, 2023
H unit additions		OCT 1, 2023



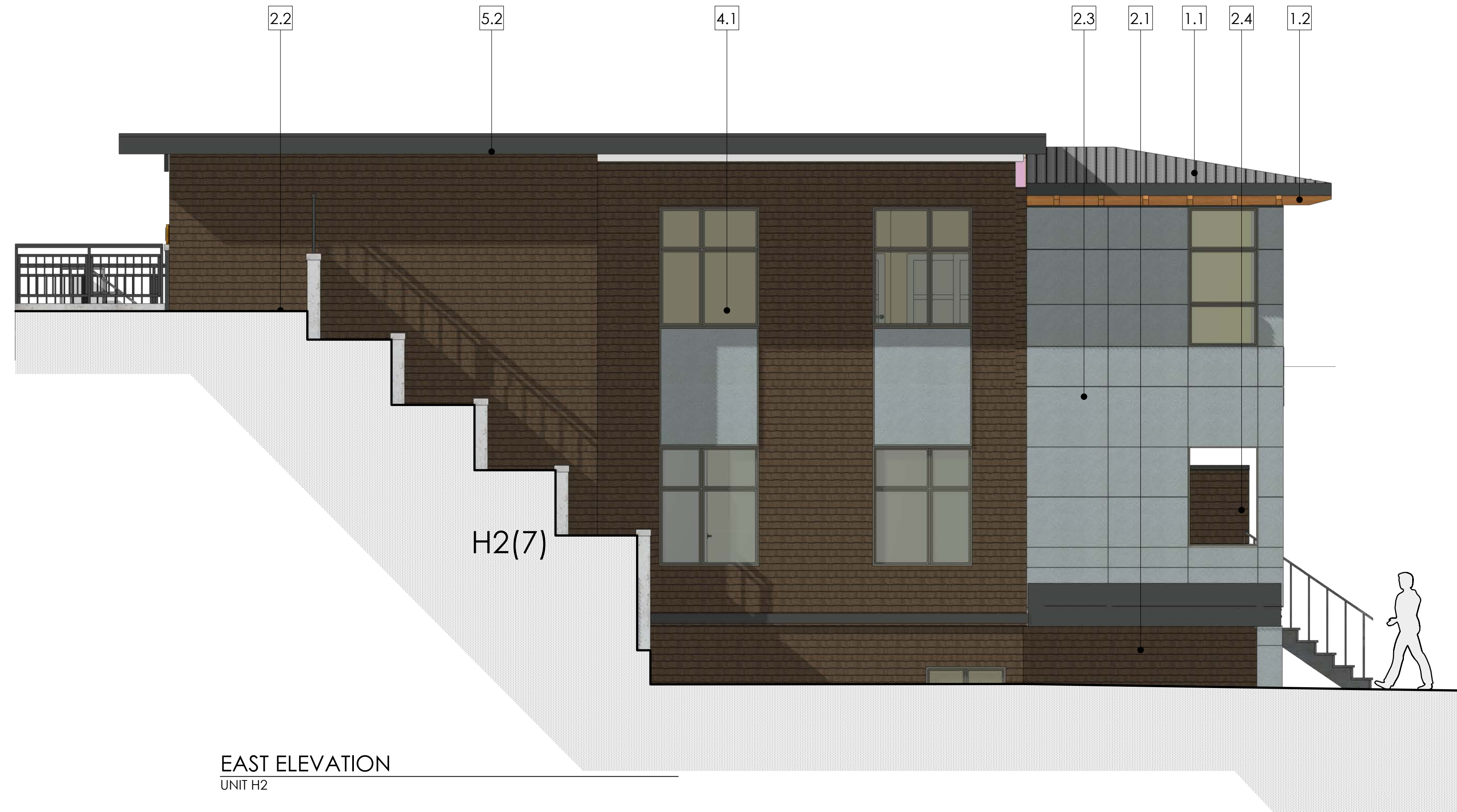
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
**FRONT & BACK
ELEVATIONS**

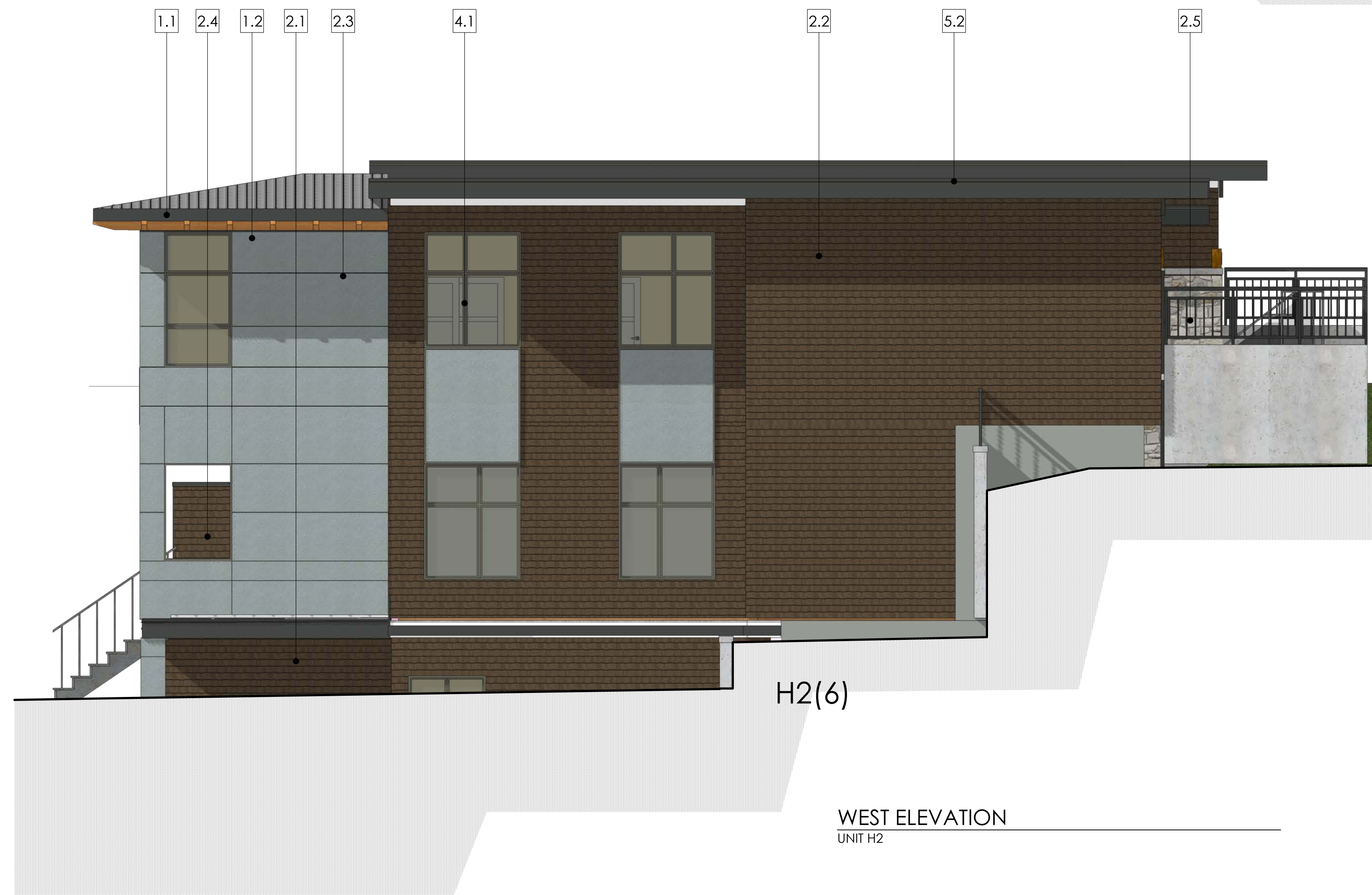
PROJECT #	8030	SHEET	AH2- 4.03
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
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H unit additions	OCT 1, 2023



EAST ELEVATION
UNIT H2



WEST ELEVATION
UNIT H2

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & Sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT

AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

UNIT H2

DRAWING

EAST & WEST
ELEVATIONS

PROJECT#

SHEET

8030

SCALE

**AH2-
4.04**

1/4" = 1'-0"

DATE

OCT 1, 2023

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REVISIONS	
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023



FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



BACK ELEVATION - CAMERA VIEW
UNIT H2



PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H2

DRAWING
FRONT & BACK
ELEVATIONS
CAMERA VIEW

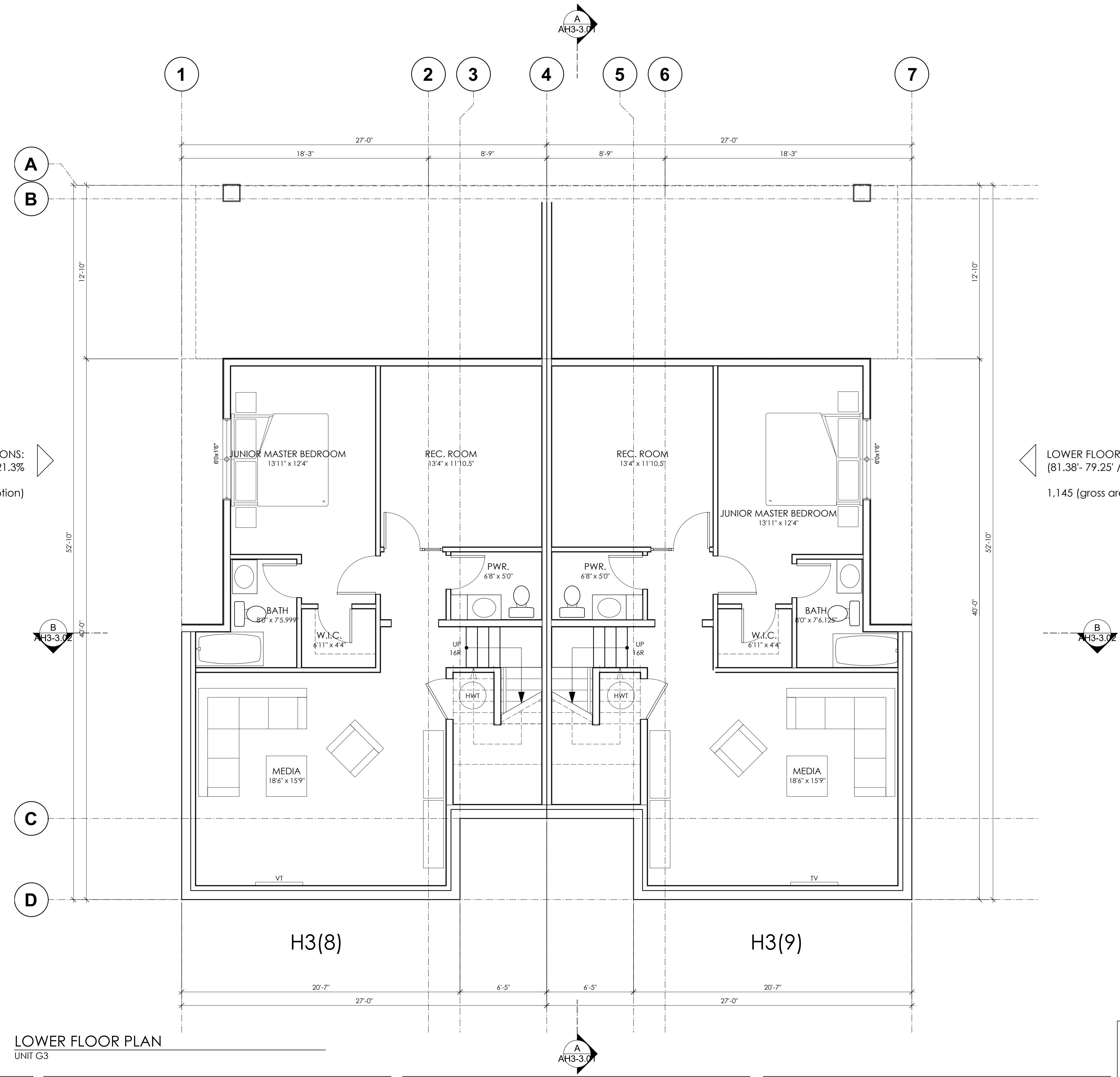
PROJECT #	SHEET	
8030	AH2- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

REVISIONS

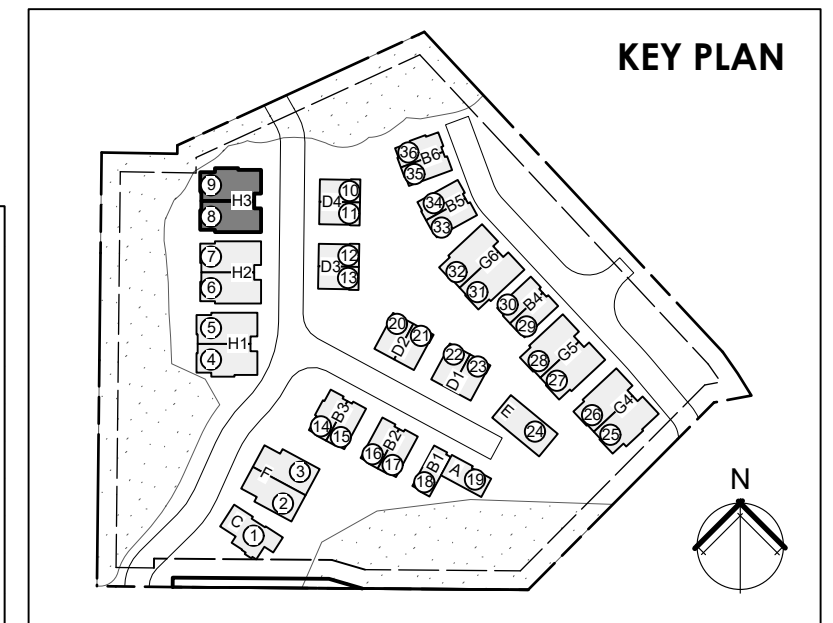
Issued for DP/Rezoning	Aug 31, 2021
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H unit additions	Oct 1, 2023

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (81.38'- 79.25' / 89.25'- 79.25') x 100 = 21.3%
 1,145 (gross area) x 21.3% = 243.89 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
 (81.38'- 79.25' / 89.25'- 79.25') x 100 = 21.3%
 1,145 (gross area) x 21.3% = 243.89 SF (exemption)



LOWER FLOOR PLAN
 UNIT G3



UNIT 8 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1248.6 SF	1279.6 SF	3511.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 21.3%	209.3 SF	0.0 SF	0.0 SF	209.3 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	773.5 SF	1150.2 SF	921.8 SF	2845.4 SF

UNIT 8 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 21.3%	22.7 SM	0.0 SM	0.0 SM	22.7 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	83.7 SM	116.7 SM	92.6 SM	293.0 SM

