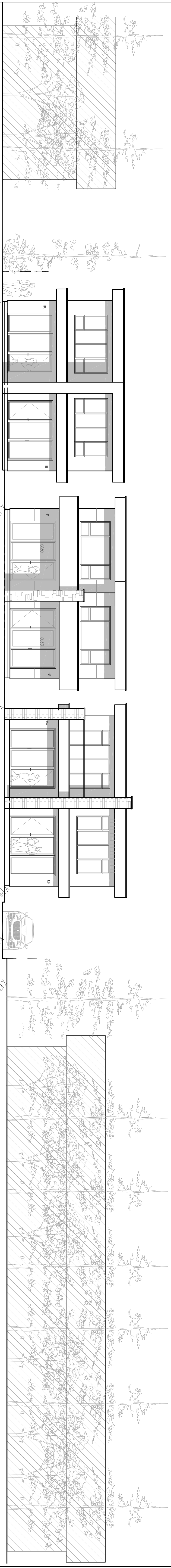


UNITS 14A and 14B
GLENMORE DRIVE
6, 8, 10 AND 12 GLENMORE DRIVE

UNITS 16A and 16B
GLENMORE DRIVE
UNITS 18A and 18B
GLENMORE DRIVE

22 24 26 28 GLENMORE DRIVE



General and Construction Notes

General Conditions:

- The general contractor shall check all dimensions and conditions before commencing with any work. Any discrepancies shall be reported to the designer before proceeding with any work.
 - All setbacks and building locations shall be confirmed by a registered British Columbia Land Surveyor.
- Written dimensions take precedence over scaled dimensions. Do not scale these drawings. In the event of an unknown dimension, contact the designer. The designer shall not be responsible for any costs incurred by the owner or the general contractor due to errors or omissions in these plans or specifications after bidding. Errors have been issued.

Foundations:

- See Structural Engineer Plans for specification on Concrete, Footings, Foundation and Structure.
- Footings shall extend a minimum of 30" below grade and to solid bearing.
- Pre foundations to rock as described in structural design.
- Provide a minimum of 2" coats of applied epoxy primer or an approved waterproofing and water-reducing membrane to the exterior faces of foundation walls.
- Provide a damp-proofing film or equal between all phases and concrete foundations where there is potential for contact.
- Provide a non-binding space between the tops of foundations and concrete slabs to prevent bonding.
- Provide a minimum of 6" mill/1" polypaper under concrete slabs and slabs on grade.
- Fill under concrete slabs to be non-organic and compacted.

Framing

- All framing to be 2x6 Sillable Cook Wood Frame Construction.
- All floor joists and timber shall be as per Structural Engineer, Columbia and Sawyer.
- Clear Framing, Member and other manufactured beams are to be engineer designed and the general contractor will provide certificates of manufacture as required before erection.
- Roof trusses are to be engineer designed and shop drawings showing truss layout and details are to be provided to the building inspector as required.

Stairs:

- Riser minimum 6 1/4" (152mm), maximum 7 8/16" (200mm). Treads minimum 10 3/4" (255mm), maximum 15 9/16" (395mm).
- All treads to have a 1" nosing or nosing slope to the riser.
- Minimum nosing is 6/16" measured vertically from a line formed through the stair nosing.
- Handrail height to be 29"
- Handrails shall be provided on at least one side of the stairs less than 45" wide. Both sides of stairs greater than 45" wide.
- Handrail shall conform to H9.B.1.
- Stairs, ramps and quarter-deck shall conform to H9.B.

Safety Glass:

- Glass within 3' of a door lock shall be safety glass.
- Glass in entrance, shower, French and sliding doors shall be safety glass.
- Windows in walls adjacent to showers or tubs shall be safety glass and located above the waterproof finish height.
- Mirrored doors are to be safety glass and latched with solid material.
- Glass within 60" of the floor is to be safety glass.

Ventilation:

- Provide ventilation air to forced air furnace areas. (If applicable)
- Provide exhaust fans that provide half an air change an hour, located in bathrooms and kitchens.
- Provide fresh, tempered air to all habitable spaces with humidity control as a static pressure of .25" of water.
- Air is to be mechanically exhausted from all kitchen, bathrooms, and laundry rooms.
- Air can be ducted to a centrally located and mechanically powered low speed exhaust fan (speed never controlled from sources).
- Duct systems shall be sized according to exhaust fan manufacturer recommendations. Duct layout to be designed by trade.
- Air barriers shall form a continuous envelope on the inside surfaces of the building.

Miscellaneous:

- Heating system: Forced Air, FRI, Radiant Floor and MINI radiant Floor with 2. Provide for wood stov and frame with normal clearing to sealed units providing a minimum of 1" 2" air space.
- Chimney doors and windows shall be double glazed where noted otherwise.
- Provide thermally broken frames in all skylights.
- Provide smoke alarms in bedroom areas and to all floors to H9.018.
- Waterproof wall finished in shower and tub/shower enclosures are to be applied over a moisture resistant barrier.
- Provide insulation blocks to allow for adequate ventilation at constructed roof conditions.
- Provide solid roof sheathing for cave protection a minimum of 3" up the slope of the roof to a line a minimum of 12" below an exterior wall line.
- Finish grades are to direct any surface water away from the building.
- Cross hatching not of floor and roof joists.
- Waterproof wallboard not to be the base around tubs and showers.
- Provide 6" clearance between garage and siding.
- NEP: tub/shower not of dry ceiling ends or doors.
- One terminated smoke alarm not a per floor. All smoke alarms to be interconnected. Smoke alarm not to be on any floor but different to H9.01 and with 5m of bedroom doors and 5m of each other.
- A 5lb ABC fire extinguisher to be provided in the kitchen.
- Secure hot water tanks to prevent overturning.

PLAN REVIEW

1. ADDRESS:	14 GLENMORE DRIVE LOT 4, B.L.K. 5, B.L.C. 0598/CT LOT 603, PLAN 9994
2. LEGAL DESCRIPTION:	14 GLENMORE DRIVE B.C. CO2-775-5-46
3. LOT SIZE:	10,699 sq.ft. (1,950m ²) 15,918 sq.ft. (1,469.5m ²)
4. LOT SIZE MINIMUM PERCENTAGE:	7,500.0 SF. / 10,699 SF. = 69.1 % 15,918 SF. / 15,918 SF. = 41.4 %
5. FLOOR AREA RATIO MINIMUM PERCENTAGE:	7,500.0 SF. / 10,699 SF. = 69.6 % 15,918 SF. / 15,918 SF. = 84.0 %
PROPOSED:	
BEDROOM:	UNIT 14A UNIT 14B TOTAL REMAINING B
MAIN FLOOR:	11870 SF 10080 SF 13940 SF
SECOND FLOOR:	11870 SF 12220 SF 23990 SF
GARAGE:	2440 SF 2440 SF 4880 SF
TOTAL AREA:	33,000 SF 33,660 SF 71,670 SF (665 Bm ²)
BEDROOMS:	UNIT 16A UNIT 16B TOTAL REMAINING B
MAIN FLOOR:	12950 SF 13900 SF 26,850 SF
SECOND FLOOR:	10860 SF 21040 SF 31,900 SF
GARAGE:	2260 SF 2210 SF 4,470 SF
TOTAL AREA:	31,760 SF 39,270 SF 71,030 SF (115,50m ²)
TOTAL PROPOSED:	22,990 SF (2,099,29m ²)
BEDROOMS:	MINUS GARAGES 13,000 SF (1,222,65m ²)
MINUS GARAGES:	7,500 SF (690,87m ²)
TOTAL COVERED FSR:	15,110 SF (1,272,39m ²)
6. SETBACKS:	
FRONT YARD:	25'-0" (7.6m)
REAR YARD:	34'-10" (10.62m)
REAR YARD PER LINE PERPENDICULAR:	25'-0" (7.6m)
SIDE YARD (SOUTH SIDE):	5'-0" (1.52m)
SIDE YARD (NORTH SIDE):	14'-11" (4.50m)
SIDE YARD (NORTH SIDE) PER LINE PERPENDICULAR:	4'-9" (1.50m)
SIDE YARD (CORNER):	10'-11" (3.28m)
SIDE YARD (CORNER) (PER LINE PERPENDICULAR):	9'-5" (2.86m)

TABLE OF CONTENTS:

A0	CONCRETE SHEET
A10	SITE PLAN
A20	LANDSCAPE PLAN
A30	16A and 16B FOUNDATION PLAN
A40	16A and 16B FOUNDATION PLAN
A50	16A and 16B FOUNDATION PLAN
A60	16A and 16B FOUNDATION PLAN
A70	16A and 16B FOUNDATION PLAN
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A90	16A and 16B FOUNDATION PLAN
A100	16A and 16B FOUNDATION PLAN
A110	16A and 16B FOUNDATION PLAN
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A130	16A and 16B FOUNDATION PLAN
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A160	16A and 16B FOUNDATION PLAN
A170	16A and 16B FOUNDATION PLAN
A180	16A and 16B FOUNDATION PLAN
A190	16A and 16B FOUNDATION PLAN
A200	16A and 16B FOUNDATION PLAN

NOTE:
ALL WORK TO CONFORM TO B.C. BUILDING CODE ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DESIGN LAYOUT

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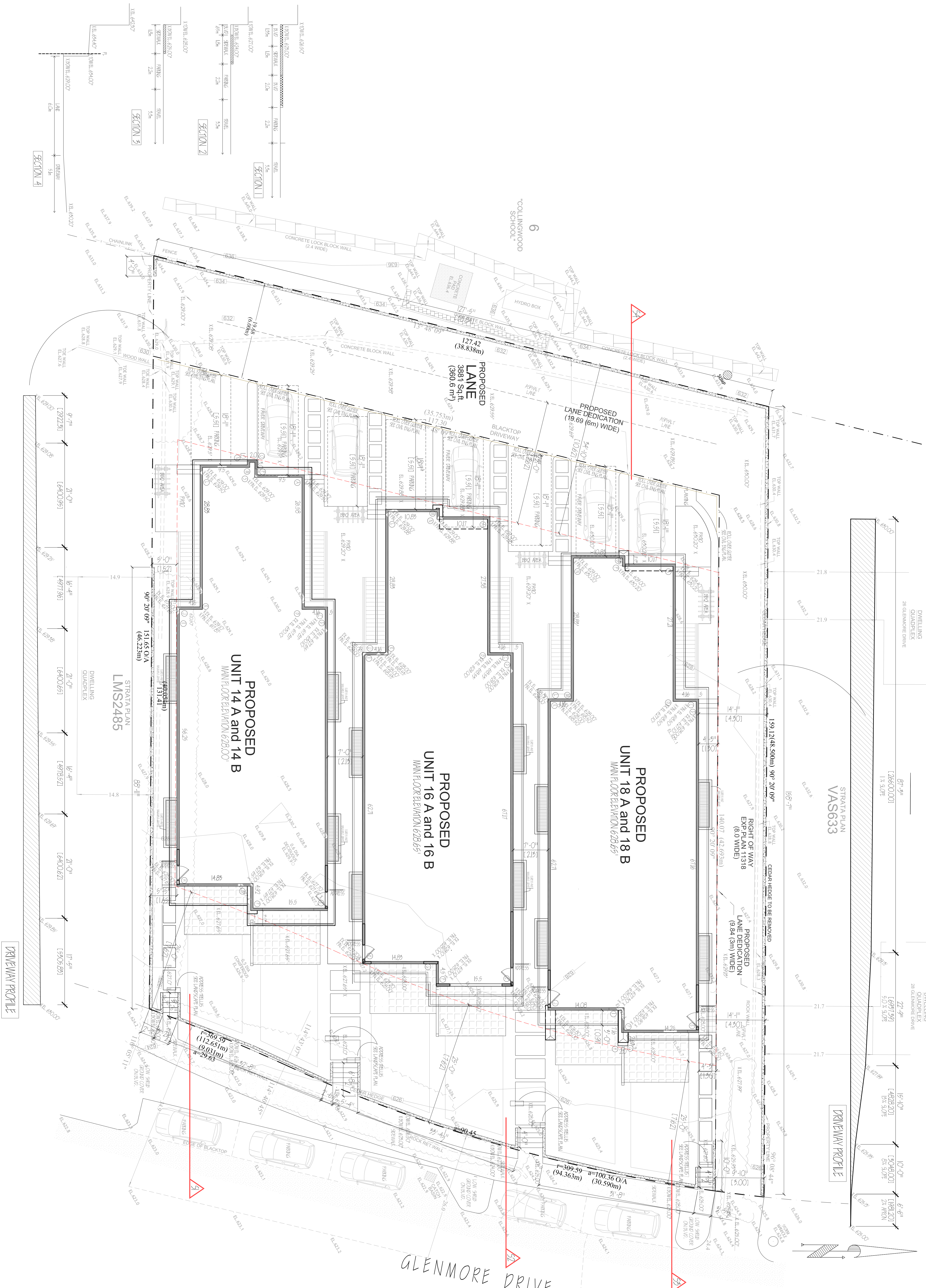
REVISIONS		
NO.	DESCRIPTION	DATE
1	LANDSCAPE MATERIALS, ROOF ON UNIT 16, SQUARE	MARCH 6, 2024

PROPOSED FOR:
GLENMORE DUPLEX
LOT B
16A and 16B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
SITE PLAN

DATE:	DECEMBER 12, 2023
SCALE:	1/8" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12304

SHEET No.
A.00



SHEET No.
A.01

DATE: DECEMBER 12, 2023
SCALE: 1/8" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

DRAWING TITLE
SITE PLAN

PROPOSED FOR:
GLENMORE DUPLEX
BUILDINGS 14, 18 AND 18 GLENMORE DRIVE
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	LANDSCAPE MATERIALS, ROOF ON UNIT 16, SURFACE	MARCH 8, 2024

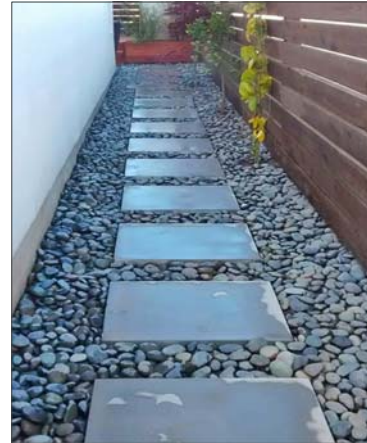
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LANDSCAPE LEGEND:

NAME	COUNT	IMAGE
PORTUGUESE LAURAL	110	
BOXWOODS	68	
ROCK COTONEASTER	25	
PACHYSTRANDRA (GRIND COVER)	68	
RHODODENDRON (WHITE)	35	
MAGNOLIA	6	
HYDRANGEA - INCREPIDIABALL	20	
HOSTAS	145	
GOLDEN ELONONYMUS SHRUB	70	
SWORD FERN	65	

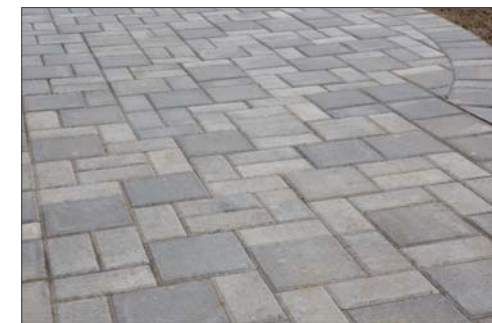
"COLLINGWOOD SCHOOL"