UNIT 9 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1248.3 SF	1279.3 SF	3510.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 21.3%	209.3 SF	0.0 SF	0.0 SF	209.3 SF
OVERAGE HEIGHT INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	773.5 SF	1149.9 SF	921.4 SF	2844.8 SF

UNIT 9 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 21.3%	22.7 SM	0.0 SM	0.0 SM	22.7 SM
OVERAGE HEIGHT INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	83.7 SM	119.5 SM	95.4 SM	298.6 SM

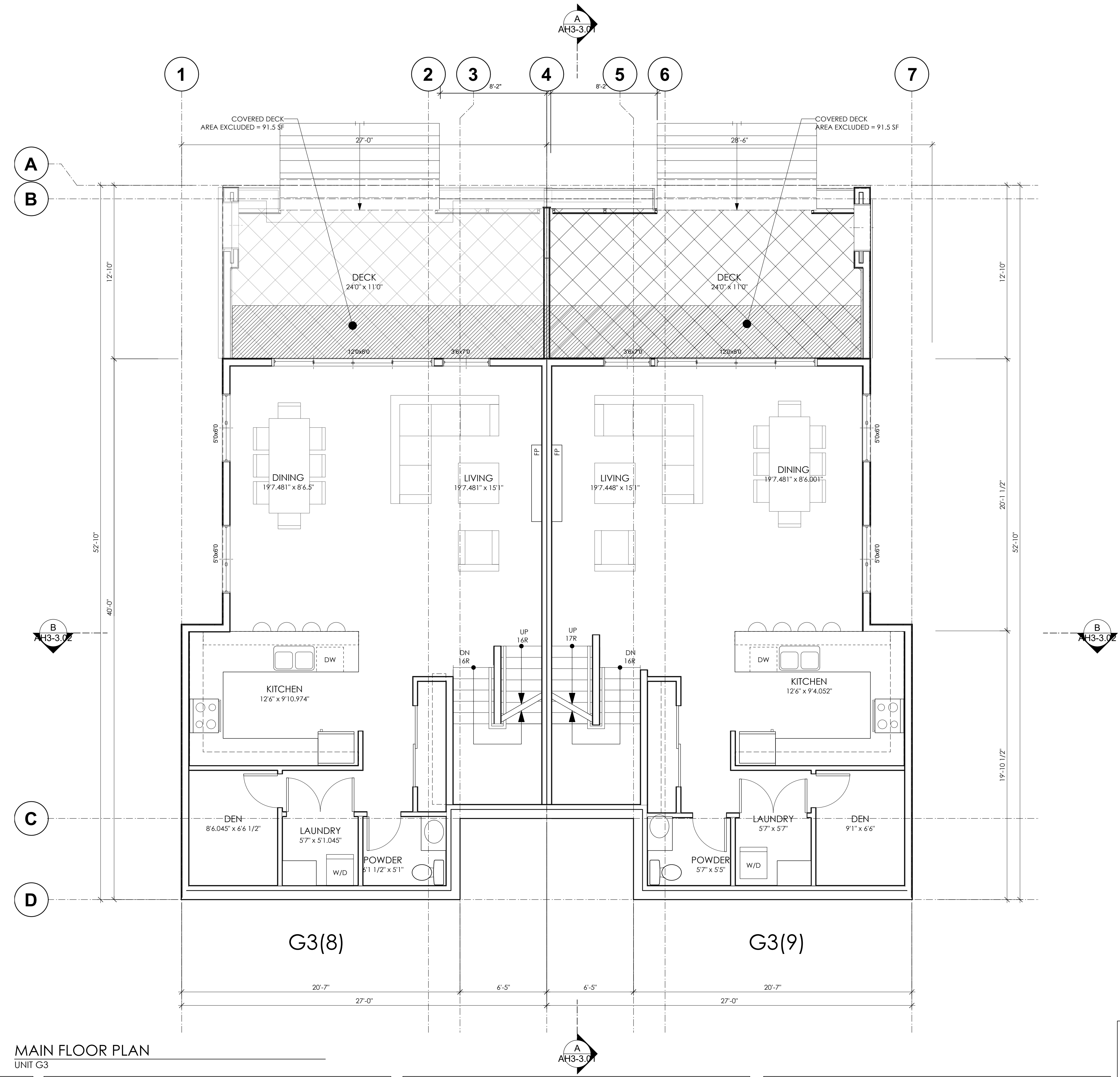
PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 LOWER FLOOR PLAN

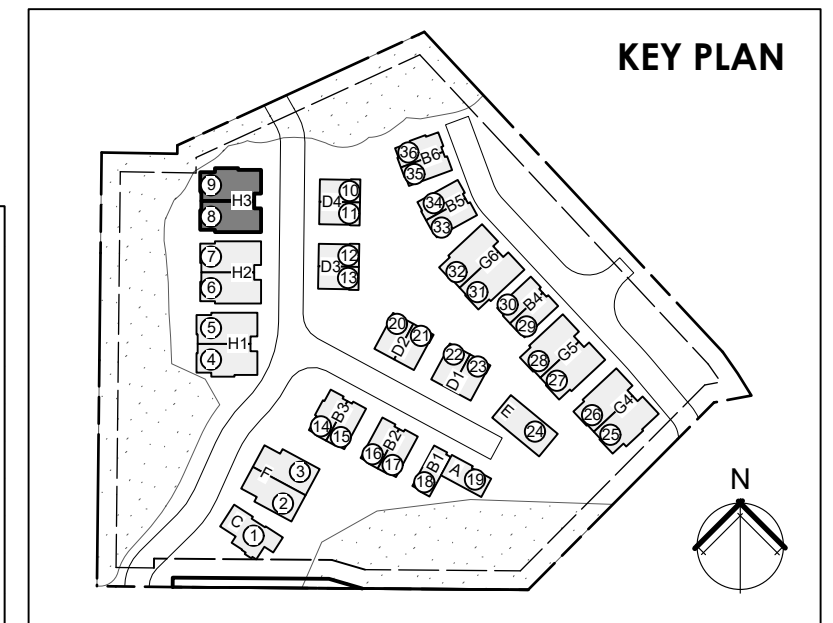
PROJECT#	8030	SHEET	AH3-2.01
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



MAIN FLOOR PLAN
UNIT G3



UNIT 8 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1248.6 SF	1279.6 SF	3511.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 21.3%	209.3 SF	0.0 SF	0.0 SF	209.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	49.0 SF	49.0 SF
NET	773.5 SF	1150.2 SF	921.8 SF	2845.4 SF

UNIT 8 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 21.3%	22.7 SM	0.0 SM	0.0 SM	22.7 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	4.6 SM	4.6 SM
NET	83.7 SM	116.7 SM	92.6 SM	293.0 SM

UNIT 9 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1248.3 SF	1279.3 SF	3510.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 21.3%	209.3 SF	0.0 SF	0.0 SF	209.3 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	0.0 SF	49.0 SF	49.0 SF
NET	773.5 SF	1149.9 SF	921.4 SF	2844.8 SF

UNIT 9 FLOOR AREAS METRIC

	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
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COVERED BALCONY EXCLUSIONS	0.0 SM	0.0 SM	4.6 SM	4.6 SM
NET	83.7 SM	119.5 SM	95.4 SM	298.6 SM

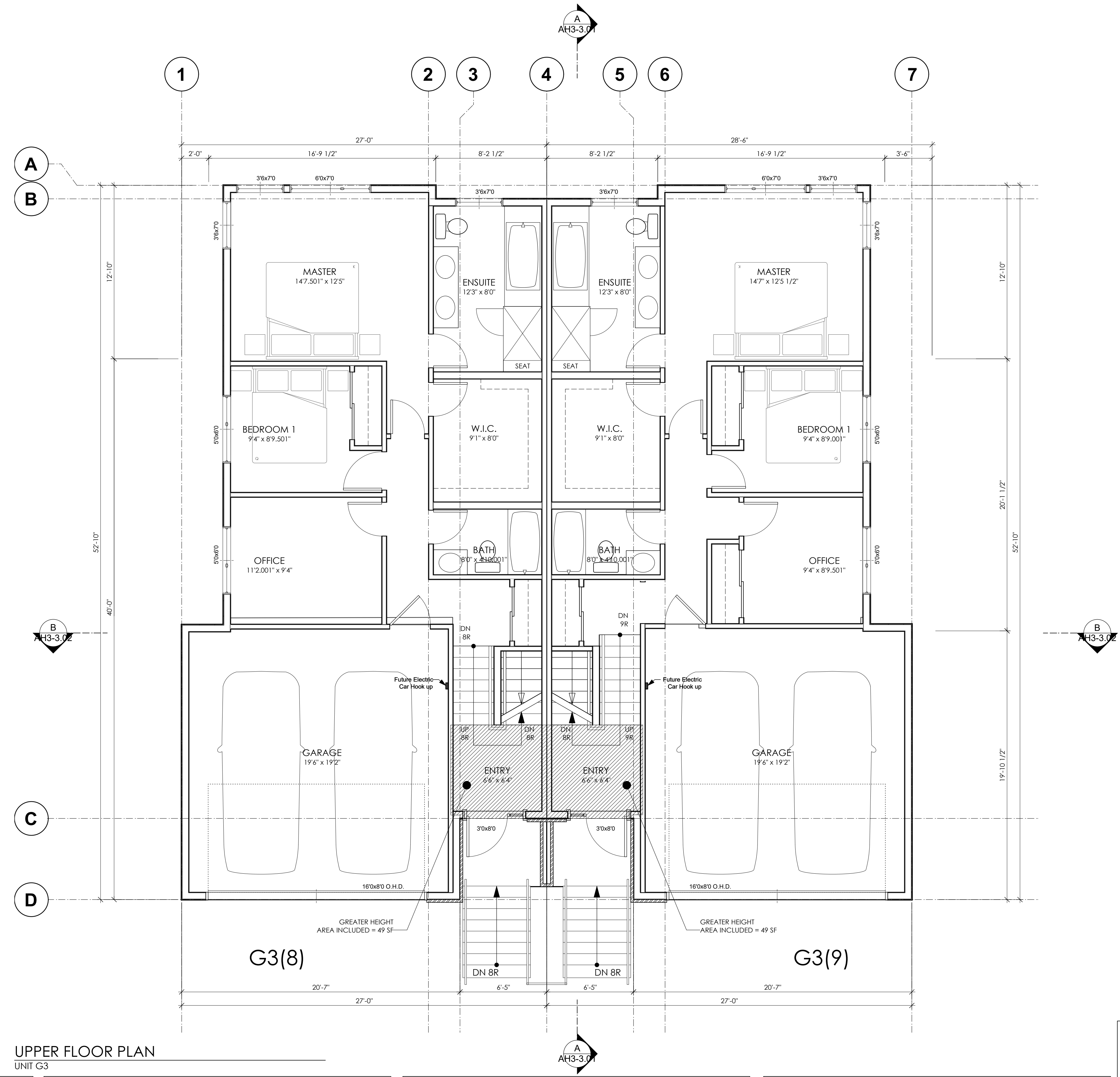
PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H3

DRAWING
MAIN FLOOR PLAN

PROJECT#	8030	SHEET	AH3-2.02
SCALE	1/4" = 1'-0"		
DATE	OCT 1, 2023		

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REVISIONS
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 G1, G2, G3 Revisions JULY 31, 2023
 H unit additions Oct 1, 2023

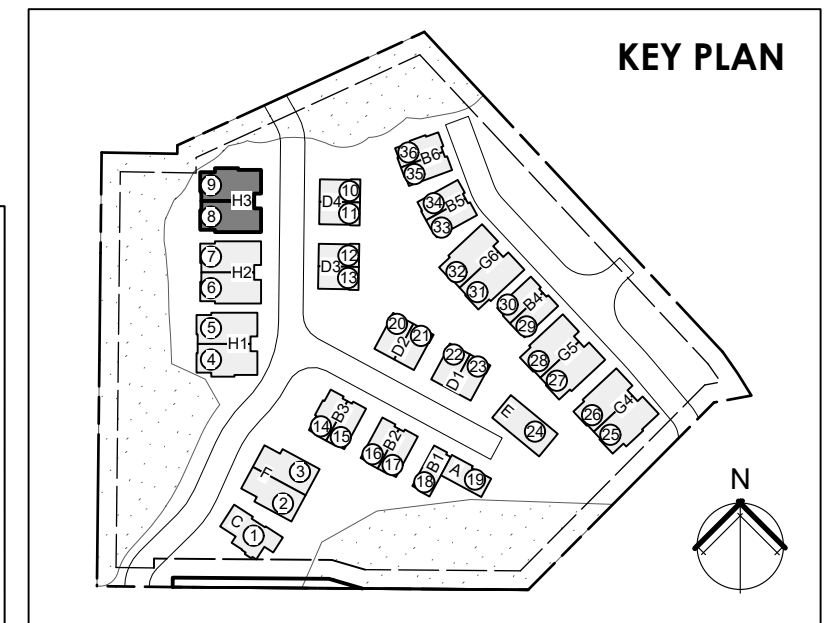


PROJECT
 DAFFODIL DRIVE, WEST VANCOUVER, BC
 UNIT H3

DRAWING
 UPPER FLOOR PLAN

PROJECT# 8030
 SHEET AH3-2.03
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023

UPPER FLOOR PLAN
 UNIT G3



UNIT 8 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1248.6 SF	1279.6 SF	3511.0 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 21.3%	209.3 SF	0.0 SF	0.0 SF	209.3 SF
COVERED BALCONY INCLUSION	0.0 SF	0.0 SF	49.0 SF	49.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	773.5 SF	1150.2 SF	921.8 SF	2845.4 SF

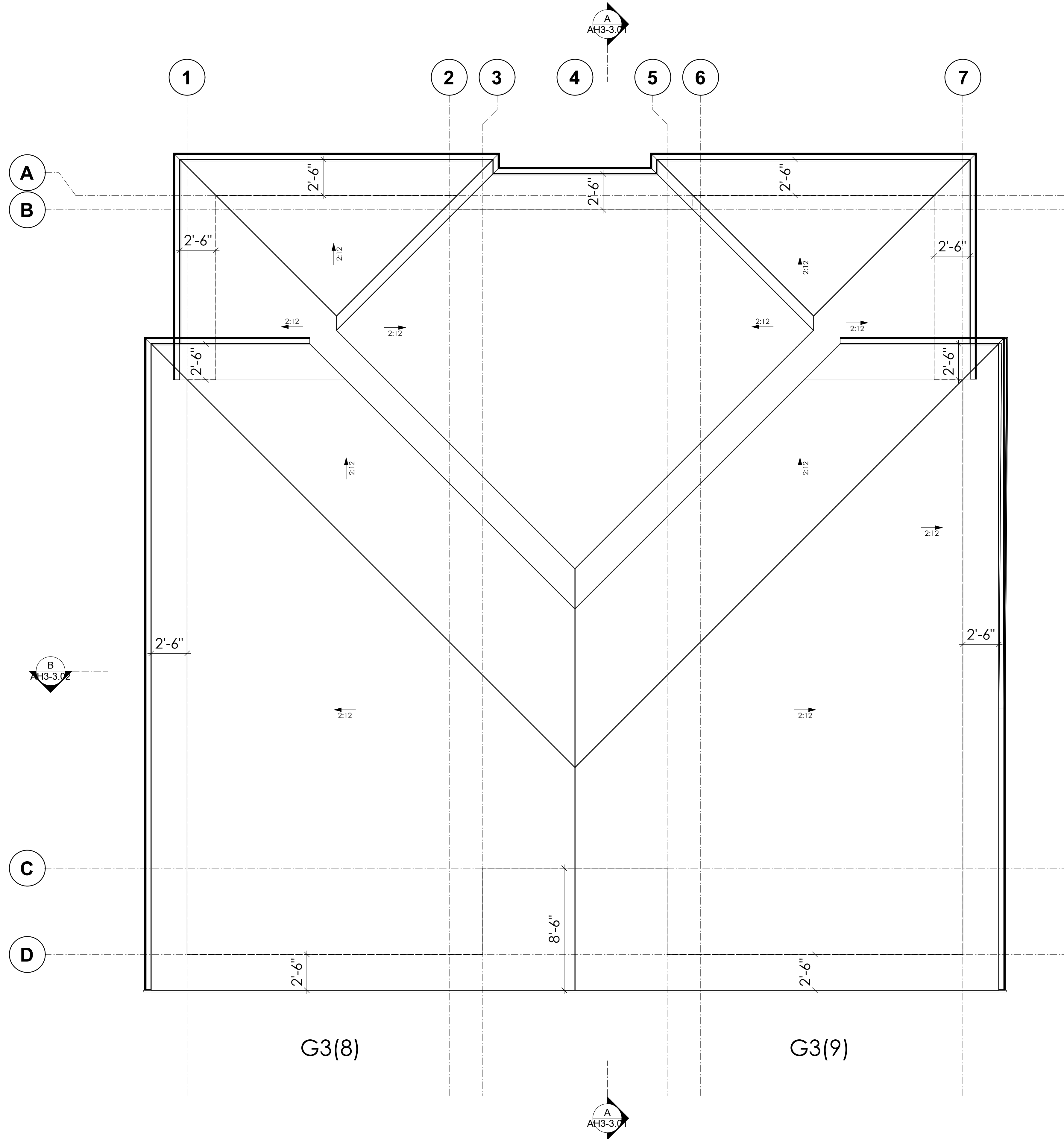
UNIT 8 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
GROSS	106.4 SM	125.8 SM	125.8 SM	358.0 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 21.3%	22.7 SM	0.0 SM	0.0 SM	22.7 SM
COVERED BALCONY INCLUSION	0.0 SM	0.0 SM	4.6 SM	4.6 SM
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UNIT 9 FLOOR AREAS IMPERIAL	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	TOTAL
GROSS	982.8 SF	1248.3 SF	1279.3 SF	3510.4 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
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UNIT 9 FLOOR AREAS METRIC	LEVEL 1 SQ M	LEVEL 2 SQ M	LEVEL 3 SQ M	TOTAL
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H unit additions	Oct 1, 2023

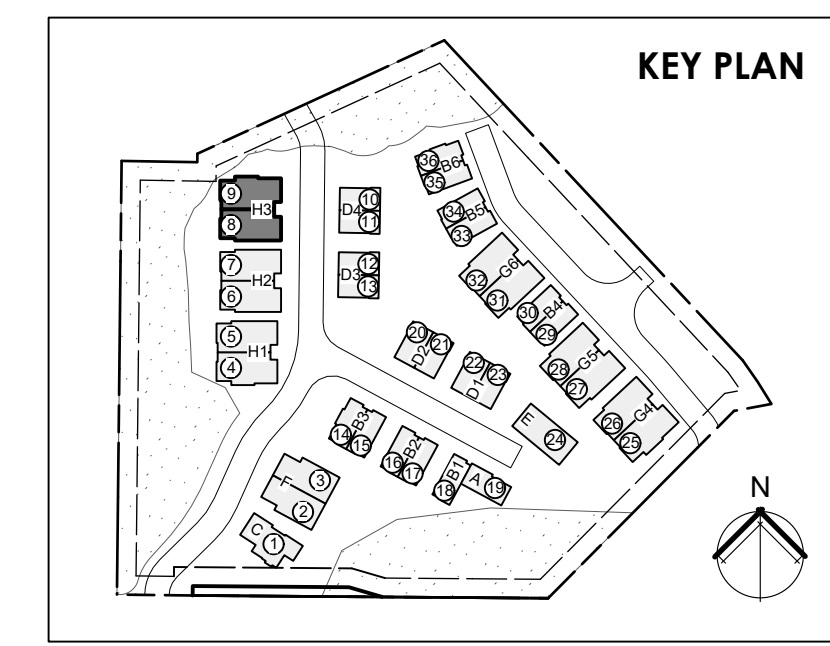


ROOF PLAN
UNIT G3



PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H3

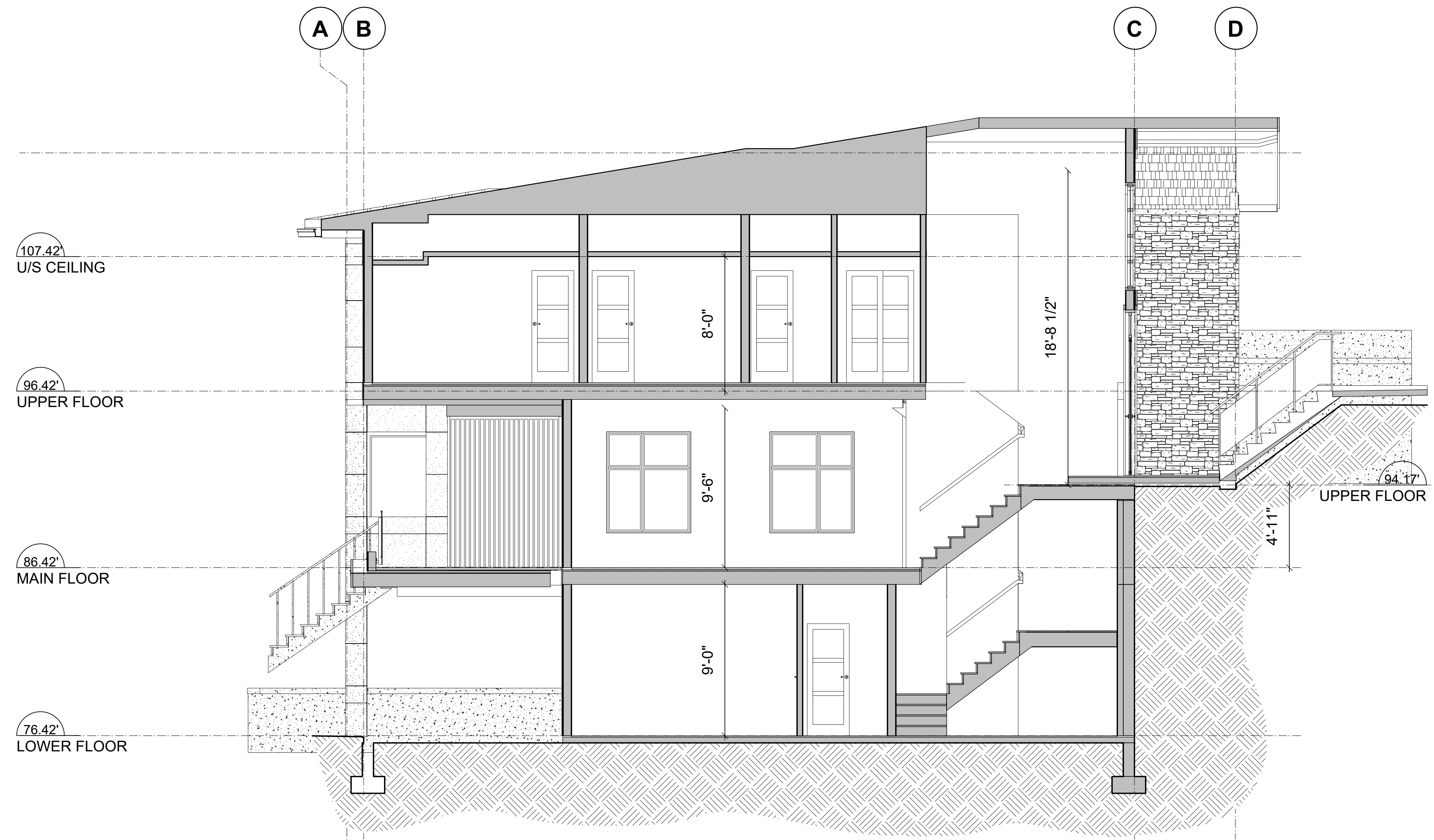
DRAWING
ROOF PLAN



PROJECT#	SHEET
8030	AH3-2.04
SCALE	1/4" = 1'-0"
DATE	OCT 1, 2023

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REVISIONS	
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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



A SECTION A-A
Scale: 1/4" = 1'-0"



PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H3

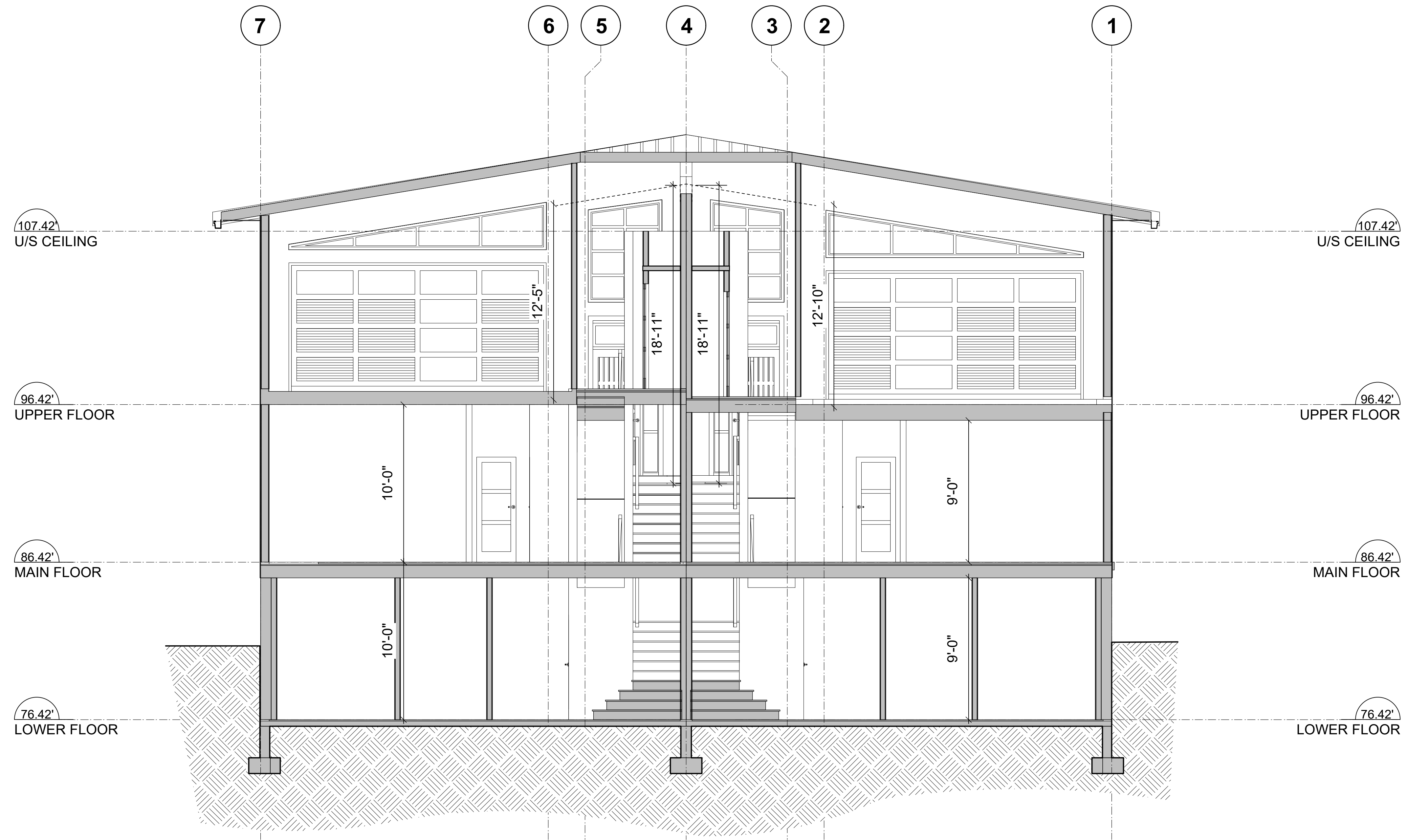
DRAWING
SECTION A-A

PROJECT#	SHEET
8030	AH3-3.01
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

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H unit additions	Oct 1, 2023



B SECTION B-B
Scale: 1/4" = 1'-0"



PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H3

DRAWING
SECTION B-B

PROJECT#	SHEET
8030	AH3-
SCALE 1/4" = 1'-0"	3.02
DATE OCT 1, 2023	

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G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



FRONT / ENTRY ELEVATION
UNIT G3



LOWER FLOOR / BASEMENT EXEMPTIONS:
(81.38'- 79.25' / 89.25'- 79.25') x 100 = 21.3%

1,145 (gross area) x 21.3% = 243.89 SF (exemption)

LOWER FLOOR / BASEMENT EXEMPTIONS:
(81.38'- 79.25' / 89.25'- 79.25') x 100 = 21.3%

1,145 (gross area) x 21.3% = 243.89 SF (exemption)

BACK ELEVATION
UNIT G3



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

DRAWING
FRONT & BACK
ELEVATIONS B/W

PROJECT#	SHEET
8030	AH3- 4.01
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

REVISIONS	
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WEST ELEVATION
UNIT G3

SPATIAL SEPARATION CALCULATION (BCBC TABLE 3.2.3.1-D)

EXPOSED BUILDING FACE:	1352.37 SF (125.64 SM)
LIMITING DISTANCE:	4.00' (1.22 M)
UNPROTECTED OPENING:	176.50 SF (16.40 SM)
PROPOSED OPENING:	13.05%
PERMITTED OPENINGS:	14.04%