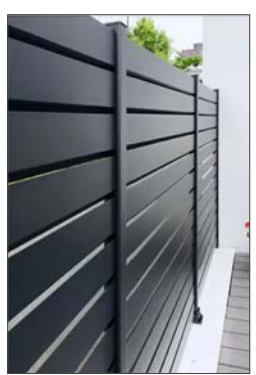
2' x 2' STEPPING PAVERS ON RIVER ROCK



WALKABLE GRATE FOR WINDOW WELLS



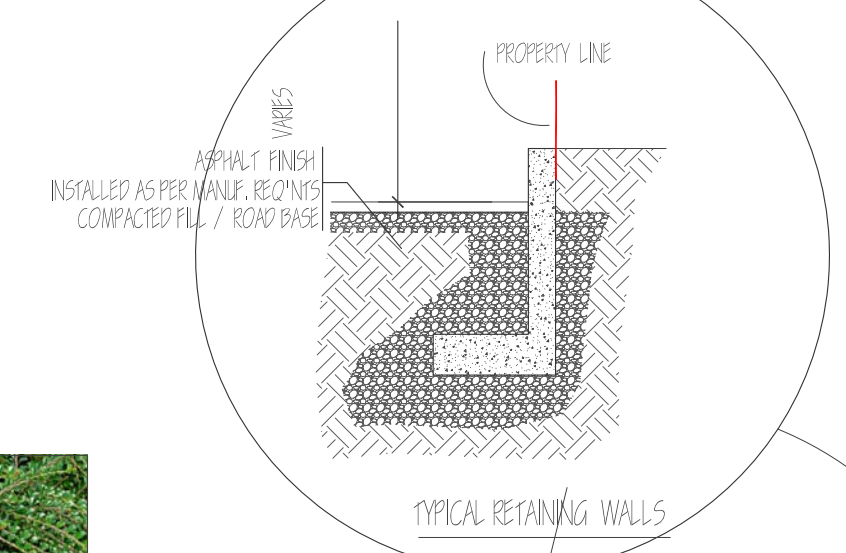
CLASSIC OLD STONE PAVERS



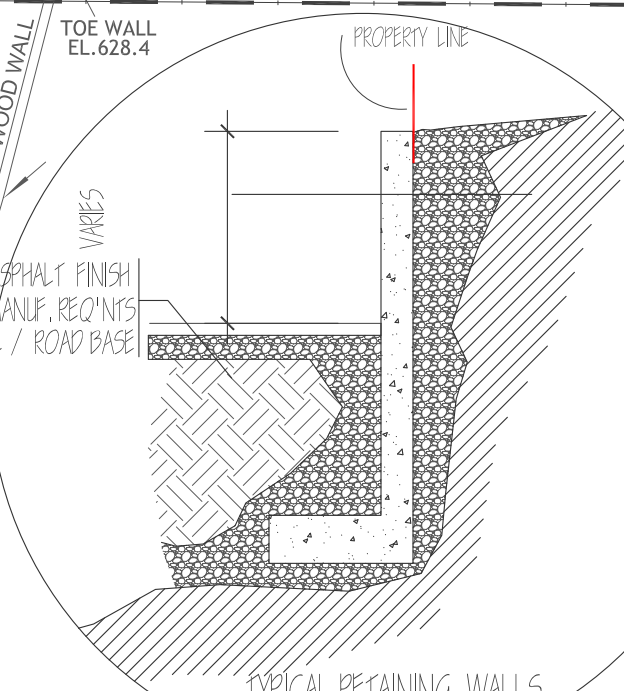
BLACK PRIVACY FENCE



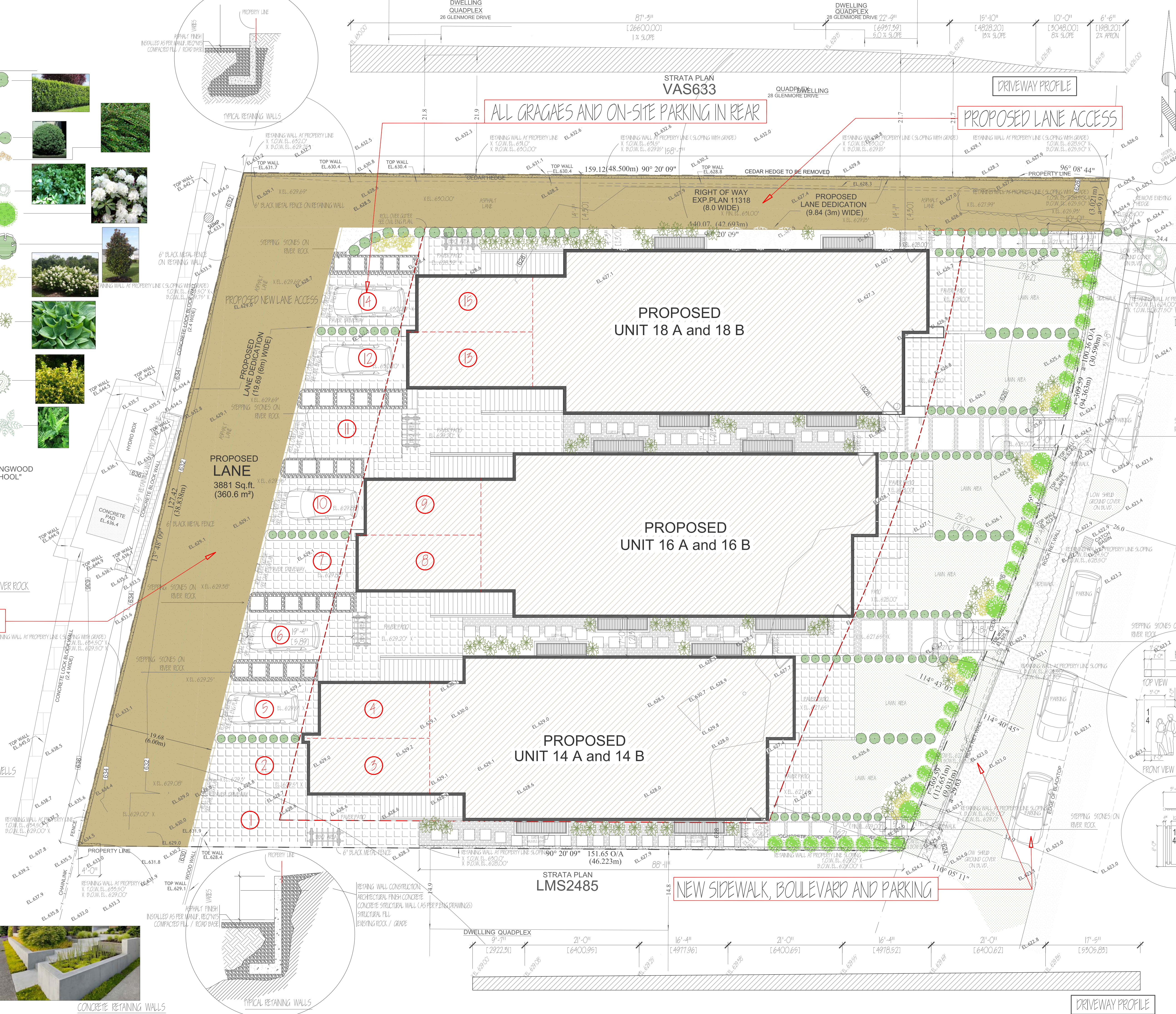
CONCRETE RETAINING WALLS



TYPICAL RETAINING WALLS



TYPICAL RETAINING WALLS



ALL GRAGAES AND ON-SITE PARKING IN REAR

PROPOSED LANE ACCESS

PROPOSED LANE ACCESS

NEW SIDEWALK, BOULEVARD AND PARKING

GLENMORE DRIVE

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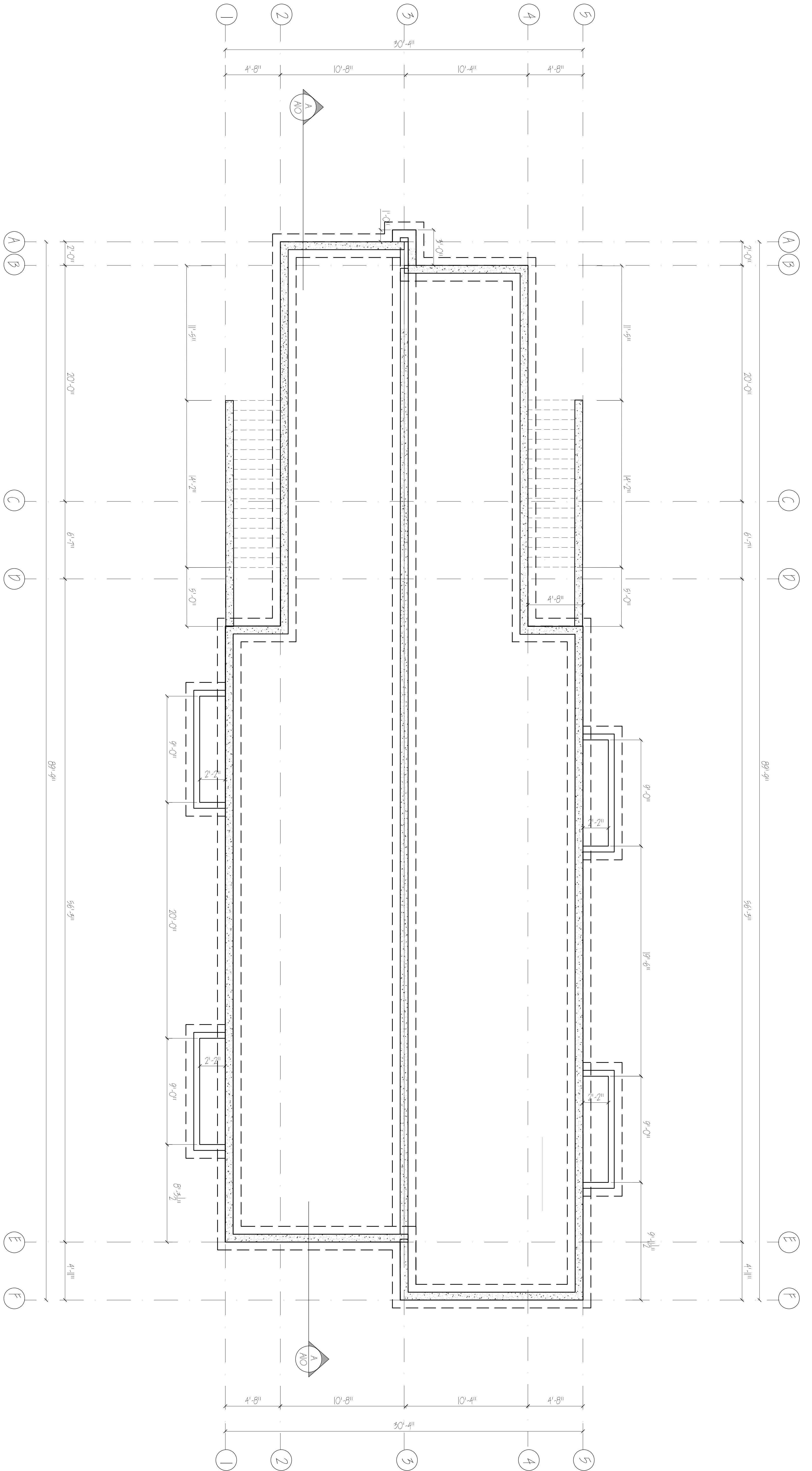
REVISIONS	NO.	DESCRIPTION	DATE
	1	LANDSCAPE MATERIALS, ROOF ON UNIT 16, SIGNAGE	MARCH 6, 2024

PROPOSED FOR:
GLENMORE DUPLEX
 BUILDINGS 14, 18 AND 18 GLENMORE DRIVE
 West Vancouver, B.C.

DRAWING TITLE
 LANDSCAPE PLAN

DATE:	DECEMBER 12, 2023
SCALE:	1/8" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12204

SHEET No.
A.02



FOUNDATION PLAN

SHEET No.
A.03

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

DRAWING TITLE
 FOUNDATION PLAN

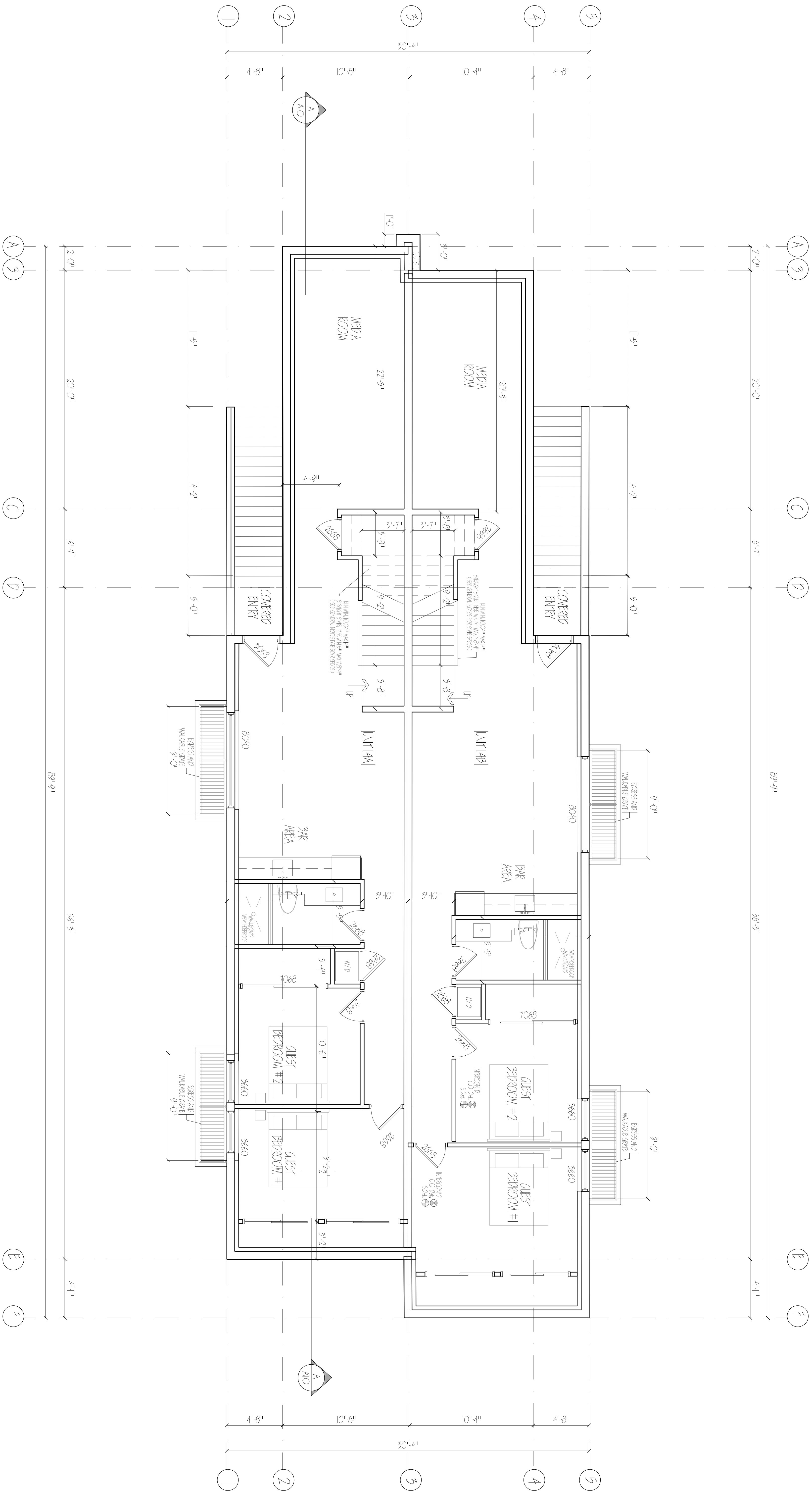
PROPOSED FOR:
GLENMORE DUPLEX
 14A and 14B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
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PROPOSED BASEMENT LEVEL

UNIT 14A
AREA: 1157 SQFT

UNIT 14B
AREA: 1222 SQFT

TOTAL FLOOR AREA: 2379 SQFT.