PROJECT
DAFFODIL DRIVE, WEST VANCOUVER, BC
UNIT H3

DRAWING
EAST & WEST ELEVATIONS B/W

PROJECT#	SHEET
8030	AH3-4.02
SCALE	
DATE	

1/4" = 1'-0"
OCT 1, 2023

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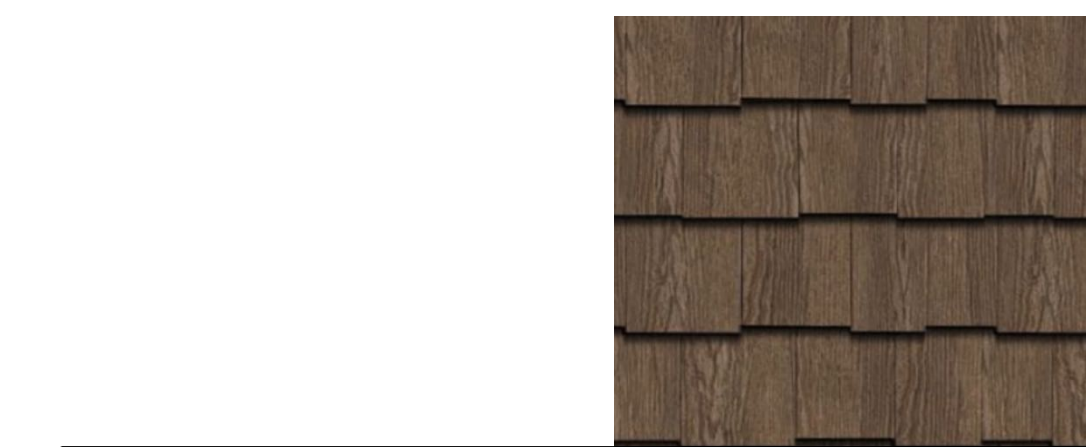
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FRONT / ENTRY ELEVATION
 UNIT G3

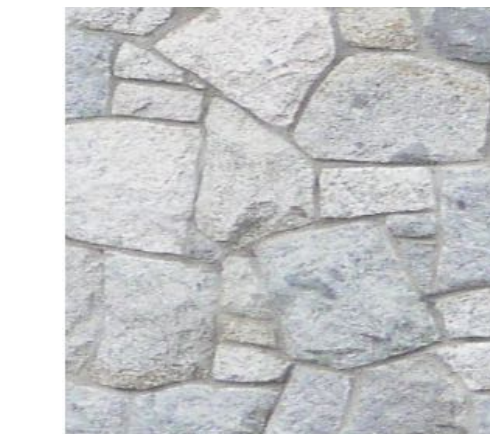


BACK ELEVATION
 UNIT G3



HARDY PANEL

FIBRE CEMENT SHINGLES -
 WOODTONE RUSTIC SERIES
 CARBON TRAILS



STONE CLADDING



METAL ROOF -
 CHARCOAL GRAY



ENTRY DOOR STILEWOOD -
 OLD MASTER GEL STAIN C/W
 CLEAR TOP COAT - SPECIAL
 WALNUT



WINDOW / FASCIA/
 BARGE BOARDS & UPSTAND -
 CHARCOAL GRAY



SOFFIT -
 ROCKPORT GRAY BM - HC - 105



BALCONY -
 WROUGHT IRON BM - 2124-10

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
3.2	Prefinished metal counter flashing fascia	Wrought Iron BM - 2124 - 10
4.1	Double-glazed vinyl windows & sliding-glazed doors	Charcoal Gray
4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
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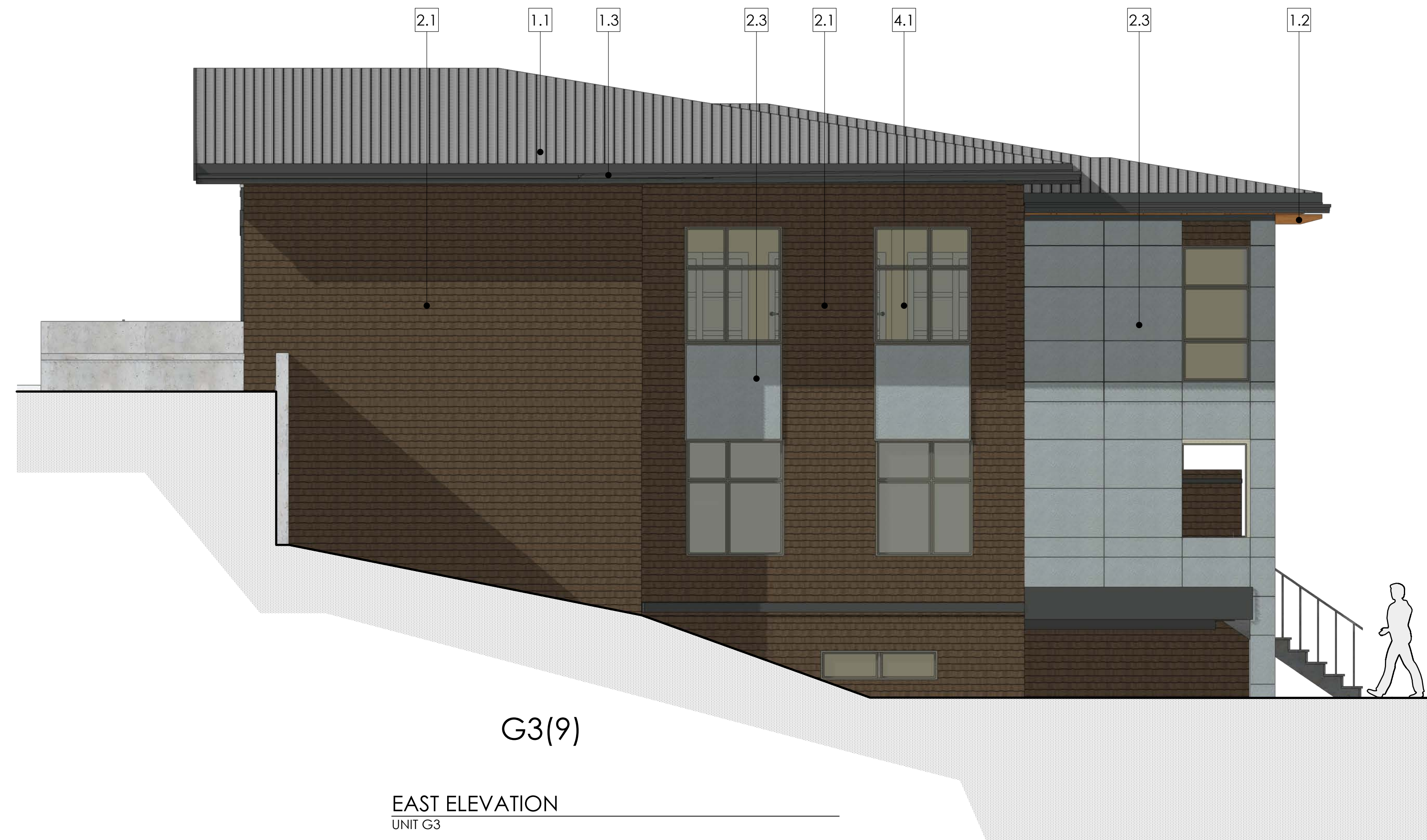
PROJECT
 DAFFODIL DRIVE, WEST
 VANCOUVER, BC
 UNIT H3

DRAWING
 FRONT & BACK
 ELEVATIONS

PROJECT# 8030
 SCALE 1/4" = 1'-0"
 DATE OCT 1, 2023
 SHEET
AH3-4.03

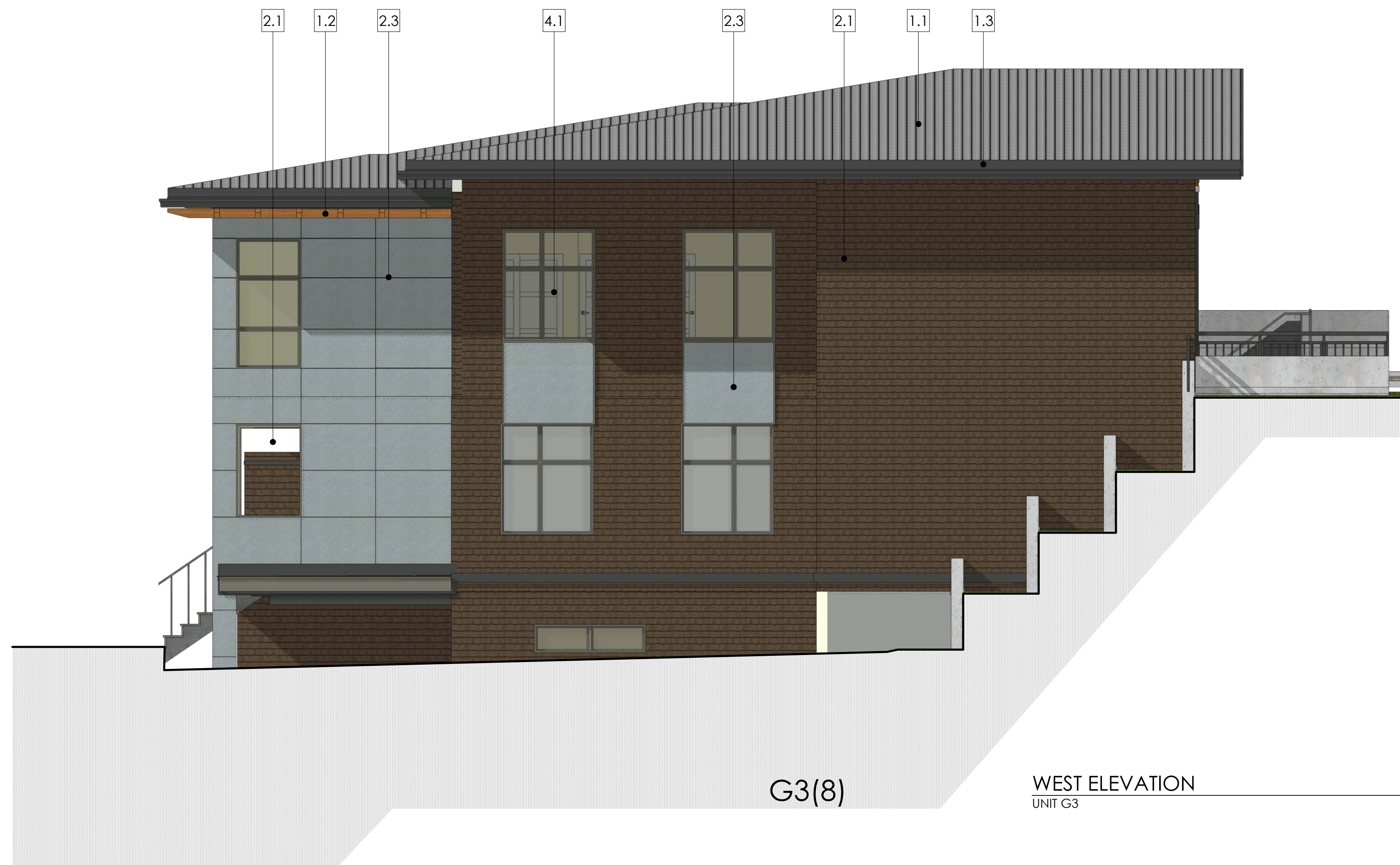
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G3(9)

EAST ELEVATION
UNIT G3



G3(8)

WEST ELEVATION
UNIT G3

AQUILA EXTERIOR MATERIAL SCHEDULE		
No.	Material	Colour
1.1	Class "A" Metal Roof	Charcoal Gray
1.2	Fibre Cement Soffit	Rockport Gray BM- HC-105
1.3	Gutter	Charcoal Gray
2.1	Fibre Cement Shingles	Woodtone Rustic Series Carbon Trails
2.2	Not used	
2.3	Hardy Panel	Light mist
2.4	Not used	
2.5	Stone	Random Granite
3.1	Upstand balcony curb c/w prefinished metal counter & cap flashing	Wrought Iron BM - 2124 - 10
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4.2	Entry door painted c/w transom and sidelight	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
4.3	Insulated fiberglass painted garage door c/w frosted glass 75% (see elev.)	Charcoal Gray
4.4	Stachion glass guardrail system c/w glass cap	Charcoal Gray
5.1	Fire resistive treated wood	Stilewood - Old Master Gel Stain c/w clear top coat - Special Walnut
5.2	Prefinished metal flashing	Charcoal Gray
5.3	Steel post (painted finish)	Charcoal Gray

PROJECT

DAFFODIL DRIVE, WEST VANCOUVER, BC

UNIT H3

DRAWING

EAST & WEST ELEVATIONS

PROJECT#

SHEET

8030

SCALE

AH3-

1/4" = 1'-0"

DATE

4.04

OCT 1, 2023

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FRONT / ENTRY ELEVATION - CAMERA VIEW
UNIT G3