SHEET No.
A.04

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

DRAWING TITLE
BASEMENT LEVEL

PROPOSED FOR:
GLENMORE DUPLEX
14A and 14B Glenmore Drive,
West Vancouver, B.C.

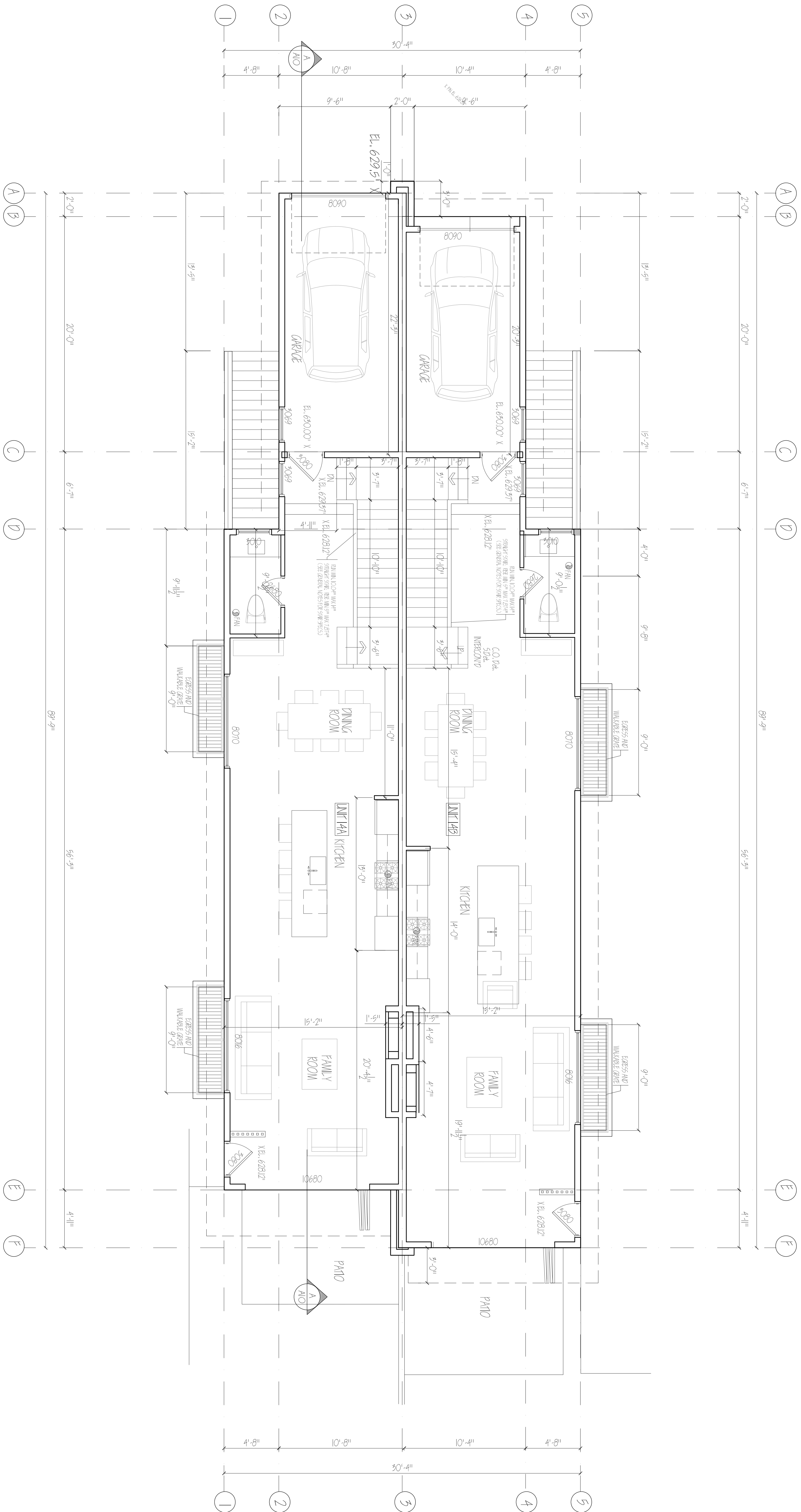
REVISIONS

NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

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PROPOSED MAIN FLOOR

UNIT 14A
 AREA: 925 SQFT
 PLUS GARAGE: 294 SQFT

UNIT 14B
 AREA: 1,008 SQFT
 PLUS GARAGE: 214 SQFT

TOTAL FLOOR AREA: 2,579 SQFT.

SHEET No. **A.05**

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

DRAWING TITLE

MAIN FLOOR

PROPOSED FOR:

GLENMORE DUPLEX

14A and 14B Glenmore Drive,
 West Vancouver, B.C.

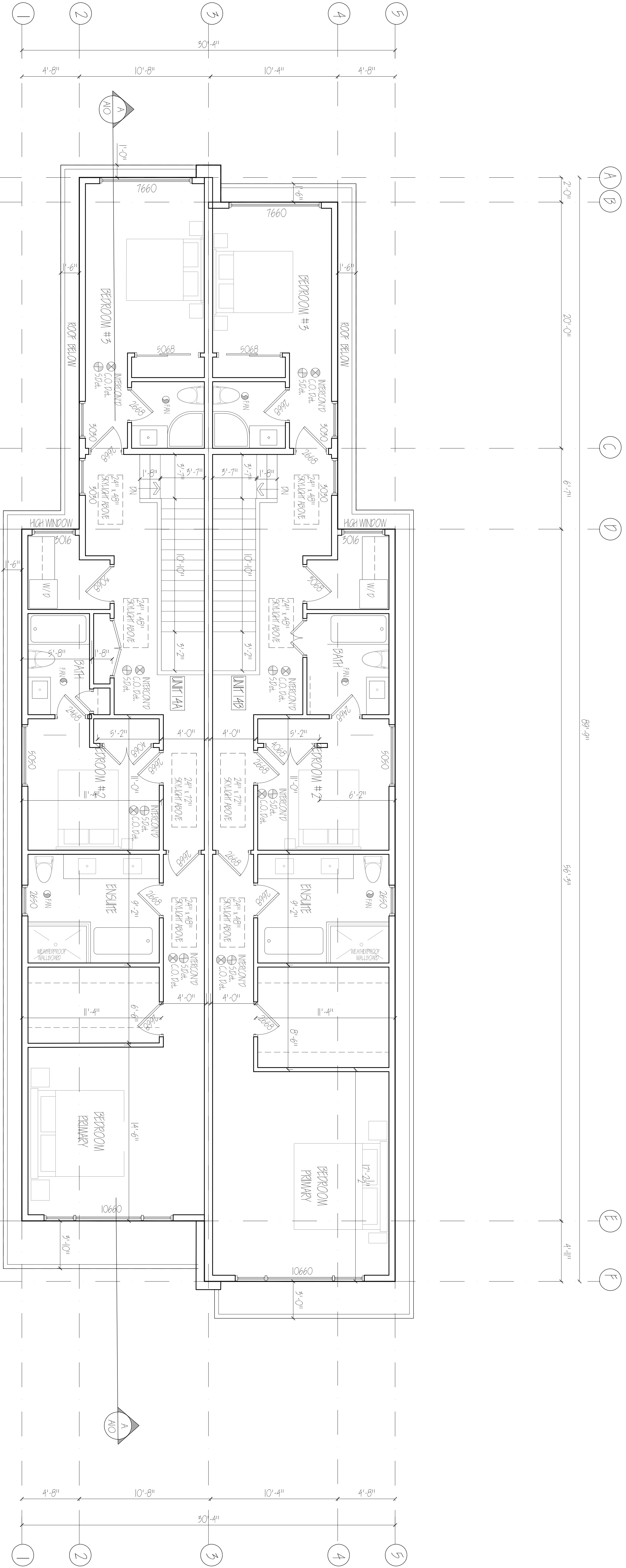
REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

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PROPOSED SECOND FLOOR	
UNIT 14A	1,157 SQFT
AREA:	
UNIT 14B	1,222 SQFT
AREA:	
TOTAL AREA	2,379 SQFT

DATE:	DECEMBER 12, 2023
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12304

DRAWING TITLE
SECOND FLOOR

PROPOSED FOR:
GLENMORE DUPLEX
14A and 14B Glenmore Drive,
West Vancouver, B.C.

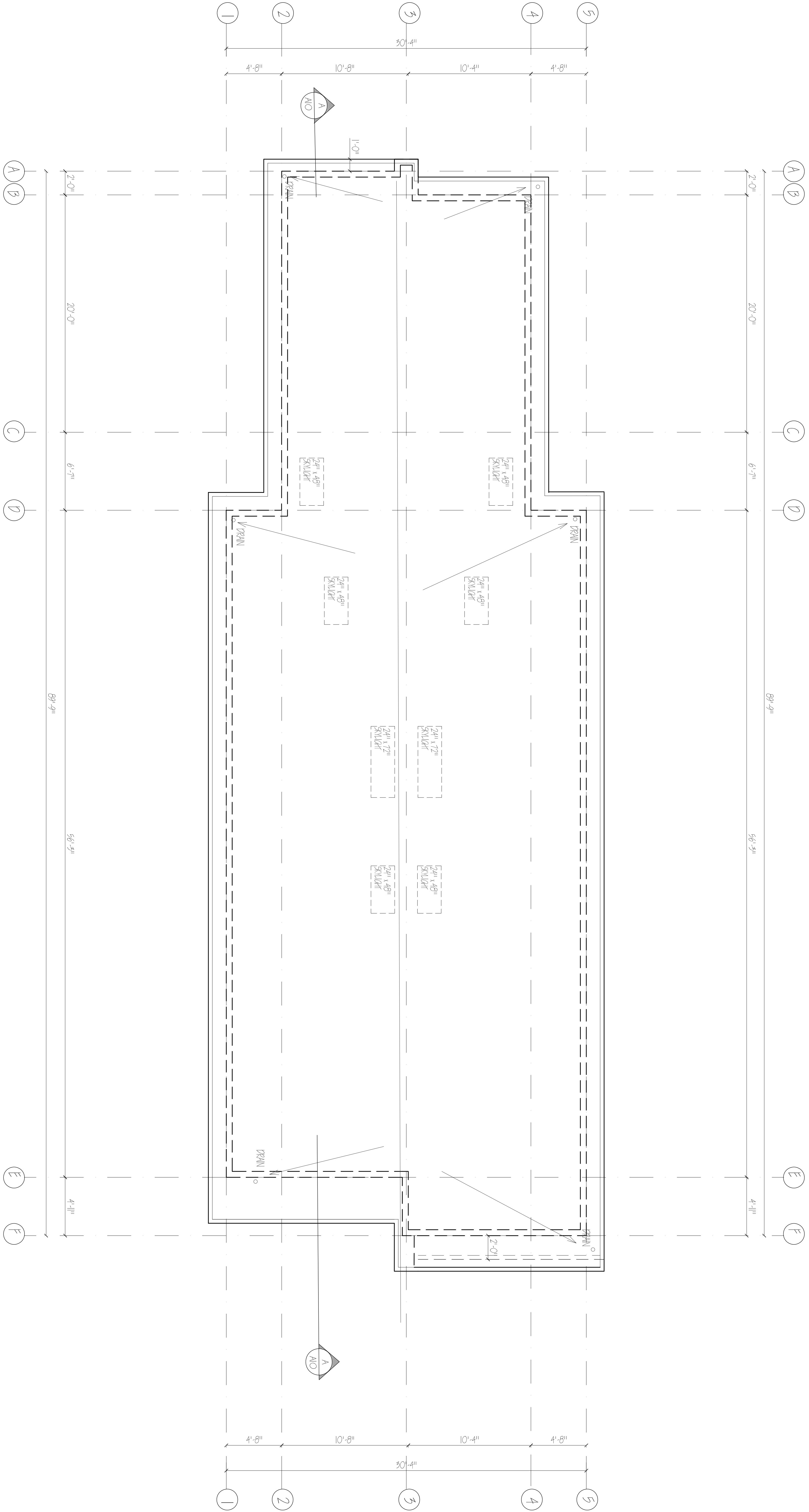
REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

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SHEET No.
A.06



ROOF PLAN

SHEET No.
A.07

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

DRAWING TITLE
ROOF PLAN

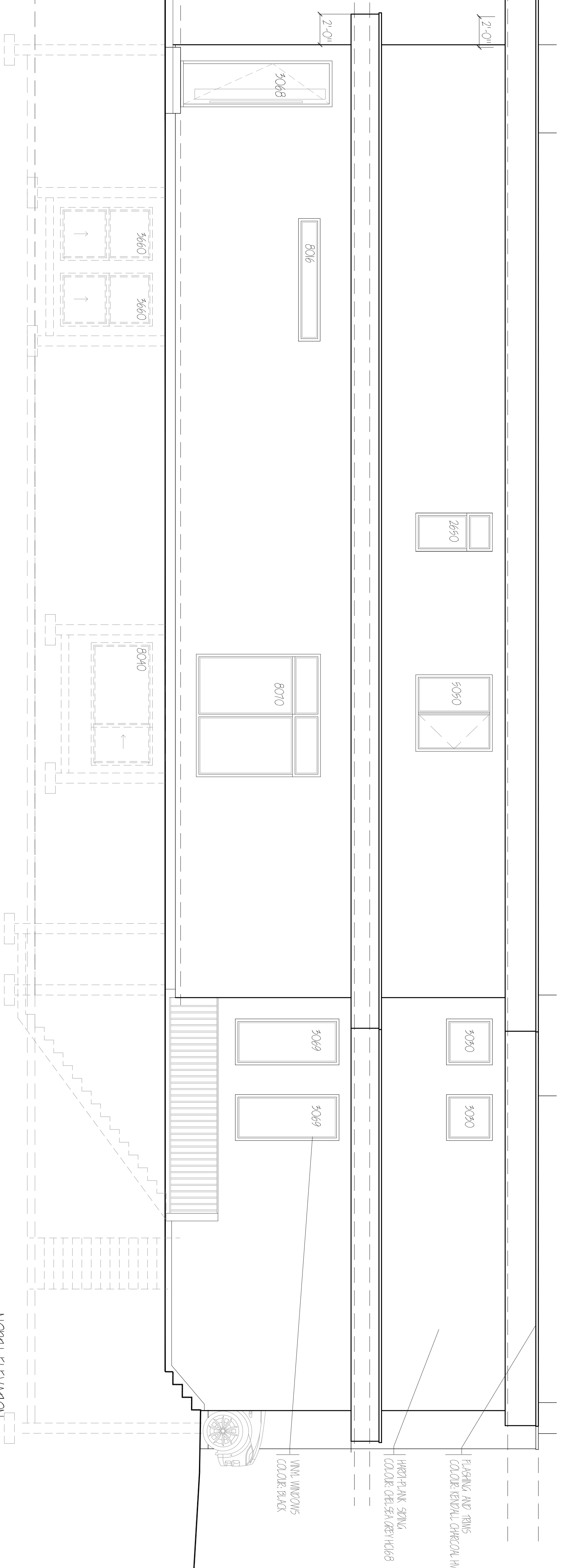
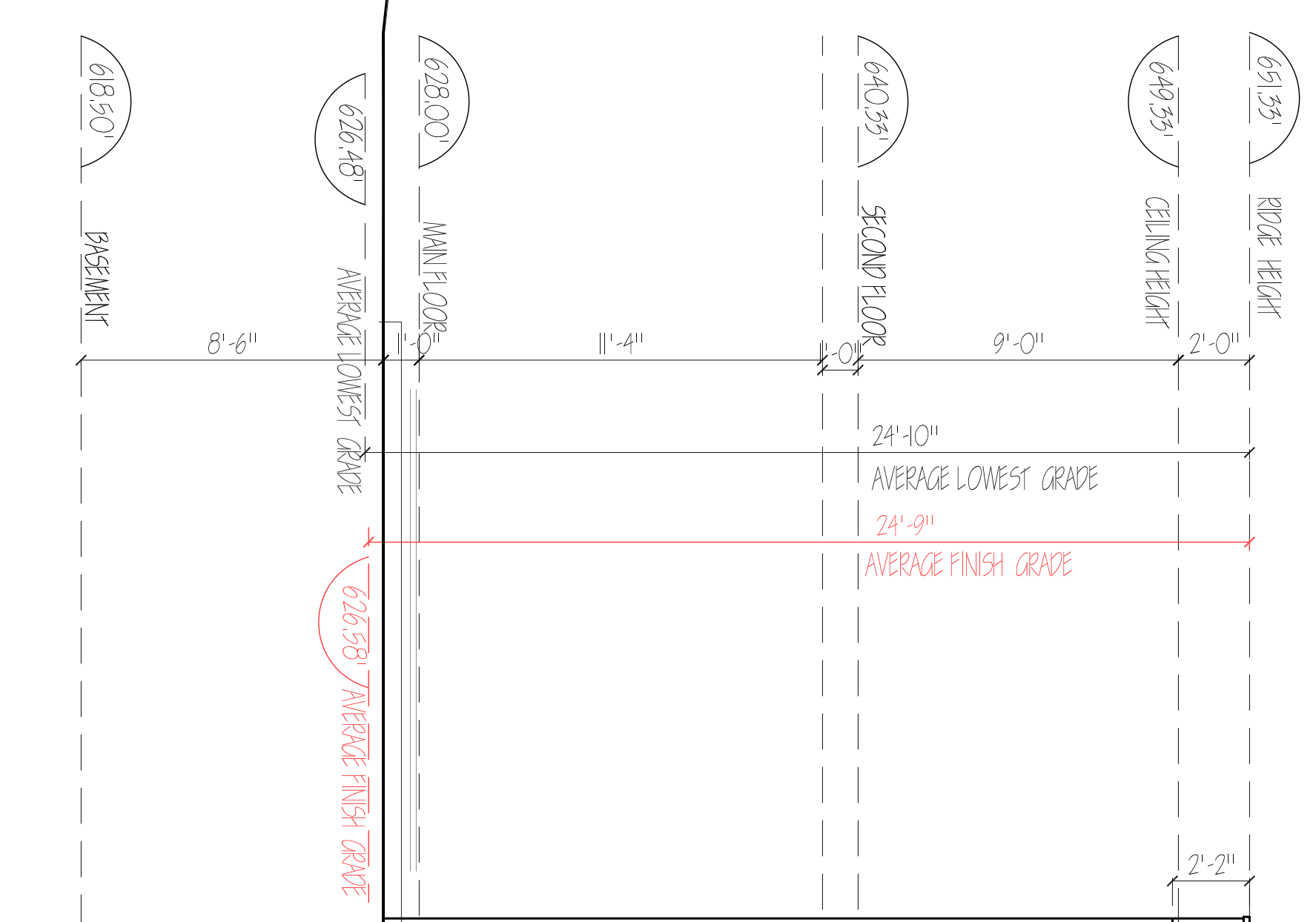
PROPOSED FOR:
GLENMORE DUPLEX
 14A and 14B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

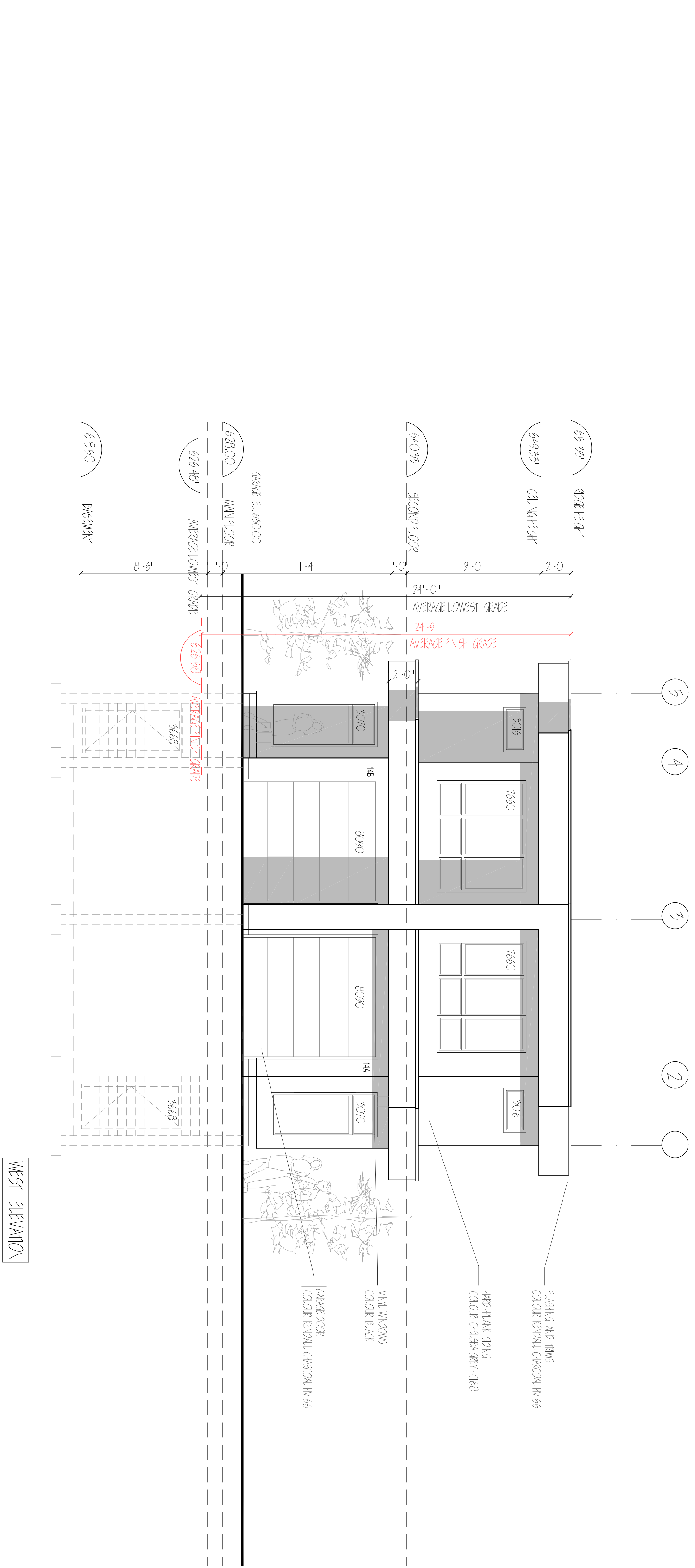
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NORTH ELEVATION



WEST ELEVATION

SHEET No.
A.08

DATE: DECEMBER 12, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

DRAWING TITLE
NORTH AND WEST
ELEVATIONS

PROPOSED FOR:
GLENMORE DUPLEX
14A and 14B Glenmore Drive,
West Vancouver, B.C.

REVISIONS

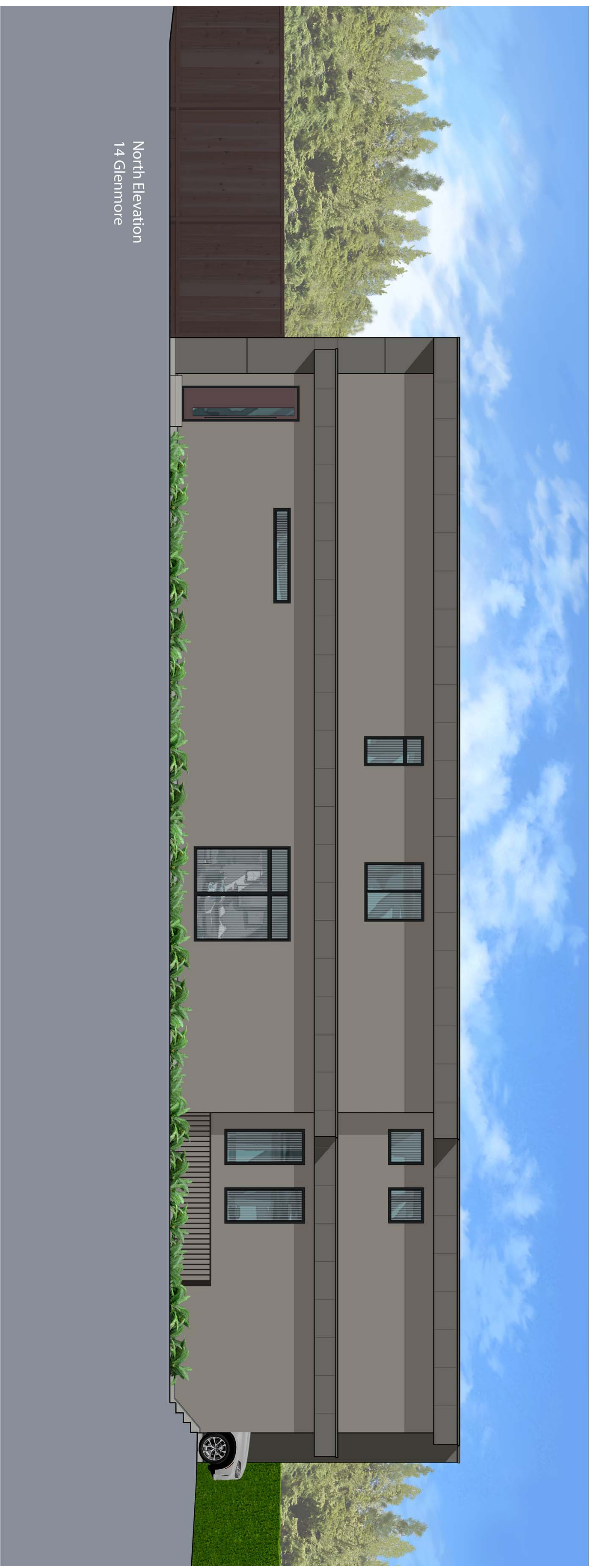
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
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West Elevation
14 Glenmore



North Elevation
14 Glenmore

EXTERIOR FINISHES

EXTERIOR SIDING

FINISH: HARD SIDING MOON FINISH
COLOUR: CHELSEA GREY



WINDOWS / FRAMES:

TYPE: VINYL
COLOUR: BLACK



SOFFITS:

TYPE: CEDAR
COLOUR: NATURAL



TRIM:

FINISH: METAL
COLOUR: KENDALL CHARCOAL HV66



SOFFIT LIGHTING:

TYPE: LED POT LIGHT
WARIN WHITE
COLOUR: BLACK TRIM



SIM.

PROPOSED FOR:
GLENMORE DUPLEX
14A and 14B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
NORTH AND WEST
ELEVATION RENDERINGS

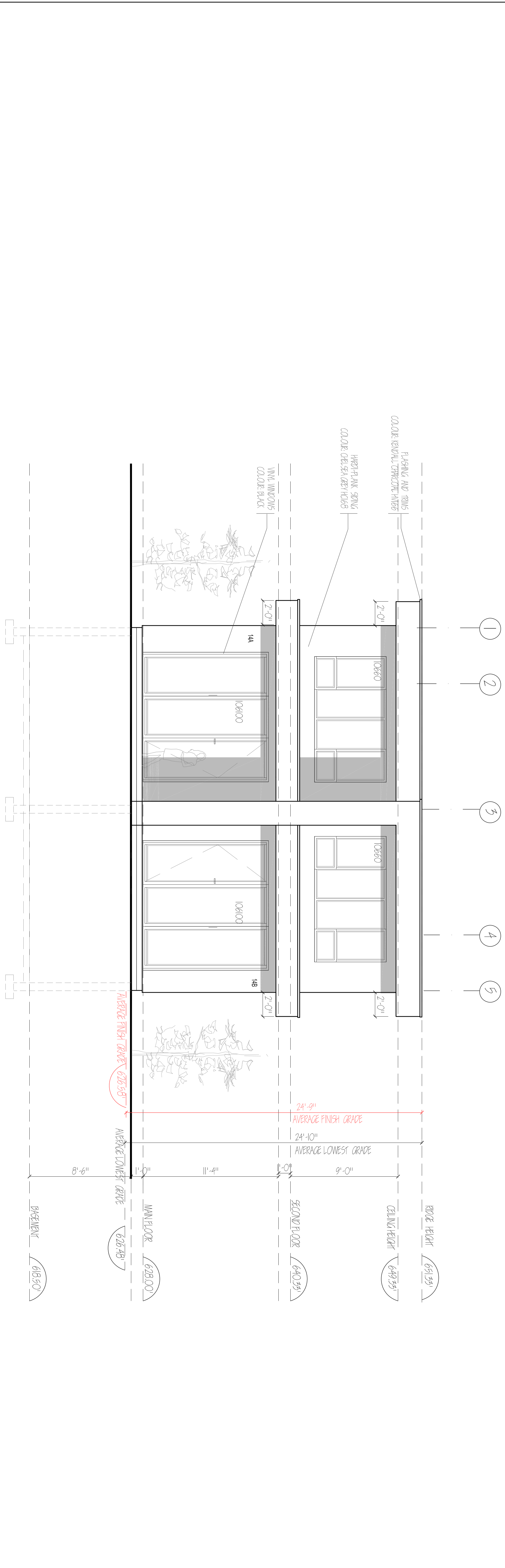
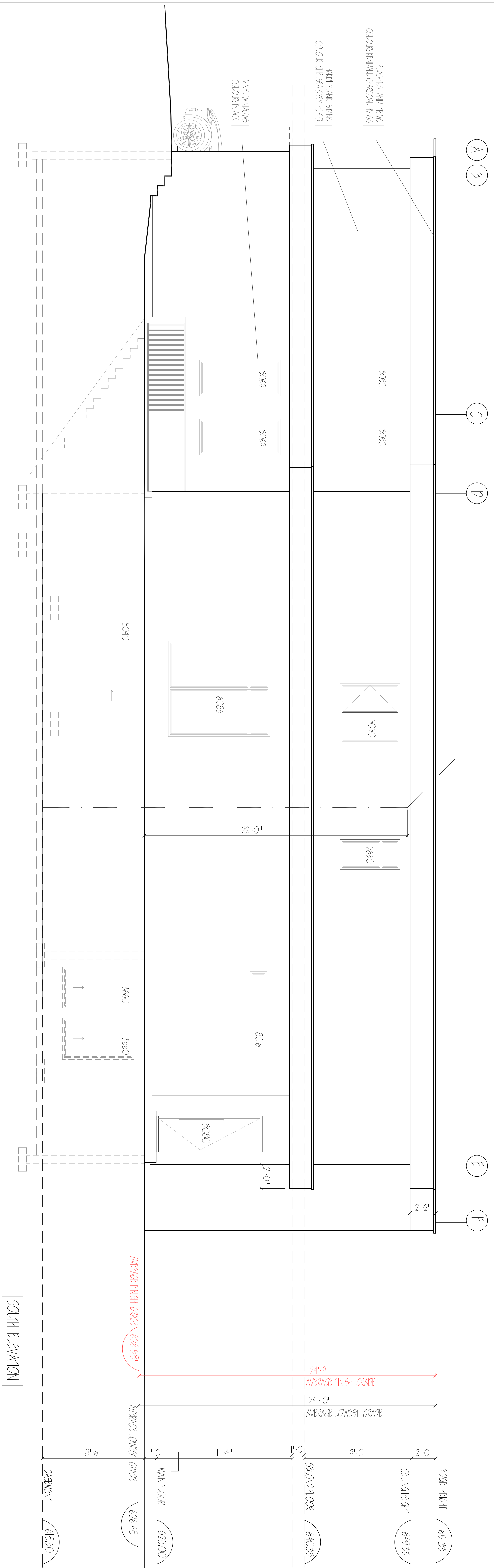
REVISIONS		
NO.	DESCRIPTION	DATE
1	UPDATED RENDERINGS	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
BE READ IN CONJUNCTION WITH
THE STRUCTURAL ENGINEERS
DESIGN LAYOUT

SP
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DATE: NOVEMBER 22, 2025
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

SHEET NO.
A.08b



REVISIONS

NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

PROPOSED FOR:

GLENMORE DUPLEX

14A and 14B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE

SOUTH AND EAST ELEVATIONS

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

SHEET No.