BACK ELEVATION - CAMERA VIEW
UNIT G3



BACK ELEVATION - CAMERA VIEW
UNIT H3



PROJECT
DAFFODIL DRIVE, WEST
VANCOUVER, BC
UNIT H3

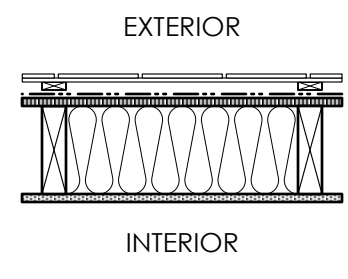
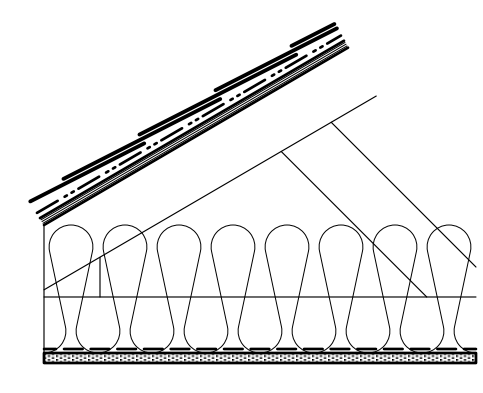
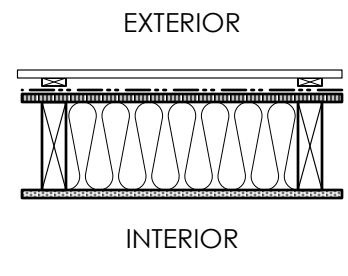
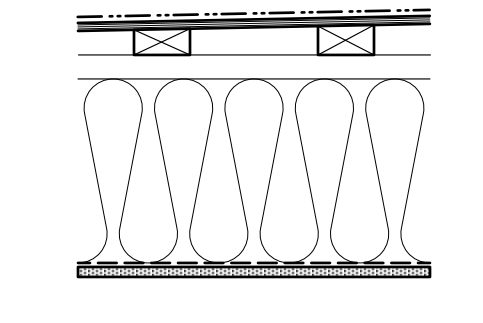
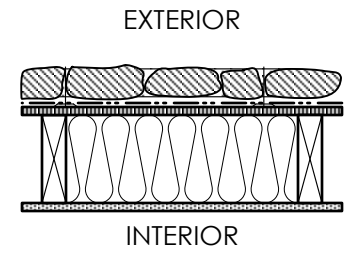
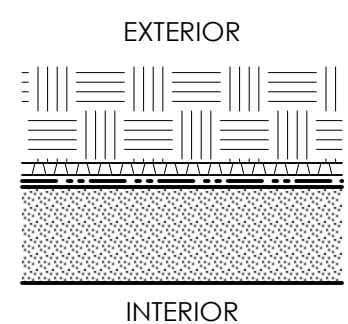
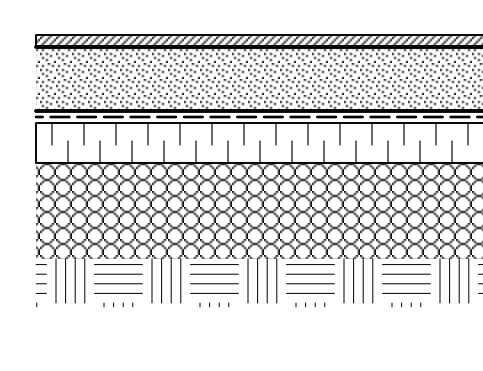
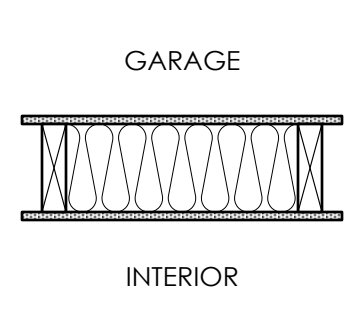
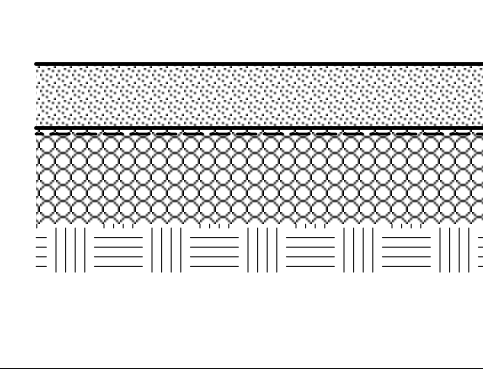
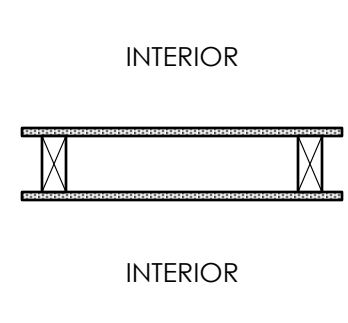
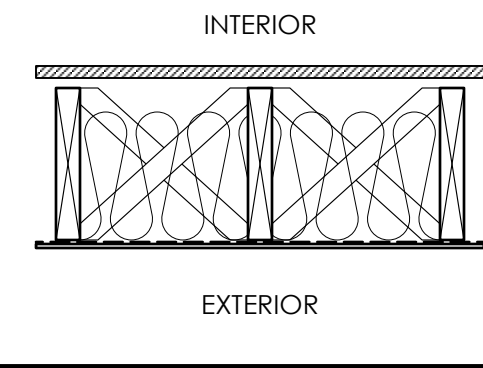
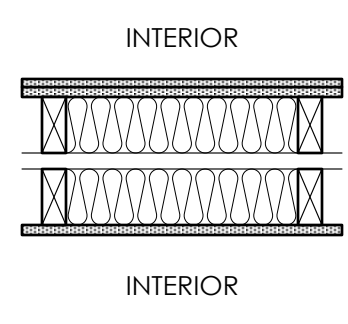
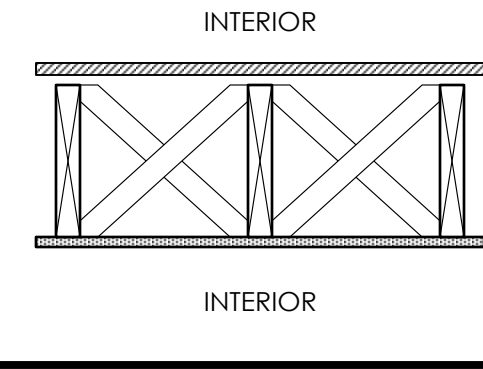
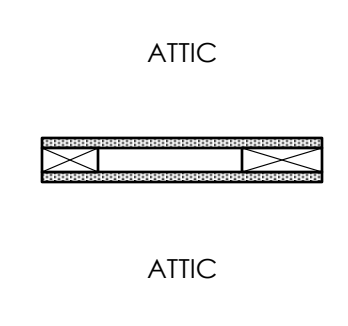
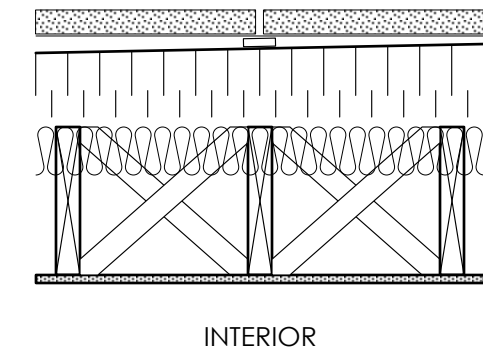
DRAWING
FRONT & BACK
ELEVATIONS -
CAMERA VIEW

PROJECT#	SHEET	
8030	AH3- 4.05	
SCALE		N.T.S.
DATE		OCT 1, 2023

WALL SCHEDULE

*plan section

ROOF SCHEDULE

WALL ASSEMBLY		REQUIRED	PROVIDED	LISTING REF.	NOTES	ROOF ASSEMBLY		REQUIRED	PROVIDED	LISTING REF.	NOTES						
W1 HOR. VINYL - F.R.R. - S.T.C. 17.38 EFF. R VALUE		CEDAR SIDING W/ WOOD CORNER TRIM 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY TYVEK HOME WRAP 7/16" OSB SHEATHING 2 x 6 STUDS @ 16" O.C. W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A.D.A.) VAPOUR BARRIER PAINT	F.R.R.	N/A	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)	TYPICAL TRUSS ROOF 	LAMINATED FIBREGLASS SHINGLES NO. 15 NON-PERFORATED ROOFING FELT AS REQUIRED PER SHINGLE MANUFACTURER'S SPECIFICATIONS 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) ENGINEERED ROOF TRUSSES @ 24" O.C. W/ R40 F.G. LOOSE-FILL INSULATION 6 MIL POLY VAPOUR BARRIER 5/8" GYPSUM WALL BOARD	F.R.R.	N/A	N/A	1. PROVIDE EAVES PROTECTION AS PER B.C.B.C. 9.26.5.					
													S.T.C.	N/A	N/A	N/A	
													F.R.R.	N/A	N/A	N/A	
													S.T.C.	40.53	EFF. R VALUE		
W1 HOR. VINYL - F.R.R. - S.T.C. 17.38 EFF. R VALUE		FIBRE CEMENT PANELS 1/2" PWF OR CCA PLYWOOD STRAPPING FOR RAINSCREEN CAVITY TYVEK HOME WRAP 7/16" OSB SHEATHING 2 x 6 STUDS @ 16" O.C. W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A.D.A.) VAPOUR BARRIER PAINT	F.R.R.	N/A	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)	TYPICAL RAFTER ROOF 	2 PLY SBS TORCH ON MEMBRANE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING (REFER TO STRUCTURAL) TAPERED PURLINS 2 x 4 WOOD PURLINS FOR VENTILATION (REFER TO STRUCTURAL) 2 x 12 ROOF RAFTER @ 16" O.C. (REFER TO STRUCTURAL) W/ R40 F.G. BATT INSULATION 6 MIL POLY VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM WALL BOARD	RSI	5.28 (R 30 - EFF.)	5.85 (R 33 - EFF.)	REF. ENERGY REPORT	1. PROVIDE EAVES PROTECTION AS PER B.C.B.C. 9.26.5.				
														F.R.R.	3/4 HR.	3/4 HR.	B.C.B.C. TABLE D-2.3.4.A, D-2.3.4.C, D-2.3.4.D.
														S.T.C.	N/A	N/A	N/A
														F.R.R.	N/A	N/A	N/A
W1 HOR. VINYL - F.R.R. - S.T.C. 17.38 EFF. R VALUE		2" STONE VENEER FACING C/W GLAVANIZED METAL TIES 16" VERTICAL AND 32" HORIZONTAL 1" AIR SPACE TYVEK HOME WRAP 7/16" OSB SHEATHING (REFER TO STRUCTURAL) 2 x 6 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A.D.A.) VAPOUR BARRIER PAINT	F.R.R.	N/A	N/A	1. INSTALL STRAPPING IN LINE WITH WALL STUDS. 2. VENT HOLES ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STUD CAVITY (MINIMUM 6 SQ. IN. AT EACH LOCATION)	FLOOR SCHEDULE										
													S.T.C.	N/A	N/A	N/A	
													F.R.R.	N/A	N/A	N/A	
													S.T.C.	N/A	N/A	N/A	
W2 - F.R.R. - S.T.C. 13.14 EFF. R VALUE		DELTA DRAIN MAT TO OUTSIDE BELOW GRADE 2 LAYERS OF BITUMINOUS DAMPROOFING BELOW GRADE 8" CONCRETE WALL (REFER TO STRUCTURAL FOR REQ'D REINFORCING)	F.R.R.	N/A	N/A	1. REFER TO STRUCTURAL FOR WALL THICKNESS	SLAB ON GRADE AT CONDITIONED SPACE 	FINISHED FLOORING CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REQUIRED REINFORCING) 10 MIL U.V. POLY R12 RIGID INSULATION DOWN TO FOOTING VERT. OR 1.2 M VERT. OR 1.2 M HOR. (PER B.C.B.C. 9.36.2.8.(4)) 6" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDISTURBED SOIL	F.R.R.	N/A	N/A	N/A					
													F.R.R.	N/A	N/A	N/A	
													S.T.C.	N/A	N/A	N/A	
													S.T.C.	13.14	EFF. R VALUE		
W3 - F.R.R. - S.T.C. 14.18 EFF. R VALUE		1/2" GYPSUM WALL BOARD 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ R20 F.G. BATT INSULATION 1/2" GYPSUM WALL BOARD (A.D.A.) VAPOUR BARRIER PAINT	F.R.R.	N/A	N/A	1. FOR GYPSUM IN GARAGE: MUD JOINTS & SCREW HEADS. TAPE JOINTS FOR GAS SEAL. STUD SIZES WILL BE 2 x 4 UNLESS OTHERWISE NOTED. 3. WHERE FRAMING IS BUILT-UP FOR PLUMBING, PLUMBING SHALL BE ON THE WARM SIDE OF INSULATION.	SLAB ON GRADE AT UNCONDITIONED SPACE 	CONCRETE SLAB (REFER TO STRUCTURAL FOR THICKNESS AND REQUIRED REINFORCING) 10 MIL U.V. POLY 6" COMPACTED GRANULAR FILL (AS PER SOILS REPORT) UNDISTURBED SOIL	F.R.R.	N/A	N/A	N/A	1. PROVIDE MIN. SLOPE OF 2% TO DRAIN AS PER ARCHITECTURAL PLAN.				
														F.R.R.	N/A	N/A	N/A
														S.T.C.	N/A	N/A	N/A
														S.T.C.	N/A	N/A	N/A
W4 - F.R.R. - S.T.C. EFF. R VALUE		1/2" GYPSUM WALL BOARD 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) 1/2" GYPSUM WALL BOARD	F.R.R.	N/A	N/A	1. STUD SIZES WILL BE 2 x 4 UNLESS OTHERWISE NOTED	TYPICAL CANTILEVERED WOOD FRAMED FLOOR 	FINISHED FLOORING 5/8" T & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 2 x 10 WOOD JOISTS (REFER TO STRUCTURAL) W/ 2X2 CROSS BRIDGING (REFER TO STRUCTURAL) AND W/ R28 F.G. BATT INSULATION 6 MIL POLY AIR/VAPOUR BARRIER NON-VENTED FIBRE CEMENT SOFFIT	Effective RSI	4.2 R24	Energy Performance Design Report	1. *REFER TO ARCHITECTURAL DETAILS FOR SOFFIT TYPE.					
													F.R.R.	N/A	N/A	N/A	
													S.T.C.	N/A	N/A	N/A	
													S.T.C.	N/A	N/A	N/A	
W5 1 HR. F.R.R. 57+ S.T.C. EFF. R VALUE		1/2" GYPSUM WALL BOARD 5/8" TYPE 'X' GYPSUM WALL BOARD 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ F.G. BATT INSULATION TO FILL CAVITY 1" AIR SPACE 2 x 4 STUDS @ 16" O.C. (REFER TO STRUCTURAL) W/ F.G. BATT INSULATION TO FILL CAVITY 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	1. WHERE REQUIRED FOR STRUCTURAL, 1/2" PLYWOOD MAY REPLACE 1/2" GYPSUM WALL BOARD EXCEPT PLYWOOD IS PLACED DIRECTLY AGAINST OUTSIDE FACE OF PARTY WALL FRAMING (NOT IN 1" AIR SPACE). 2. PROVIDE METAL FIRESTOP OR CONTINUOUS PLYWOOD AT EACH FLOOR THROUGH AIR SPACE.	TYPICAL INTERIOR WOOD FRAMED FLOOR 	FINISHED FLOORING 5/8" T & G PLYWOOD SUBFLOORING (GLUED AND SCREWED) 2 X10 WOOD JOISTS (REFER TO STRUCTURAL) W/ 2X2 CROSS BRIDGING IF REQUIRED PER STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALL BOARD	RSI	N/A	N/A	N/A					
													F.R.R.	3/4 HR.	1 HR.	LS01 BXUV7 CAN/UJLC-S101	
													S.T.C.	N/A	N/A	N/A	
													S.T.C.	N/A	N/A	N/A	
W6 1 HR. F.R.R. S.T.C. EFF. R VALUE		5/8" TYPE 'X' GYPSUM WALL BOARD NON-STRUCTURAL ENGINEERED WOOD PARTY TRUSS (REFER TO STRUCT.) 5/8" TYPE 'X' GYPSUM WALL BOARD	F.R.R.	1 HR.	1 HR.	1. STAGGER, TAPE, & MUD JOINTS ON EITHER SIDE OF DRYWALL.	TYPICAL WOOD FRAMED DECK OVER LIVING SPACE 	DECORATIVE LANDSCAPE PAVERS (REFER TO LANDSCAPE) PROTECTION BOARD 2 PLY TORCH ON MEMBRANE MIN. R20 TYPE 3 EXTRUDED RIGID INSULATION SELF ADHERED VAPOUR BARRIER 1/2" EXTERIOR GRADE PLYWOOD SHEATHING 2X10 WOOD JOISTS (REFER TO STRUCTURAL) 2X2 CROSS BRIDGING (REFER TO STRUCTURAL) R14 BATT INSULATION 1/2" GYPSUM WALL BOARD	Effective RSI	4.3 R24	Energy Performance Design Report	COMPONENT ADDITIVE APPENDIX D TABLES D-2.3.4-B/F/G					
													F.R.R.	3/4 HR.	1 HR.	N/A	
													S.T.C.	N/A	N/A	N/A	
													S.T.C.	N/A	N/A	N/A	