A.09

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Phone: 604.831.1351 or 778.322.9340
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South Elevation
14 Glenmore



East Elevation
14 Glenmore

EXTERIOR FINISHES

EXTERIOR SIDING

FINISH: HARD SIDING MOON FINISH
COLOUR: CHELSEA GREY



WINDOWS / FRAMES:

TYPE: VINYL
COLOUR: BLACK



SOFFITS:

TYPE: CEDAR
COLOUR: NATURAL



TRIM:

FINISH: METAL
COLOUR: KENDALL CHARCOAL HV66



SOFFIT LIGHTING:

TYPE: LED POT LIGHT
WARM WHITE
COLOUR: BLACK TRIM



SIM.

PROPOSED FOR:
GLENMORE DUPLEX
14A and 14B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
SOUTH AND EAST
ELEVATION RENDERINGS

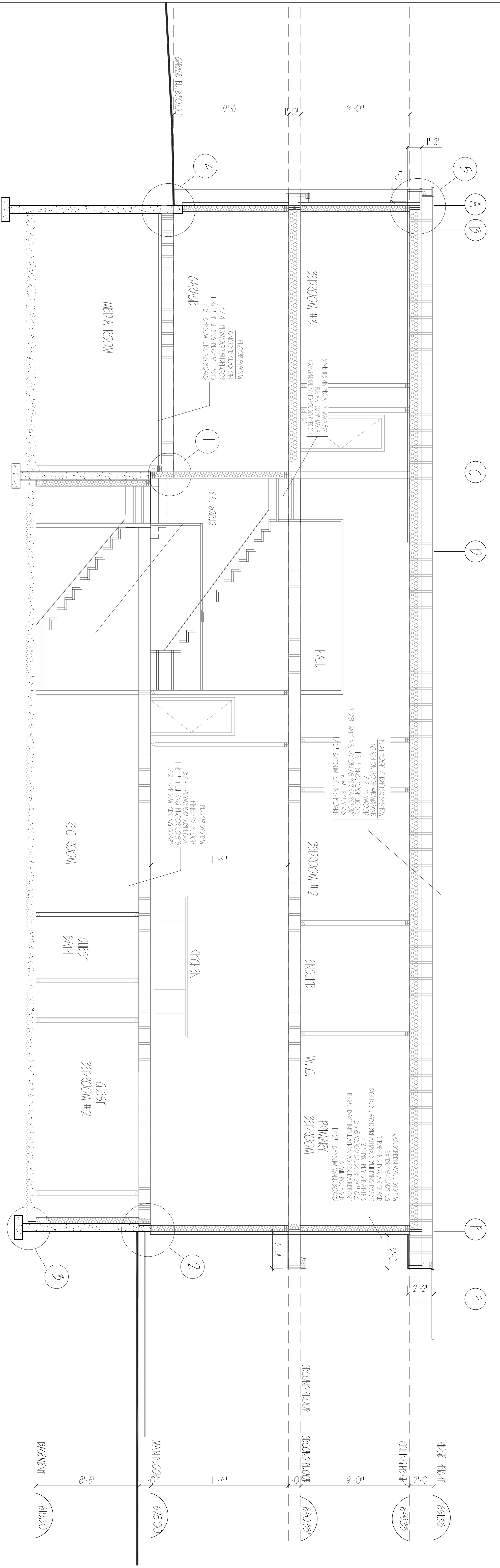
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JOB NO.: 12304

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A.09b

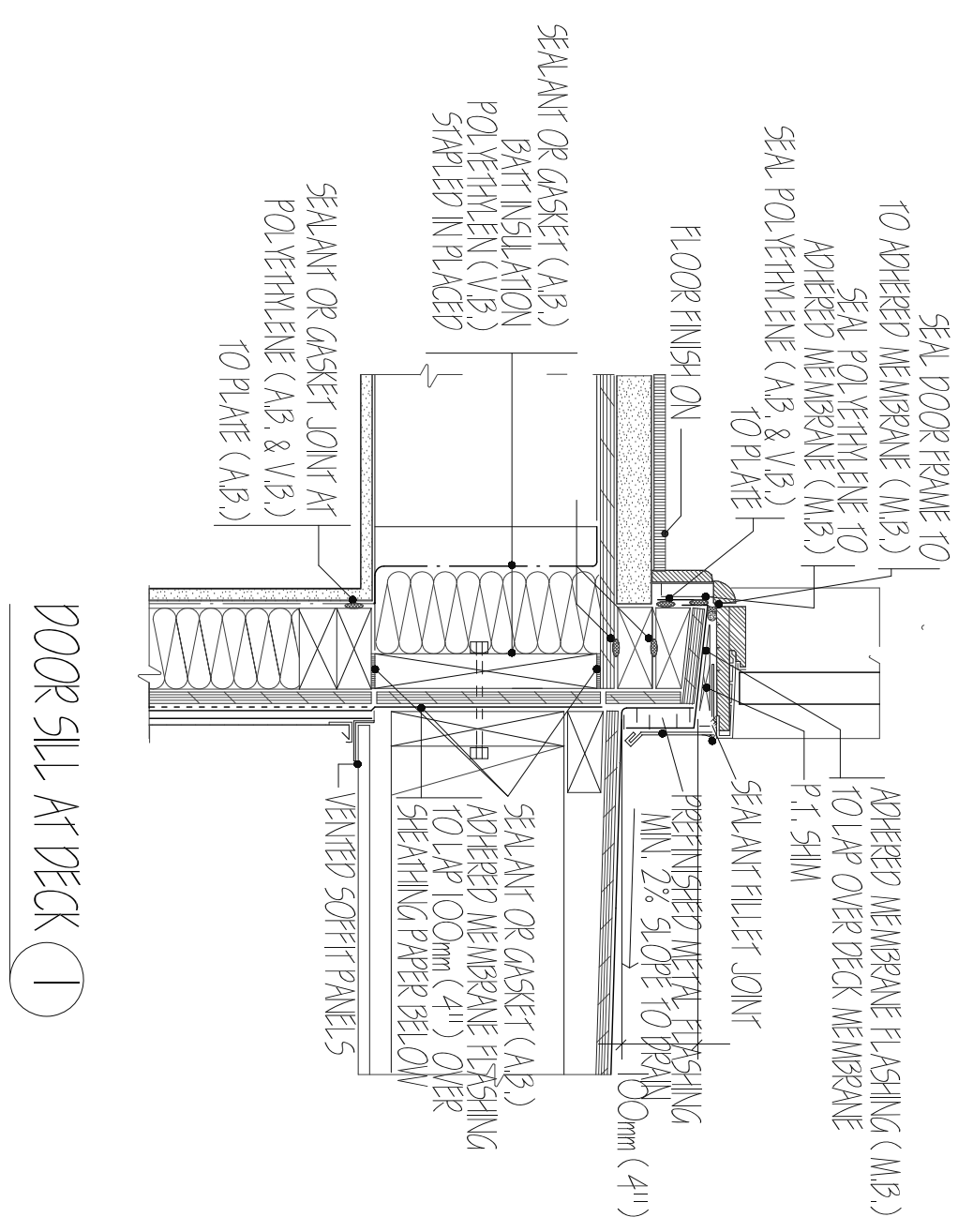
REVISIONS		
NO.	DESCRIPTION	DATE
1	UPDATED RENDERINGS	

NOTE:
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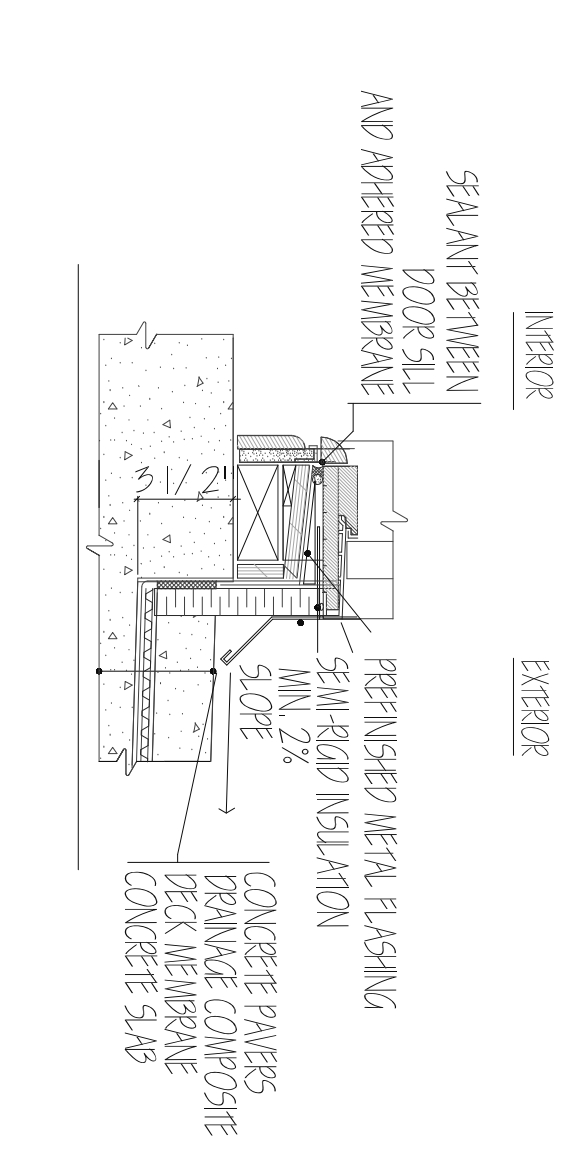
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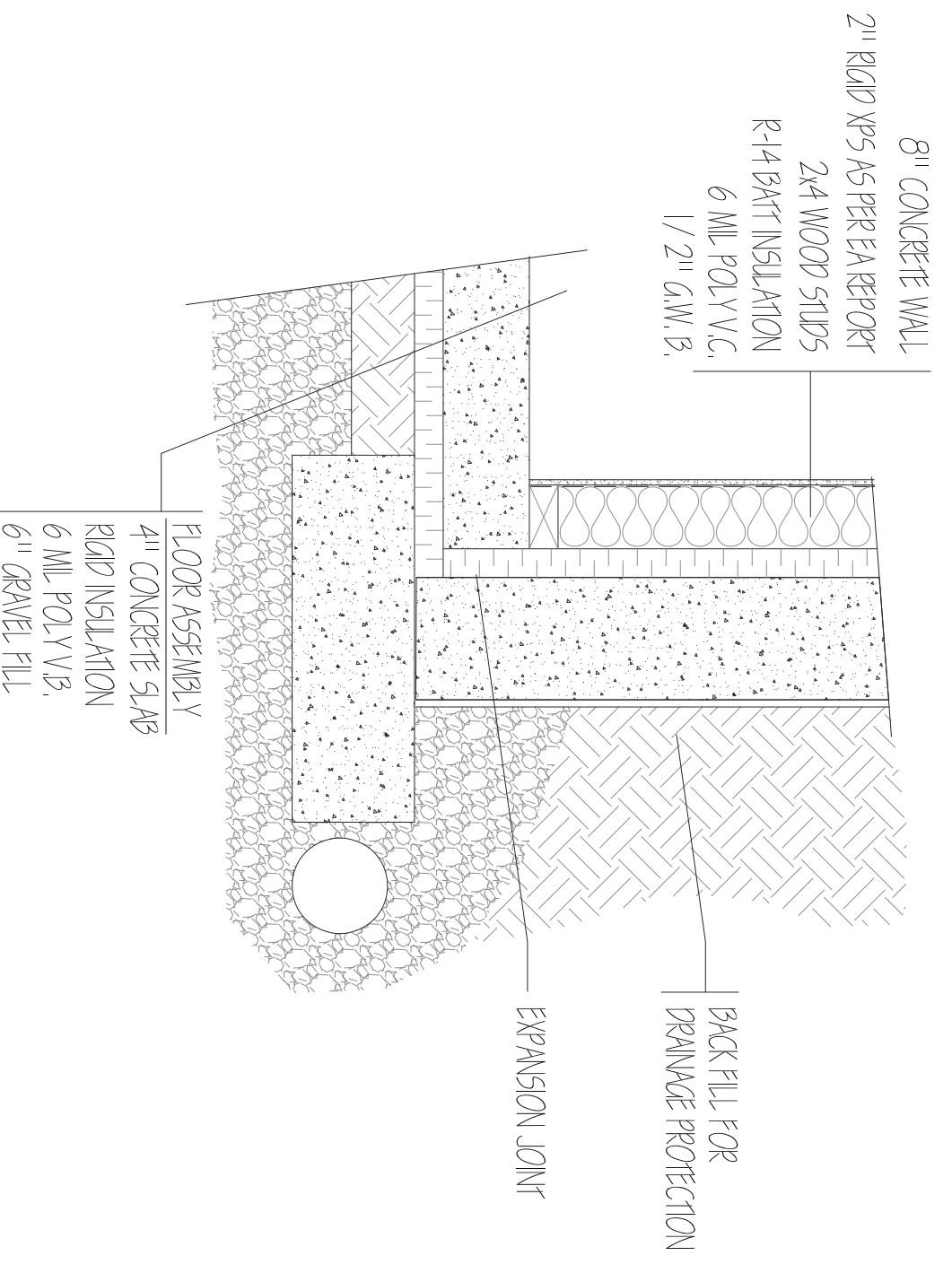
SECTION A-A



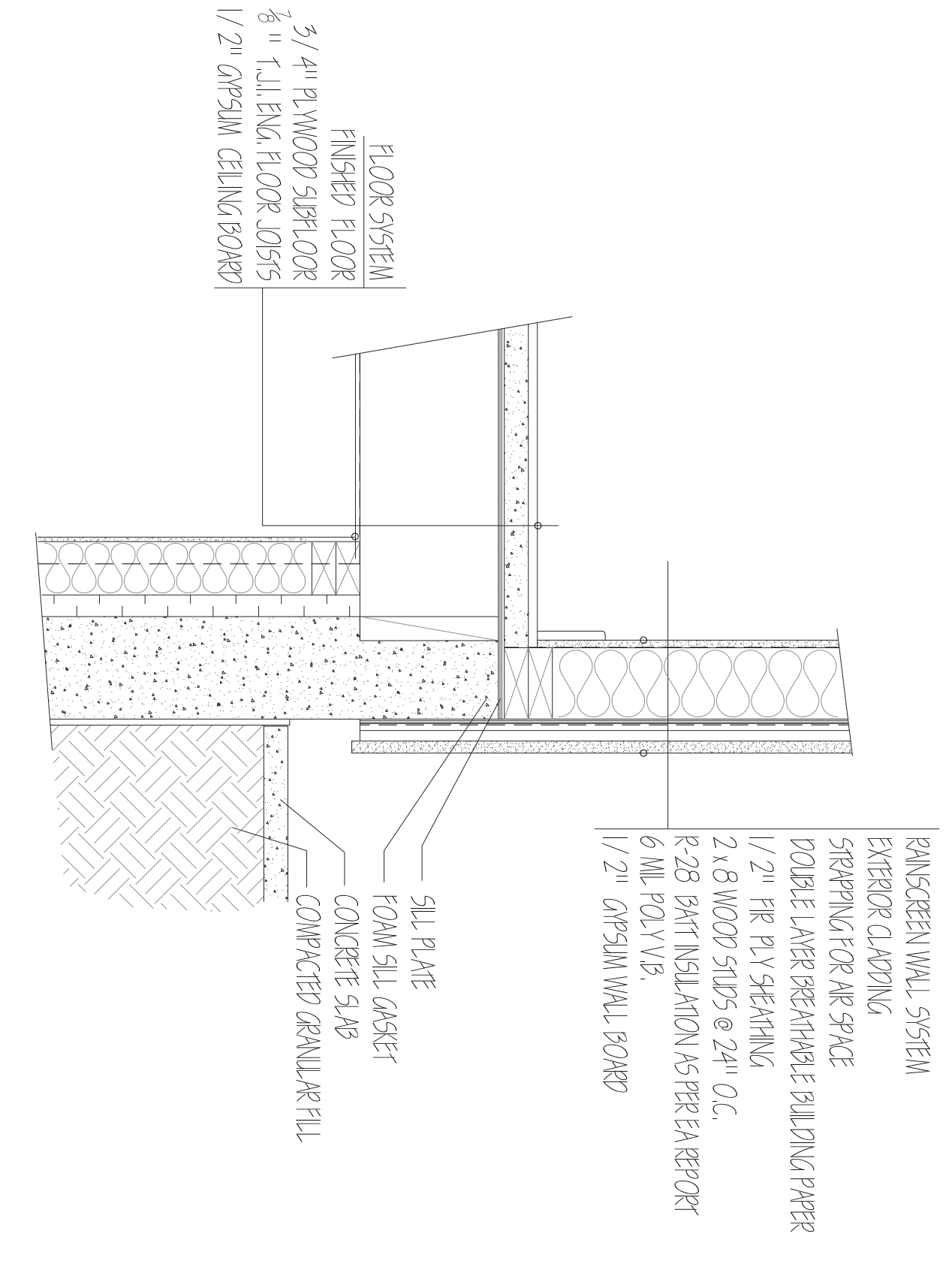
DOOR SILL AT DECK ①



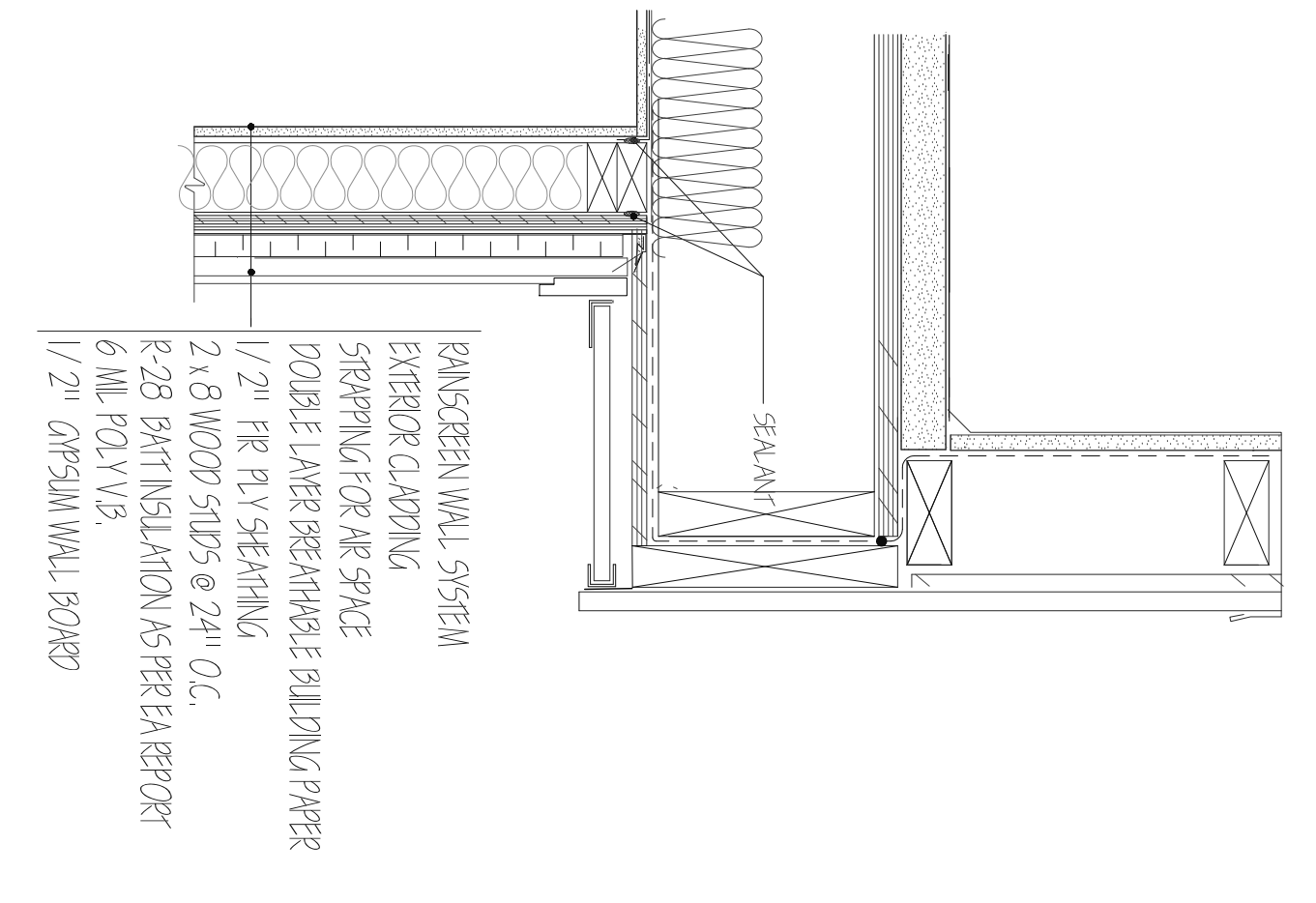
BASE WALL AT DOOR SILL ②



FOUNDATION DETAIL ③



FLOOR DETAIL ④



TYPICAL FLAT ROOF ⑤

SHEET NO.
A.10

DATE: DECEMBER 12, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

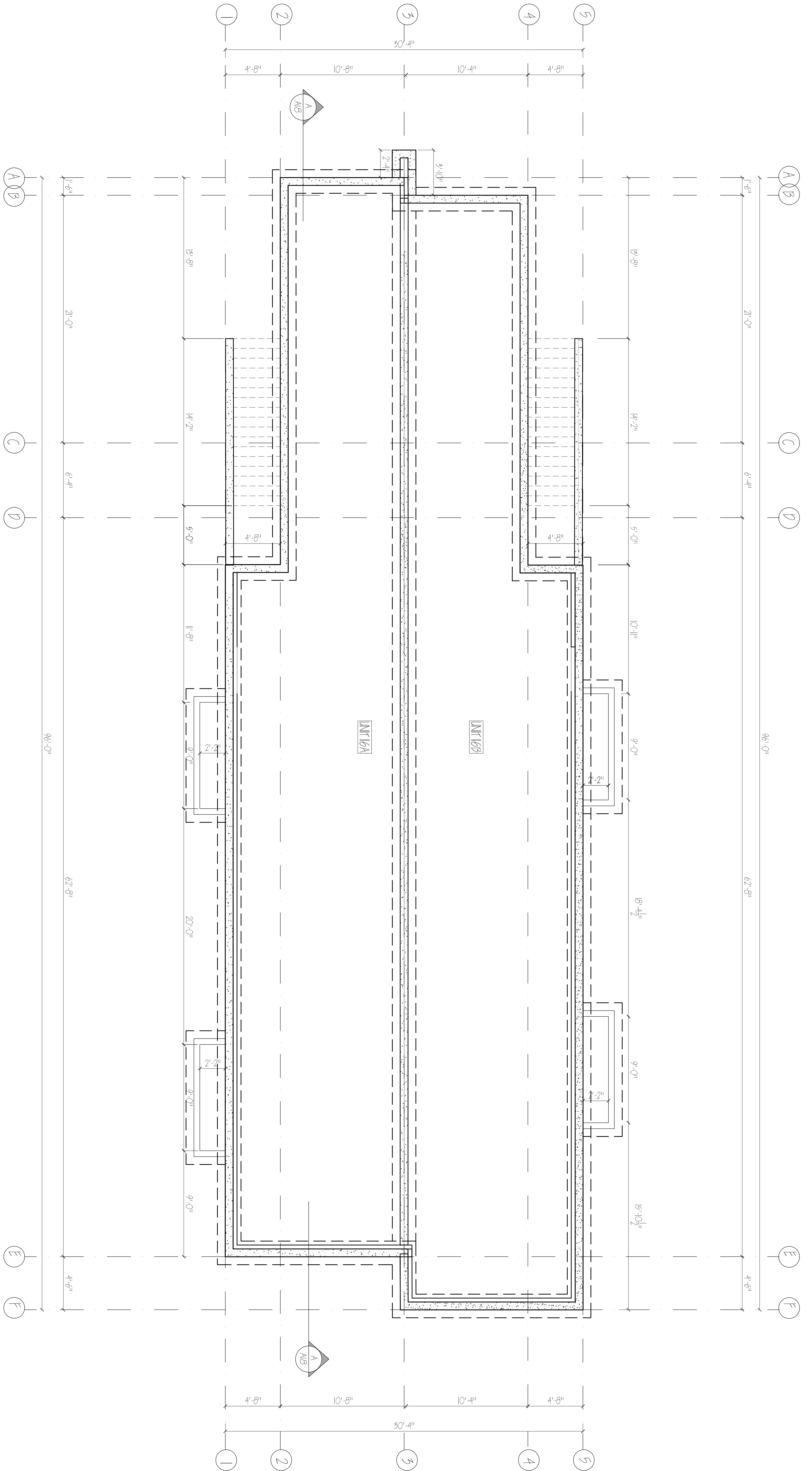
DRAWING TITLE
SECTIONS AND DETAILS

PROPOSED FOR:
GLENMORE DUPLEX
14A and 14B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
BE READ IN CONJUNCTION WITH
THE STRUCTURAL ENGINEERS
DESIGN LAYOUT

STERLING PACIFIC DEVELOPMENTS INC.
#14 - 836 Clyde Avenue
Phone: 604.831.1351 or 778.322.9340
www.sterlingpacificdevelopments.com



SHEET No.
A.11

DATE:	DECEMBER 12, 2023
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12304

DRAWING TITLE
FOUNDATION PLAN

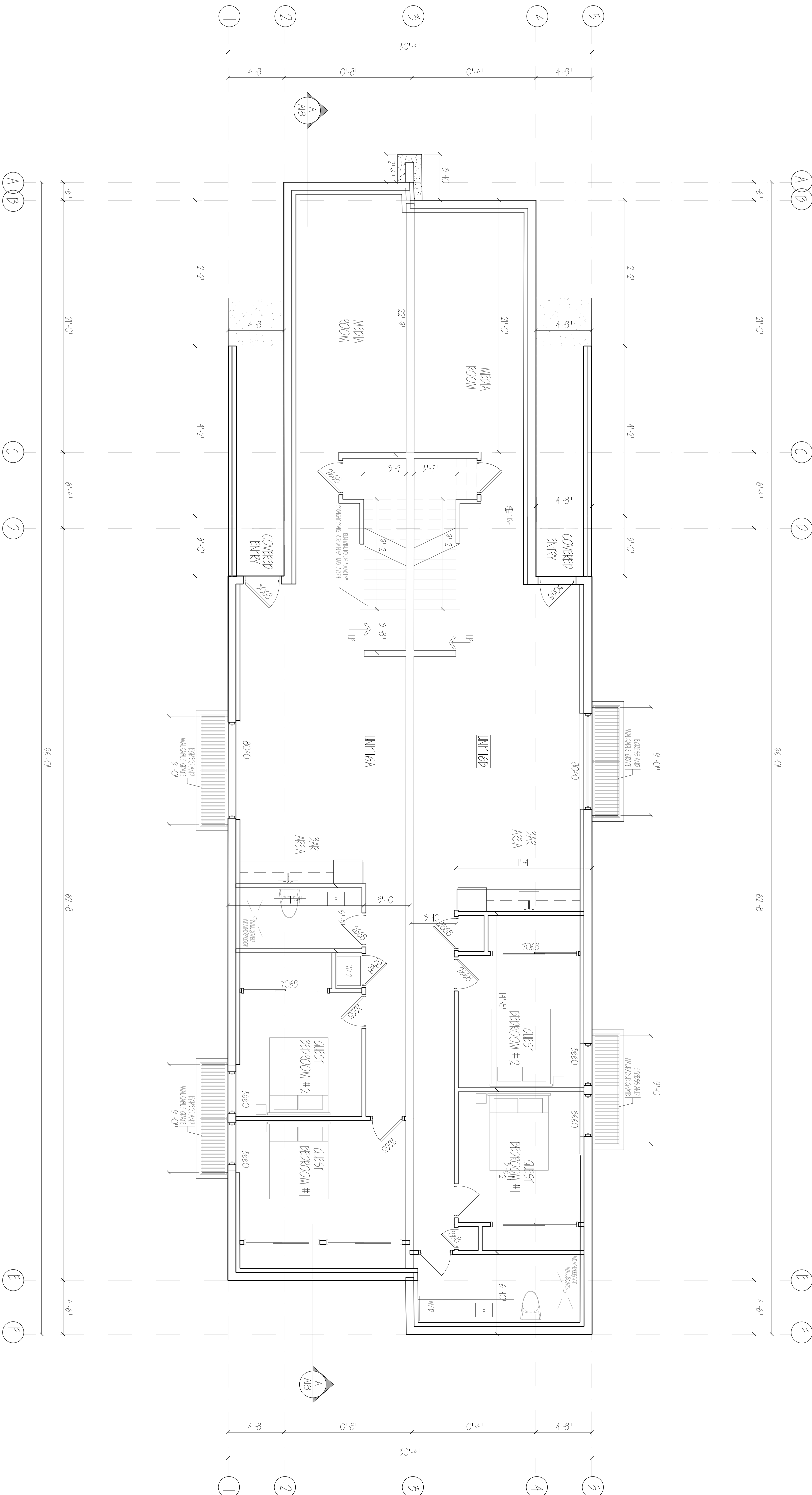
PROPOSED FOR:
GLENMORE DUPLEX
LOT B
16A and 16B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
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DESIGN LAYOUT



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Phone: 604.831.1351 or 778.322.9340
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PROPOSED BASEMENT LEVEL

UNIT 16A
AREA: 1,252 SQFT

UNIT 16B
AREA: 1,310 SQFT

TOTAL FLOOR AREA: 2,562 SQFT.