NOTE FOR ALL WALL ASSEMBLIES: ADD PLYWOOD ON EITHER ONE OR BOTH SIDES OF STUDS WHERE REQUIRED (REFER TO STRUCTURAL)

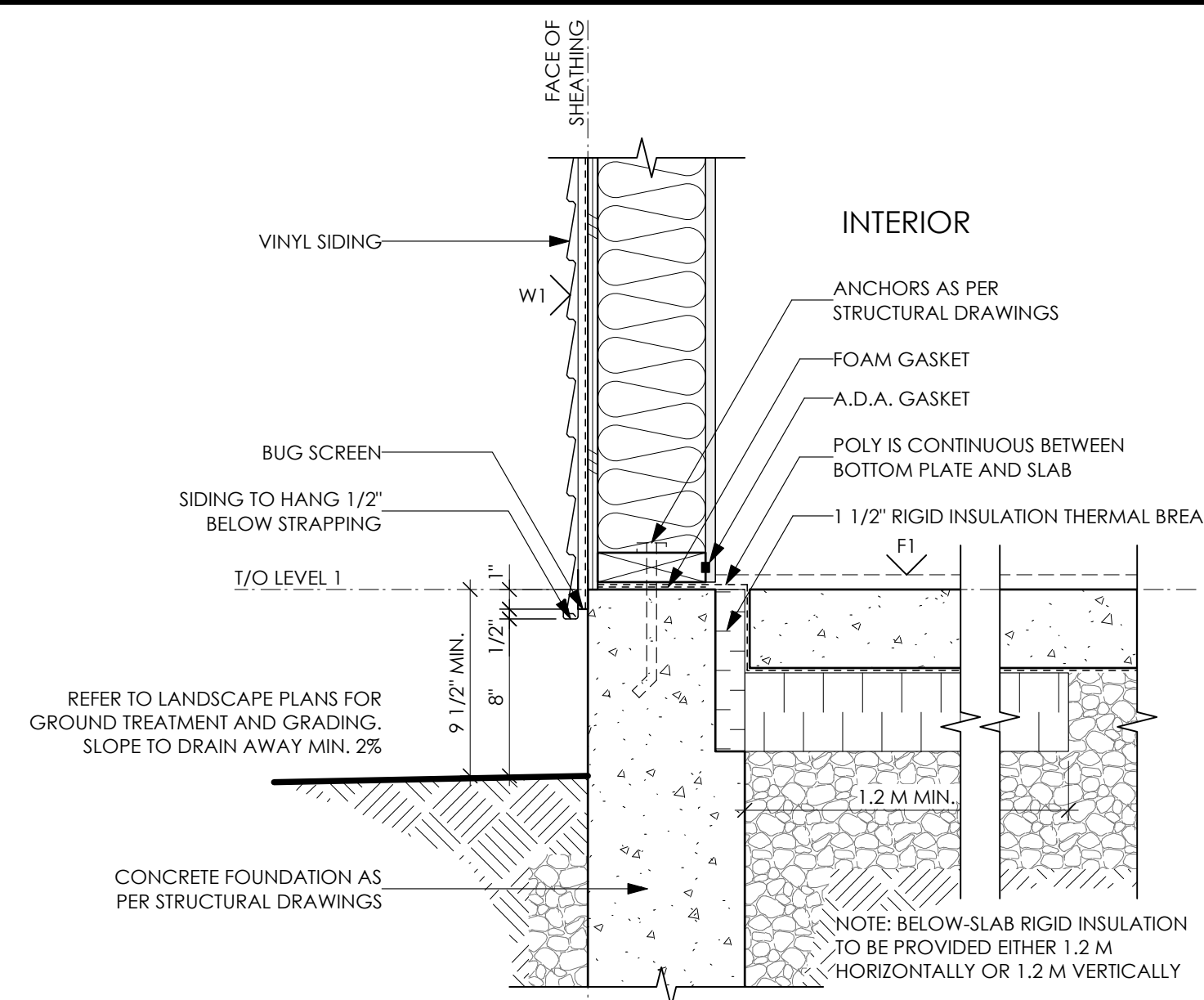
REVISIONS		
Issued for DP/Rezoning	Aug 31, 2021	
DRC/ Public Comment Revisions	MAY 12, 2023	
G1, G2, G3 Revisions	JULY 31, 2023	
H unit additions	OCT 1, 2023	



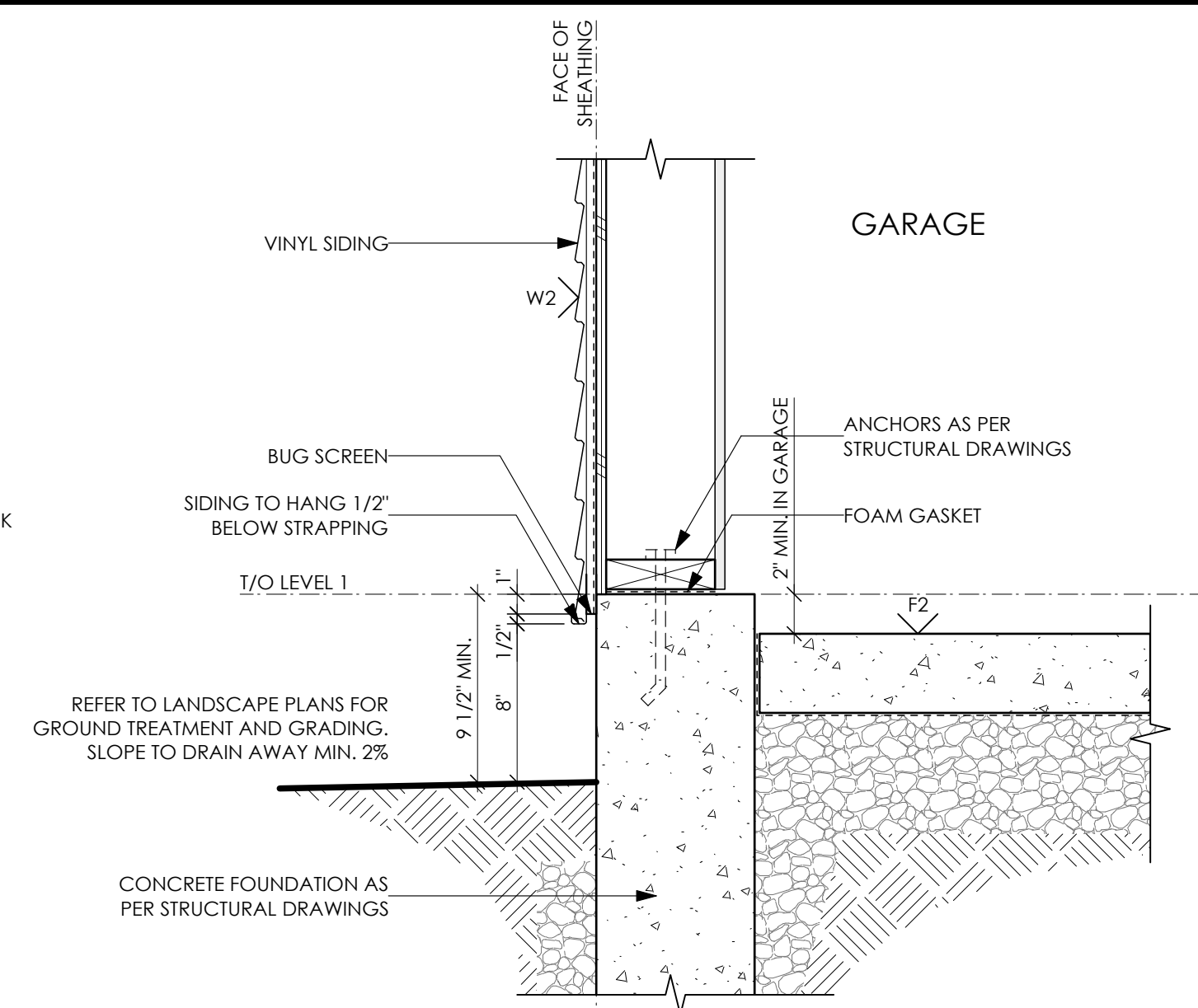
PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
ASSEMBLIES

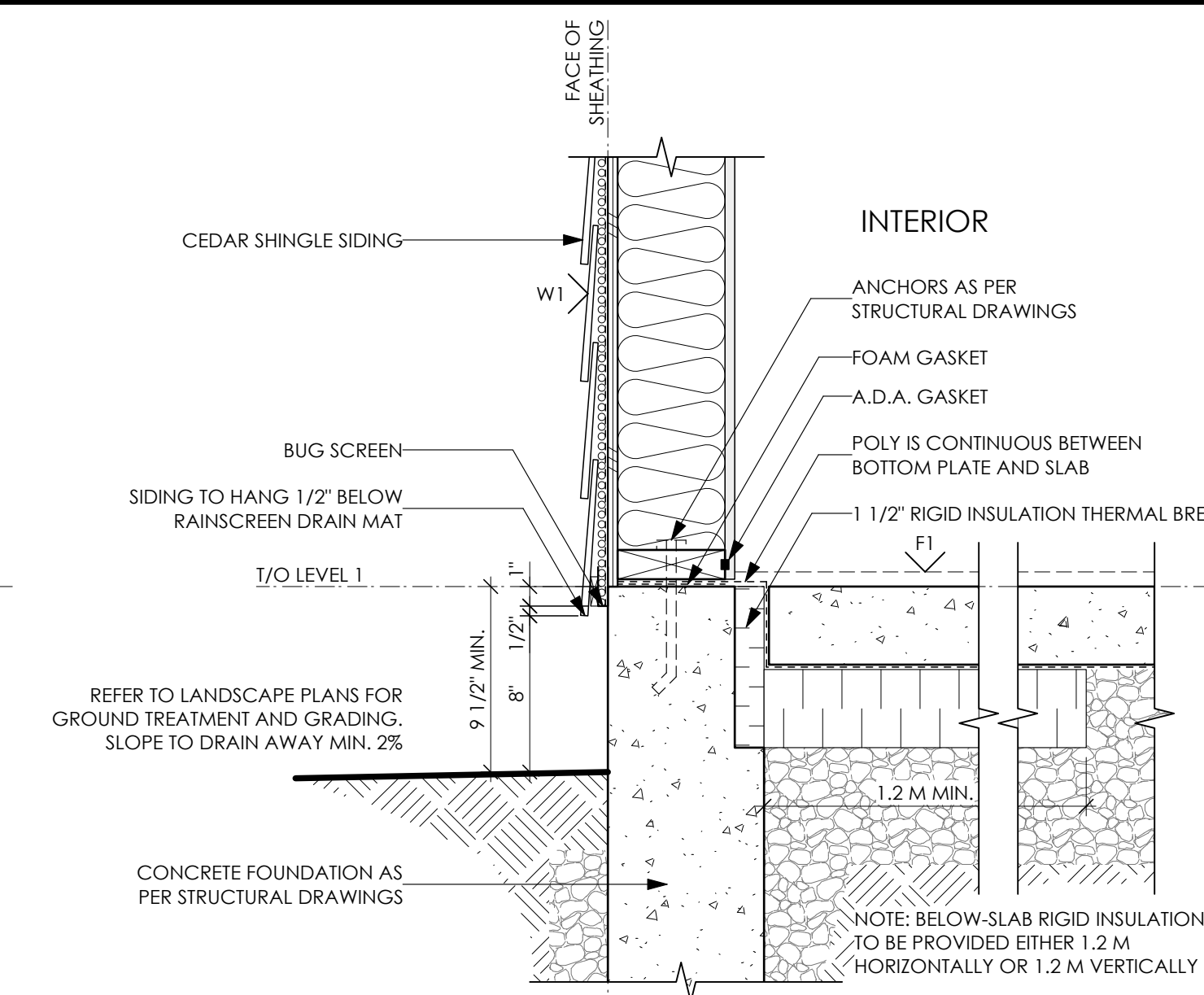
PROJECT #	SHEET
8030	A6.00
SCALE	
NTS	
DATE	OCT 1, 2023



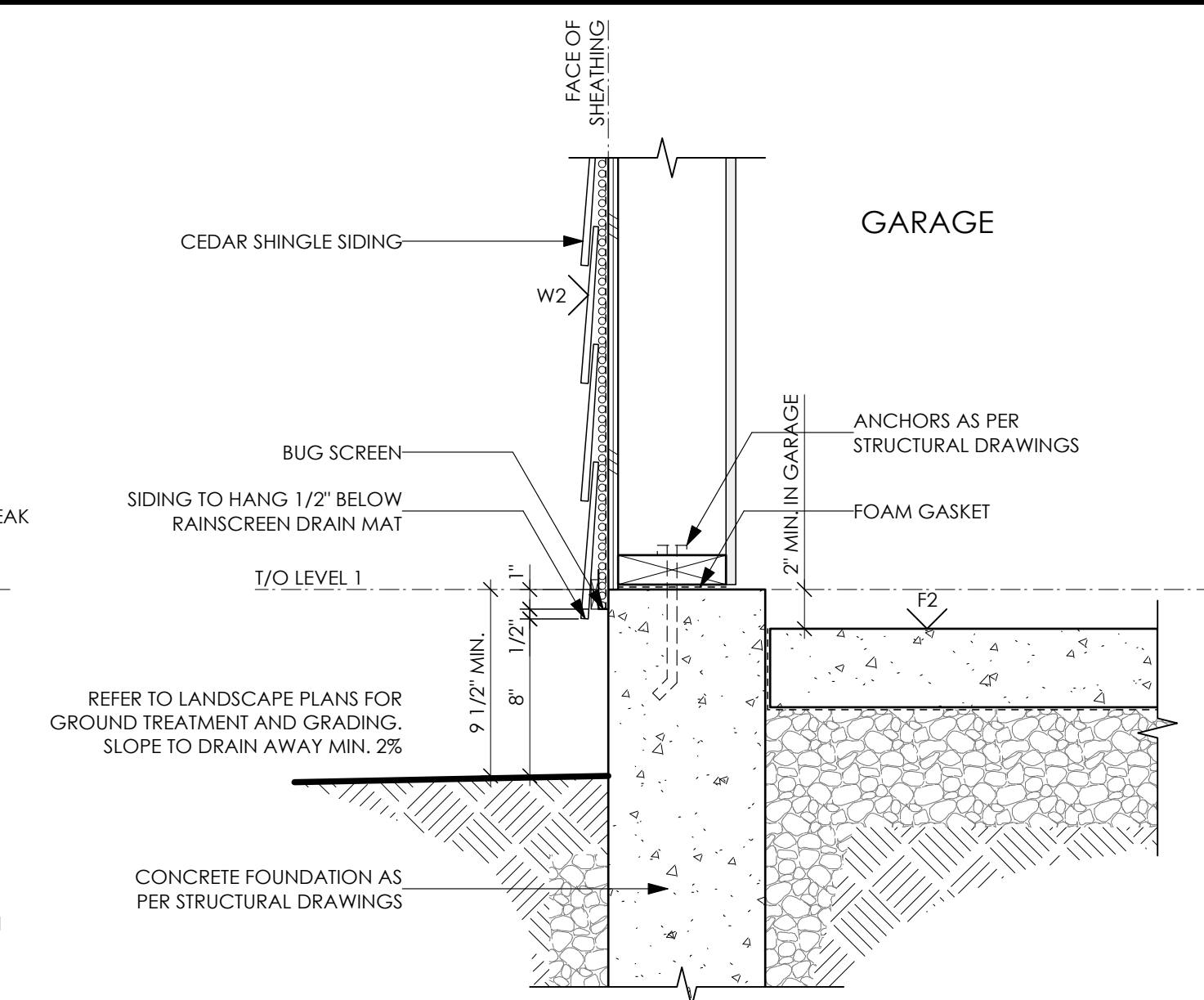
AD-01 TYP. T/O FDN WALL (VINYL)
A7.00 SCALE: 1 1/2" = 1'-0"



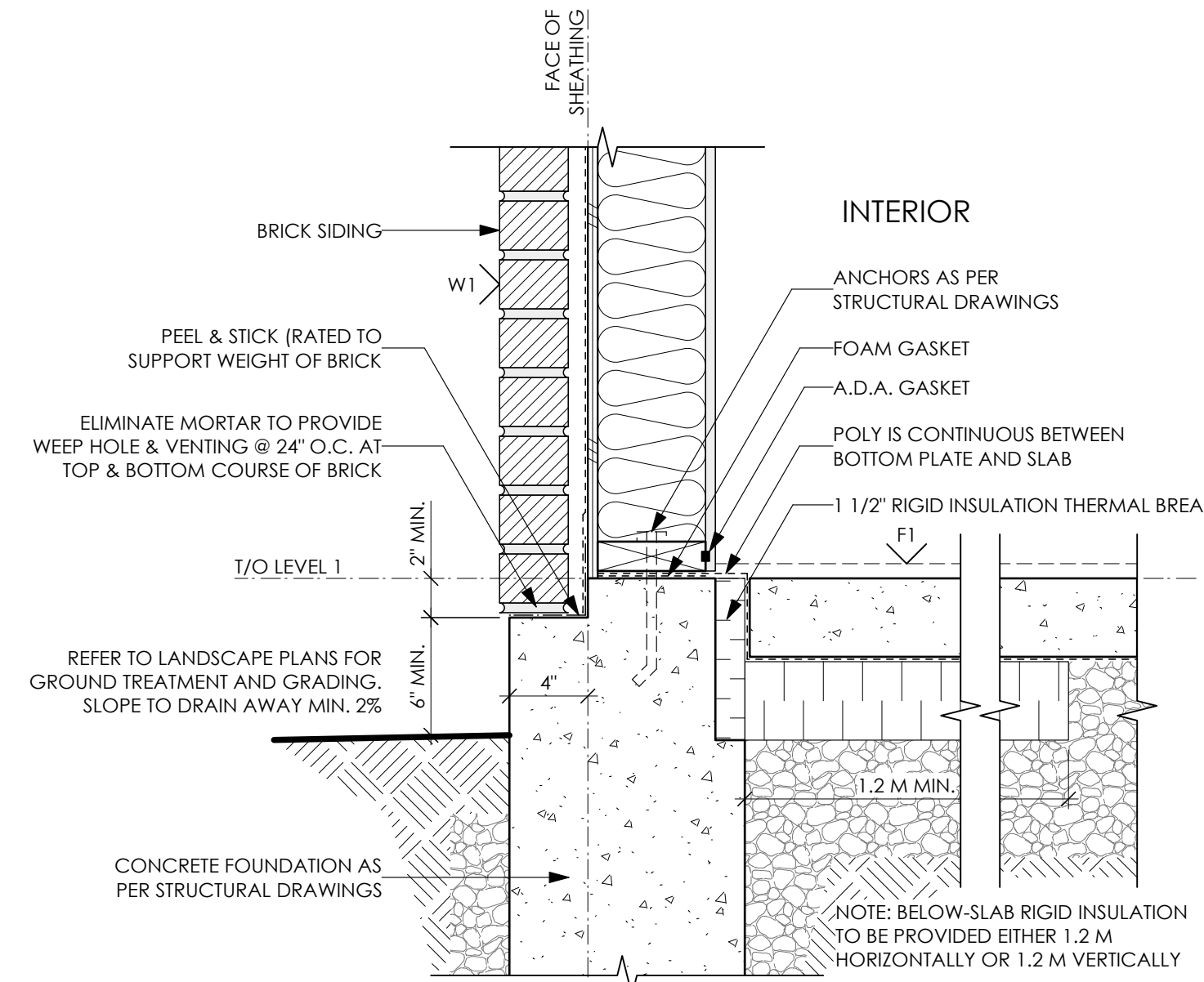
AD-02 TYP. T/O FDN WALL (VINYL)
A7.00 SCALE: 1 1/2" = 1'-0"



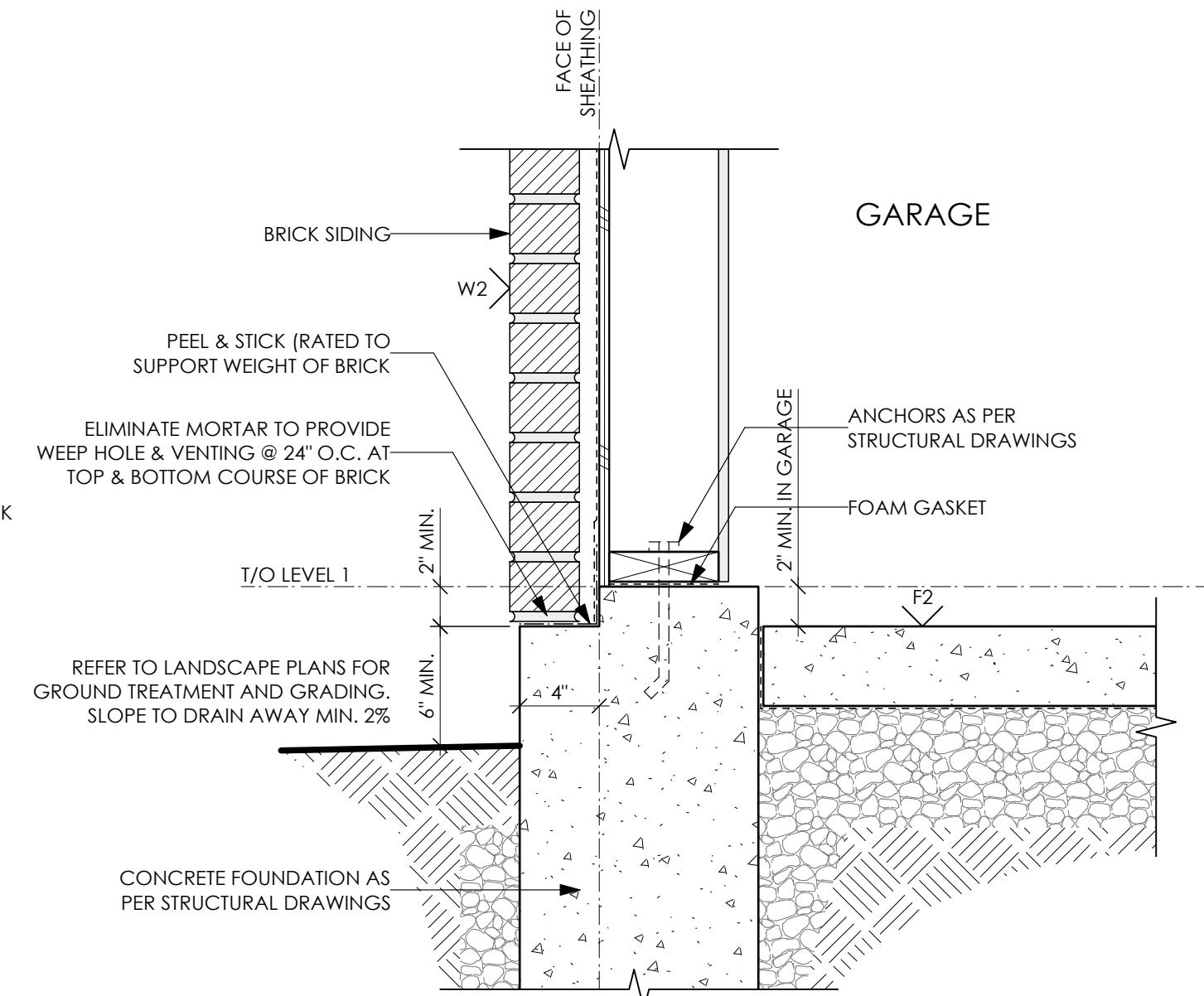
AD-05 TYP. T/O FDN WALL (CEDAR SHINGLE)
A7.00 SCALE: 1 1/2" = 1'-0"



AD-06 TYP. T/O FDN WALL (CEDAR SHINGLE)
A7.00 SCALE: 1 1/2" = 1'-0"



AD-09 TYP. T/O FDN WALL (BRICK)
A7.00 SCALE: 1 1/2" = 1'-0"



AD-10 TYP. T/O FDN WALL (BRICK)
A7.00 SCALE: 1 1/2" = 1'-0"

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	OCT 1, 2023

NOT FOR CONSTRUCTION



PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
ARCHITECTURAL DETAILS

PROJECT#	8030	SHEET A7.00
SCALE	1 1/2" = 1'-0"	
DATE	OCT 1, 2023	

Aging in Place

Aquila is a development that is multi generational whereby young families to empty nesters can find the perfect home to accommodate their needs.

A driving factor of being multi generational is the ability to age in place.

Accordingly a key component of this is to have elevator access and all of the "G" units have the ability to be equipped with elevators. This means that 12 homes or 33% of the development will have the option for elevators.

The layouts with the elevators is shown on pages 8.01,8.02 and 8.03.

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



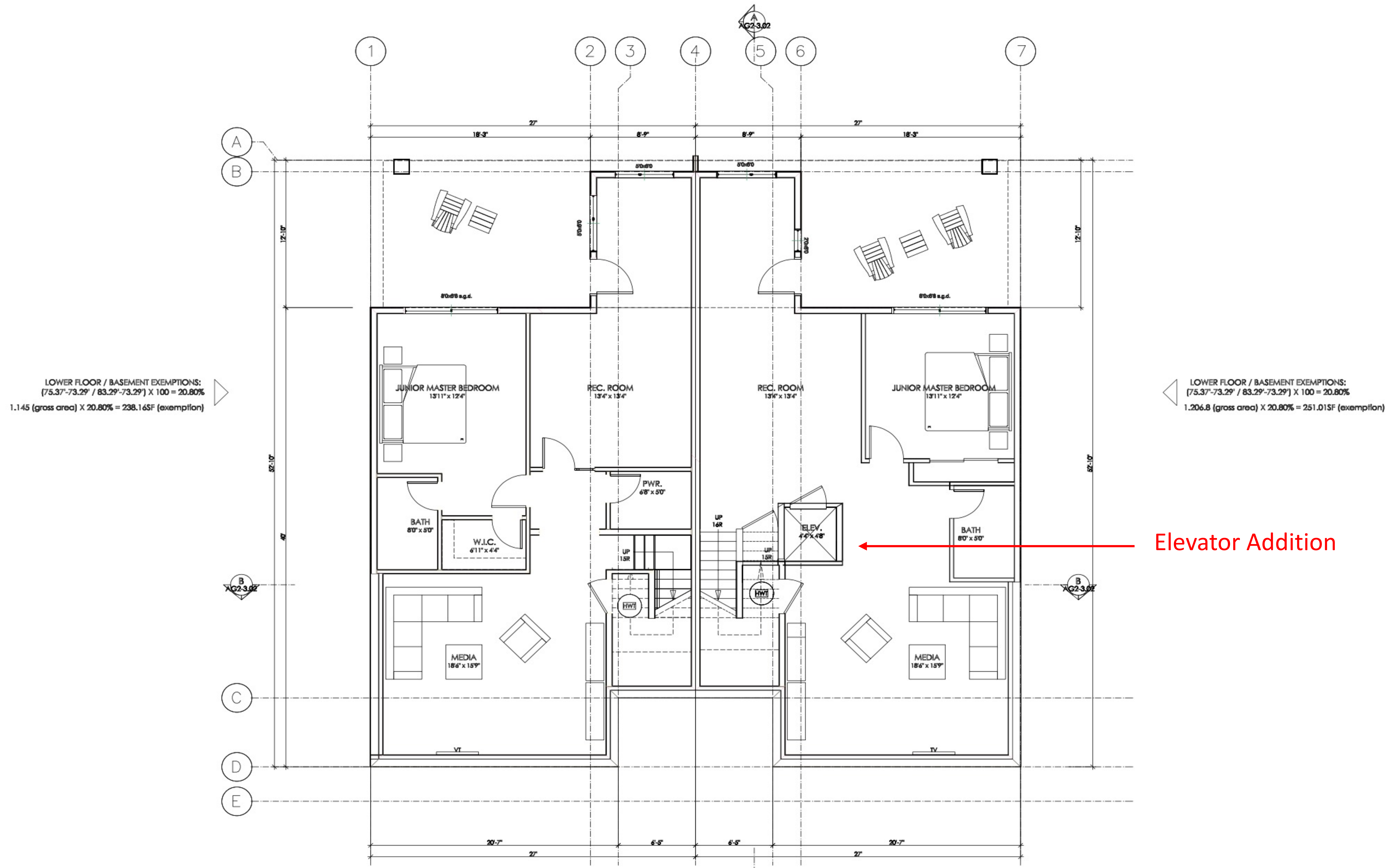
PROJECT
AQUILA
DAFFODIL DRIVE, WEST
VANCOUVER, BC

DRAWING
**Elevator
Addition**

PROJECT#	#8030	SHEET	A8.00
SCALE	NTS		
DATE	OCT 1, 2023		

REVISIONS

Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



LOWER FLOOR PLAN

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1206.8 SF	1415.9 SF	1415.9 SF	4038.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	955.8 SF	1317.4 SF	1007.0 SF	3280.3 SF