SHEET No.
A.12

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

DRAWING TITLE
BASEMENT LEVEL

PROPOSED FOR:
GLENMORE DUPLEX
LOT B
16A and 16B Glenmore Drive,
West Vancouver, B.C.

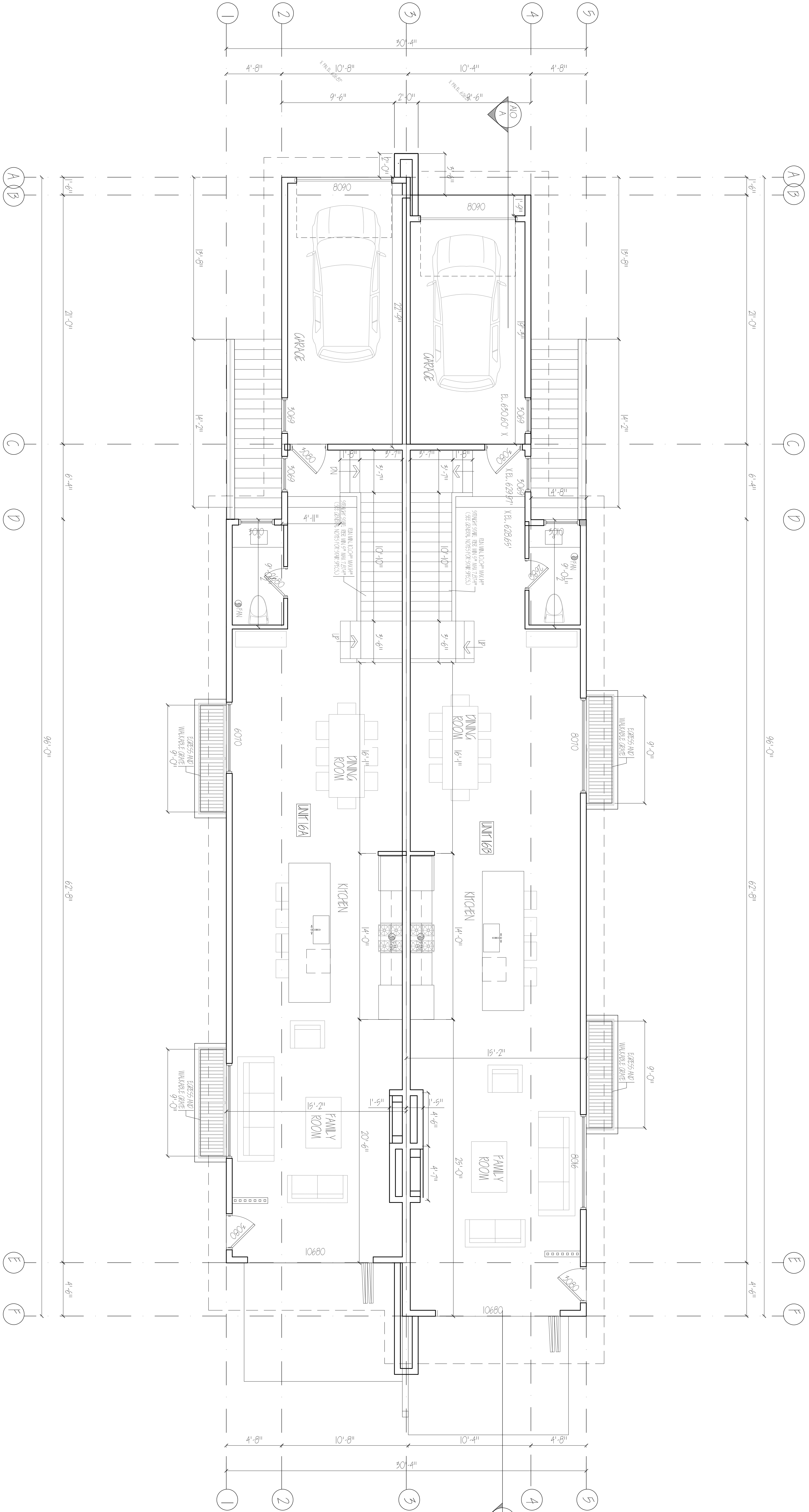
REVISIONS

NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
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DESIGN LAYOUT



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PROPOSED MAIN FLOOR
 UNIT 16A
 AREA: 1,018 SQFT
 PLUS GARAGE: 286 SQFT
 UNIT 16B
 AREA: 1,086 SQFT
 PLUS GARAGE: 222 SQFT
 TOTAL FLOOR AREA: 2,561 SQFT.

SHEET No.
A.13

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

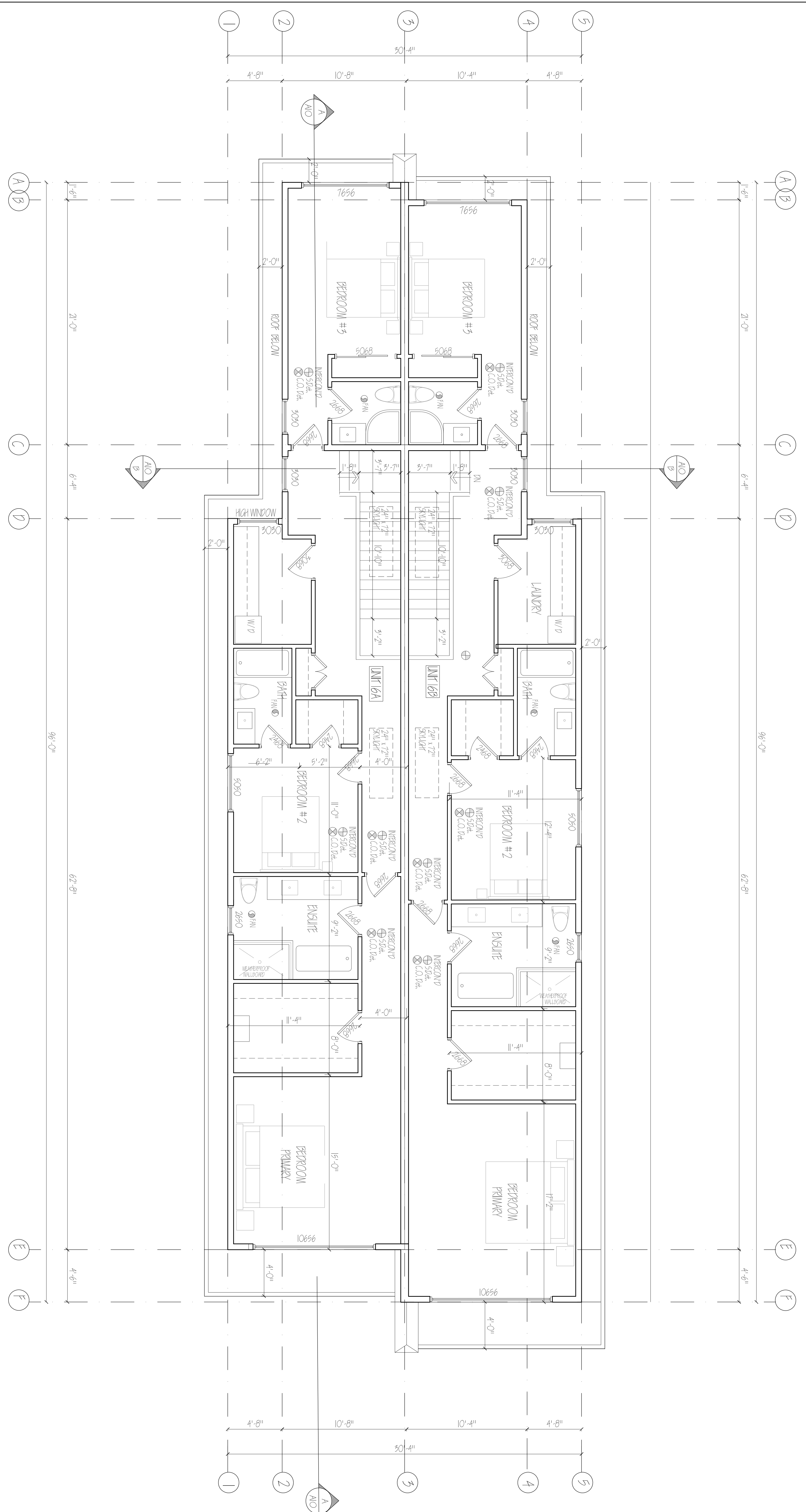
DRAWING TITLE
 MAIN FLOOR

PROPOSED FOR:
GLENMORE DUPLEX
 16A and 16B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
 BE READ IN CONJUNCTION WITH
 THE STRUCTURAL ENGINEERS
 DESIGN LAYOUT

STERLING PACIFIC DEVELOPMENTS INC.
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 Phone: 604.831.1351 or 778.322.9340
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PROPOSED SECOND FLOOR	
UNIT 16A	AREA: 1,252 SQFT
UNIT 16B	AREA: 1,310 SQFT
TOTAL AREA	2,562 SQFT

SHEET No.
A.14

DATE: DECEMBER 12, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

DRAWING TITLE
SECOND FLOOR

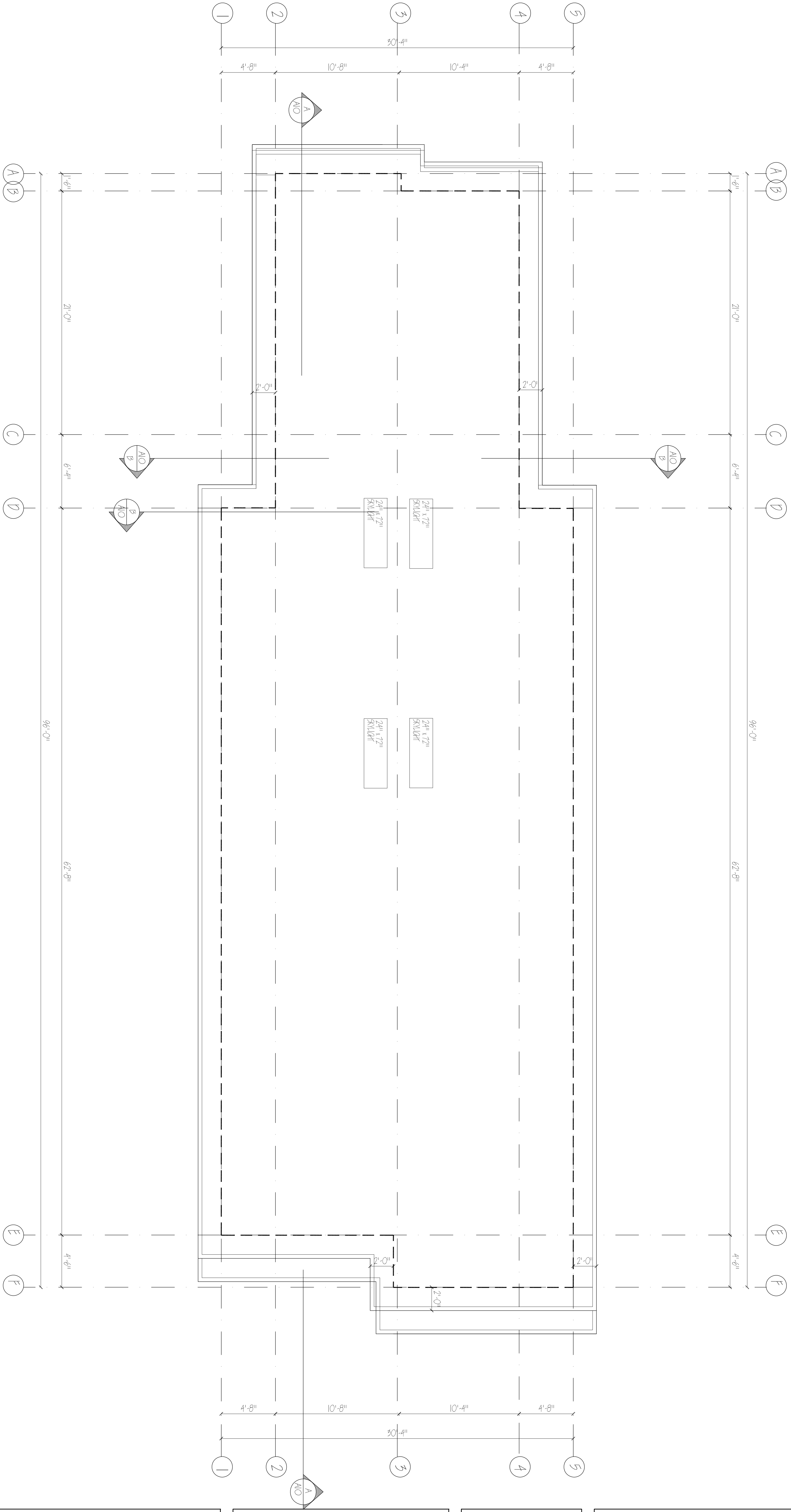
PROPOSED FOR:
GLENMORE DUPLEX
16A and 16B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED TO FLAT ROOF, SKYLIGHTS ADDED	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
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ARCHITECTURAL DRAWINGS TO
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DESIGN LAYOUT