UNIT 7 FLOOR AREAS METRIC

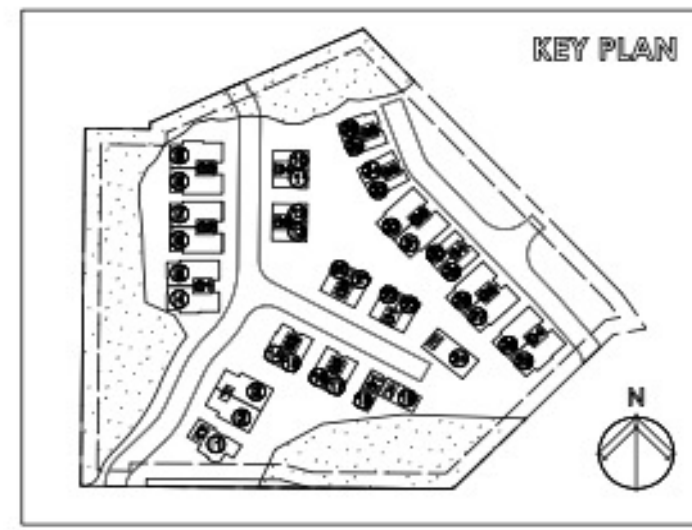
	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1206.8 SF	1415.9 SF	1415.9 SF	4038.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	955.8 SF	1317.4 SF	1007.0 SF	3280.3 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM

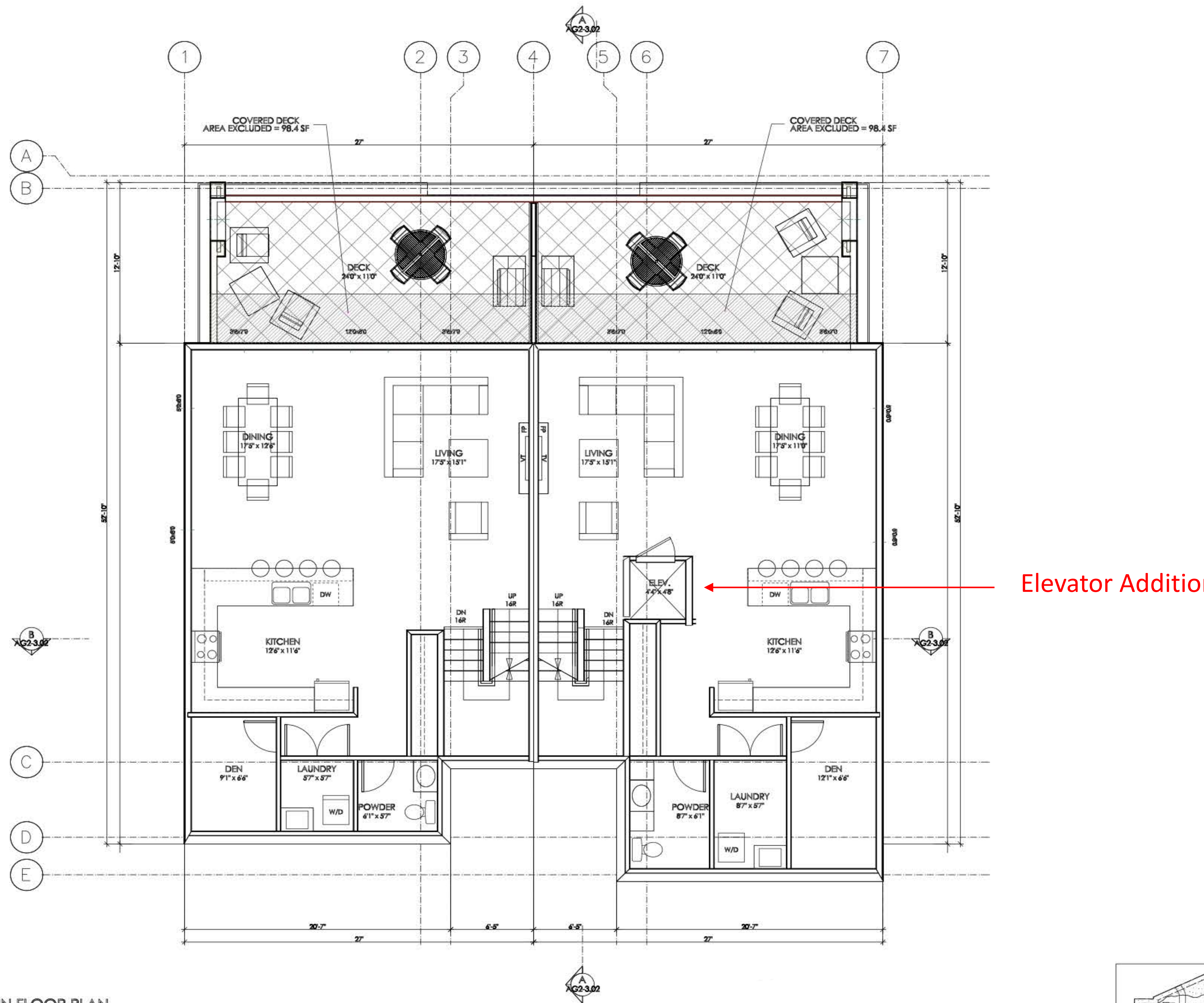


PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 Lower Floor Plan
 Elevator
 Addition

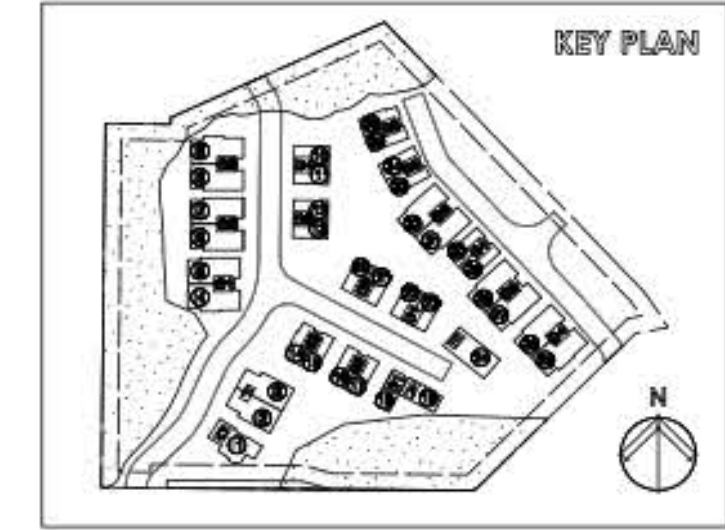
PROJECT#	#8030	SHEET	A8.01
SCALE	NTS		
DATE	OCT 1, 2023		

REVISIONS	
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



Elevator Addition

MAIN FLOOR PLAN



UNIT 6 FLOOR AREAS IMPERIAL	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1145.0 SF	1384.3 SF	1364.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 20.80%	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	906.9 SF	1284.9 SF	977.5 SF	3170.3 SF

UNIT 6 FLOOR AREAS METRIC	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	106.4 SM	128.4 SM	128.4 SM	363.4 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 20.80%	22.1 SM	0.0 SM	0.0 SM	22.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	84.3 SM	119.3 SM	90.8 SM	294.8 SM

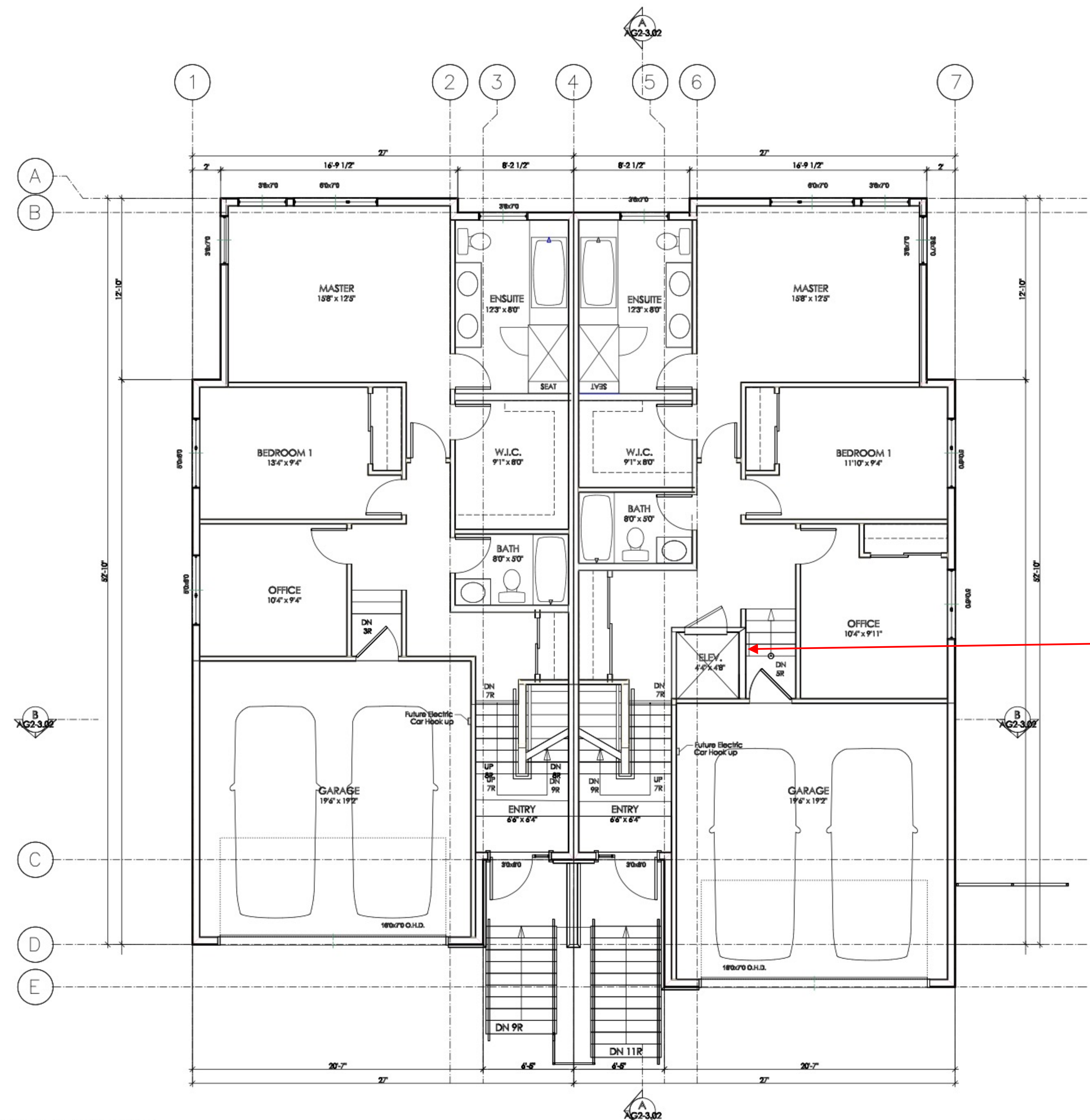
UNIT 7 FLOOR AREAS IMPERIAL	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1204.8 SF	1415.9 SF	1415.9 SF	4036.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	953.8 SF	1317.4 SF	1007.0 SF	3278.3 SF

UNIT 7 FLOOR AREAS METRIC	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM

PROJECT
AQUILA
DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
Main Floor Plan
Elevator Addition

PROJECT# #8030
SCALE NTS
DATE OCT 1, 2023
SHEET
A8.02



REVISIONS

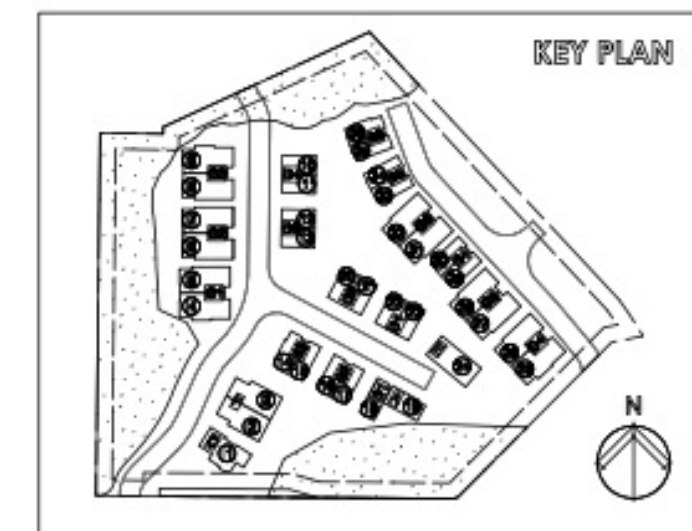
Issued for DP/Rezoning	Aug 31, 2021
DRC/ Public Comment Revisions	MAY 12, 2023
G1, G2, G3 Revisions	JULY 31, 2023
H unit additions	Oct 1, 2023



PROJECT
AQUILA
 DAFFODIL DRIVE, WEST VANCOUVER, BC

DRAWING
 Upper Floor Plan
 Elevator Addition

UPPER FLOOR PLAN



UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1145.0 SF	1384.3 SF	1384.3 SF	3913.7 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	406.8 SF	406.8 SF
BASEMENT EXCLUSIONS 20.80%	238.2 SF	0.0 SF	0.0 SF	238.2 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	906.9 SF	1286.9 SF	977.5 SF	3170.3 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	106.4 SM	128.6 SM	128.6 SM	363.6 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	37.8 SM	37.8 SM
BASEMENT EXCLUSIONS 20.80%	22.1 SM	0.0 SM	0.0 SM	22.1 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	84.3 SM	119.5 SM	90.8 SM	294.5 SM

UNIT 7 FLOOR AREAS IMPERIAL

	LEVEL 1 SQ.FT.	LEVEL 2 SQ.FT.	LEVEL 3 SQ.FT.	TOTAL
GROSS	1206.8 SF	1415.9 SF	1415.9 SF	4038.5 SF
GARAGE EXCLUSIONS	0.0 SF	0.0 SF	408.8 SF	408.8 SF
BASEMENT EXCLUSIONS 20.80%	251.0 SF	0.0 SF	0.0 SF	251.0 SF
COVERED BALCONY EXCLUSIONS	0.0 SF	98.4 SF	0.0 SF	98.4 SF
NET	955.8 SF	1317.4 SF	1007.0 SF	3280.3 SF

UNIT 7 FLOOR AREAS METRIC

	LEVEL 1 SQ.M.	LEVEL 2 SQ.M.	LEVEL 3 SQ.M.	TOTAL
GROSS	112.1 SM	131.5 SM	131.5 SM	375.2 SM
GARAGE EXCLUSIONS	0.0 SM	0.0 SM	38.0 SM	38.0 SM
BASEMENT EXCLUSIONS 20.80%	23.3 SM	0.0 SM	0.0 SM	23.3 SM
COVERED BALCONY EXCLUSIONS	0.0 SM	9.1 SM	0.0 SM	9.1 SM
NET	88.8 SM	122.4 SM	93.6 SM	304.8 SM