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ROOF PLAN

SHEET No.
A.15

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

DRAWING TITLE
ROOF PLAN

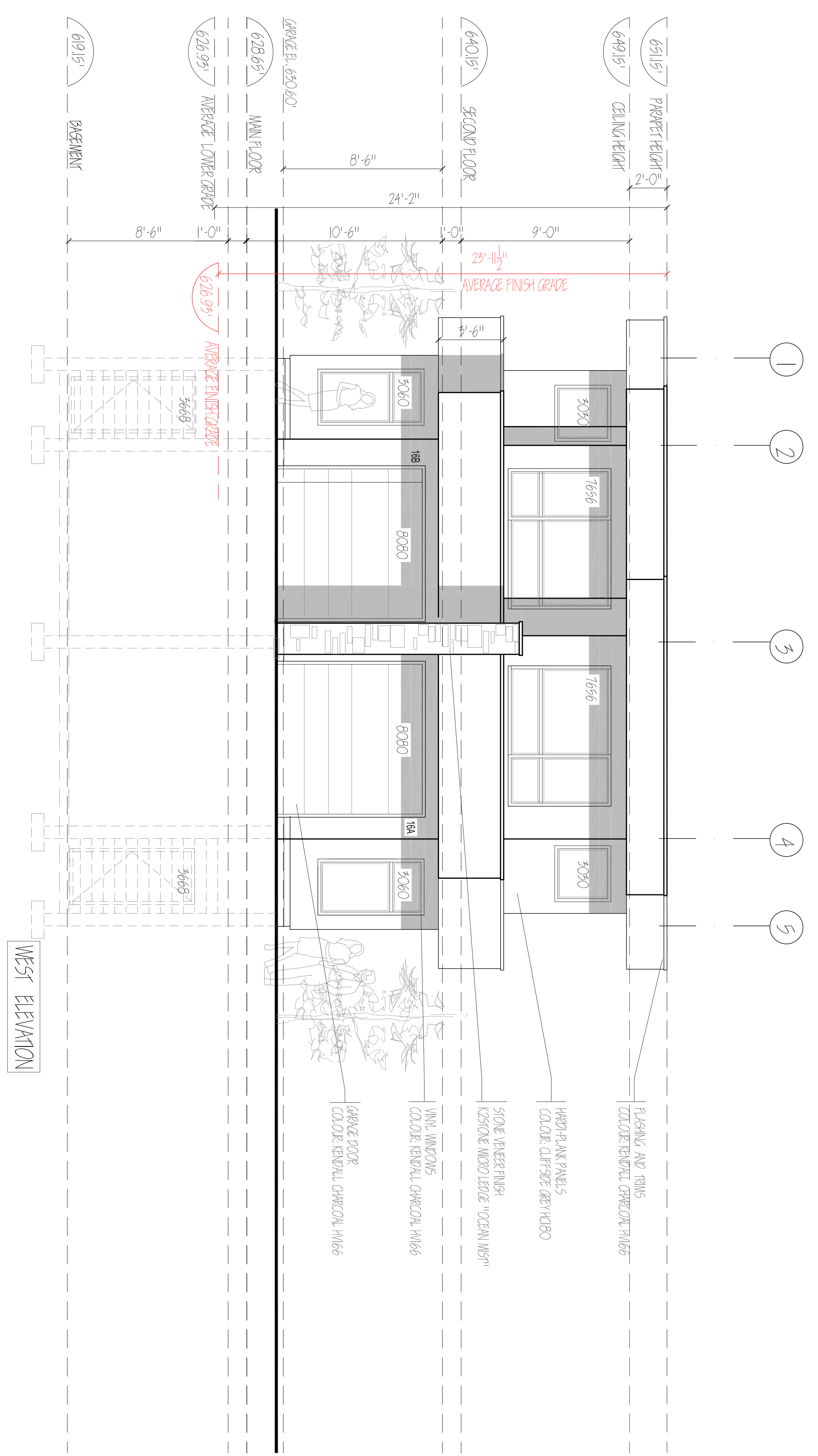
PROPOSED FOR:
GLENMORE DUPLEX
 16A and 16B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED TO FLAT ROOF, SKYLIGHTS ADDED	MARCH 6, 2024

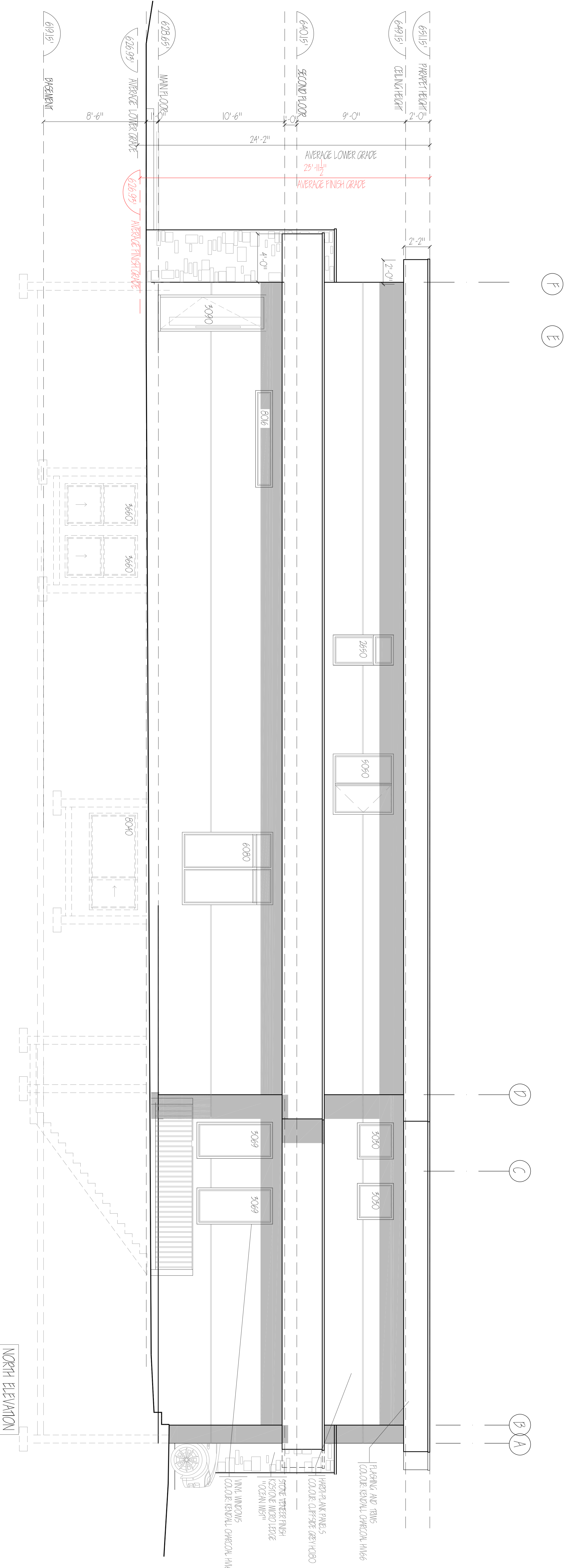
NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
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WEST ELEVATION



NORTH ELEVATION

A.16	DATE:	DECEMBER 12, 2023
	SCALE:	1/4" = 1'-0"
	DRAWN BY:	VJM
	JOB NO.:	12304

DRAWING TITLE
NORTH AND WEST
ELEVATIONS

PROPOSED FOR:
GLENMORE DUPLEX
16A and 16B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED TO FLAT ROOF, SKYLIGHTS ADDED	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
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ARCHITECTURAL DRAWINGS TO
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THE STRUCTURAL ENGINEERS
DESIGN LAYOUT



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West Elevation
16 Glenmore Drive



North Elevation
16 Glenmore Drive

EXTERIOR FINISHES

EXTERIOR SIDING
FINISH: HARD SIDING, NORTH FINISH
COLOUR: GREENBRIER BEIGE HCT9



MASONRY
TYPE: KESTONE
COLOUR: OCEAN MIST MICRO LEDGE



WINDOWS / FRAMES:
TYPE: VINYL
COLOUR: KENDALL CHARCOAL



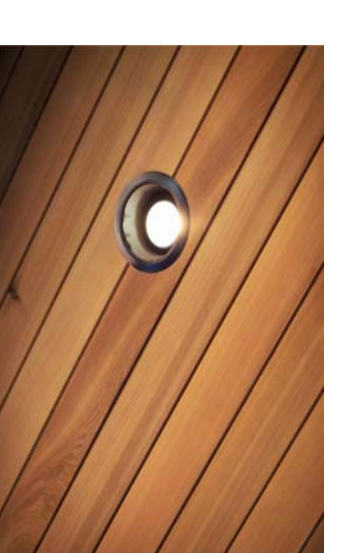
SOFFITS:
TYPE: CEDAR
COLOUR: NATURAL



TRIM:
FINISH: METAL
COLOUR: KENDALL CHARCOAL HW66



SOFFIT LIGHTING:
TYPE: LED POT LIGHT
WARM WHITE
COLOUR: BLACK TRIM



5MM.

SHEET NO.
A.16b

DATE:	
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12304

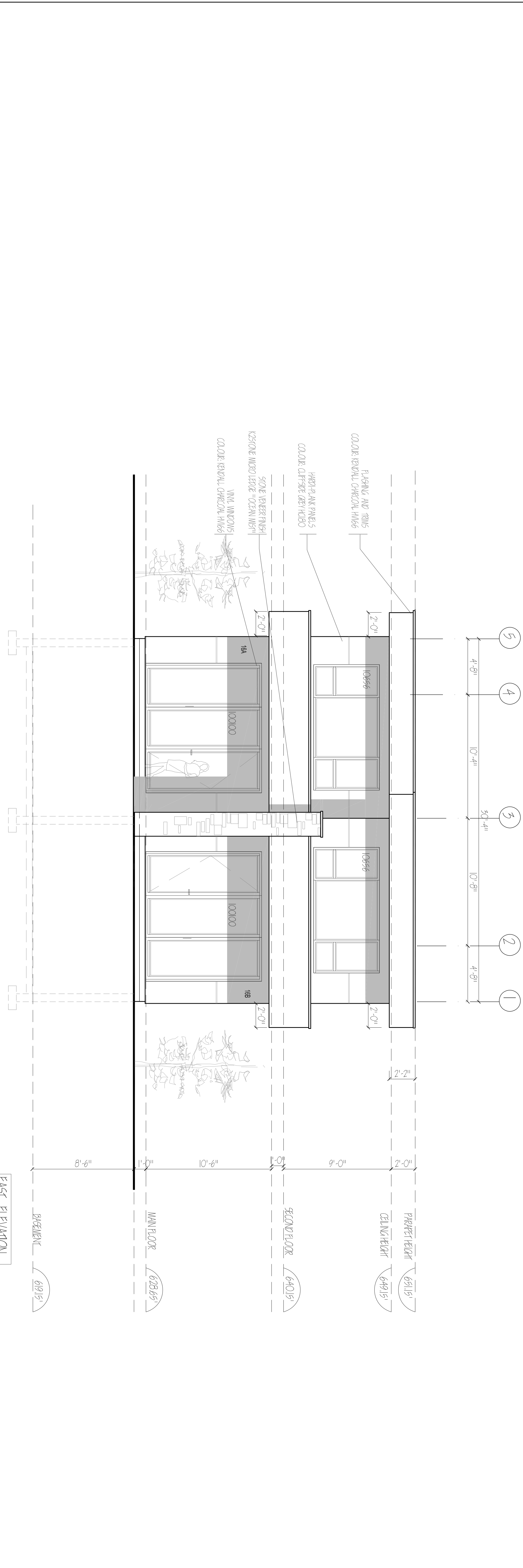
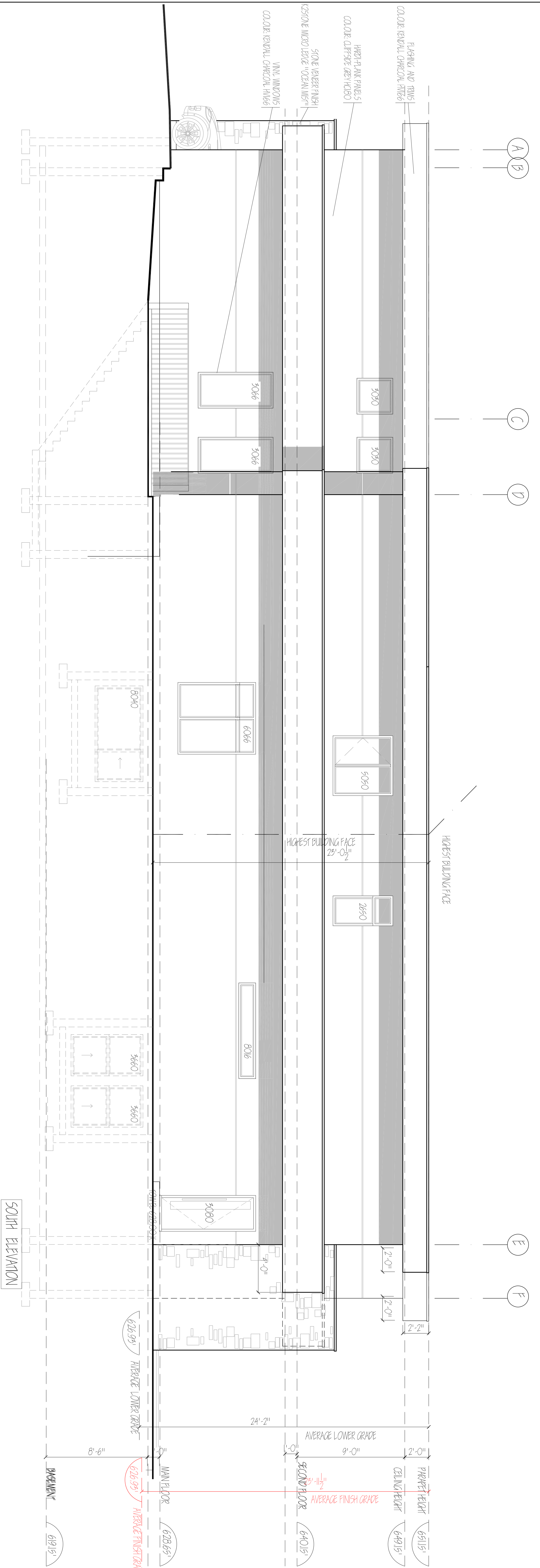
DRAWING TITLE
NORTH AND WEST
ELEVATION RENDERINGS

PROPOSED FOR:
GLENMORE DUPLEX
16A and 16B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	UPDATED RENDERINGS	

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
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BE READ IN CONJUNCTION WITH
THE STRUCTURAL ENGINEERS
DESIGN LAYOUT

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REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED TO FLAT ROOF, SKYLIGHTS ADDED	MARCH 6, 2024

NOTE:
 ALL WORK TO CONFORM TO
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PROPOSED FOR:
GLENMORE DUPLEX
 16A and 16B Glenmore Drive,
 West Vancouver, B.C.

DRAWING TITLE
**SOUTH AND EAST
 ELEVATIONS**

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

SHEET No.
A.17



South Elevation
16 Glenmore Drive



East Elevation
16 Glenmore Drive

EXTERIOR FINISHES

EXTERIOR SIDING

FINISH: HARD SIDING MOON FINISH
COLOUR: GREENERY BEIGE HCT9



MASONRY

TYPE: K2STONE
COLOUR: OCEAN MIST MICRO LEDGE



WINDOWS / FRAMES:

TYPE: VINYL
COLOUR: KENDALL CHARCOAL



SOFFITS:

TYPE: CEDAR
COLOUR: NATURAL



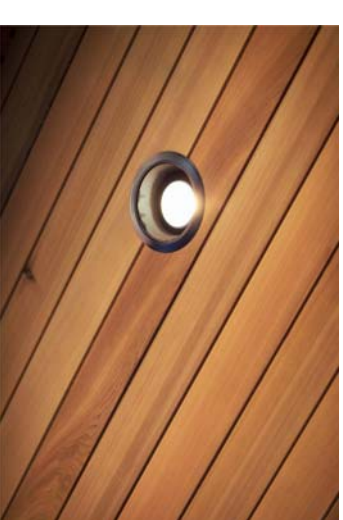
TRIM:

FINISH: METAL
COLOUR: KENDALL CHARCOAL HW66



SOFFIT LIGHTING:

TYPE: LED POT LIGHT
COLOUR: BLACK TRIM



SIM.

PROPOSED FOR:
GLENMORE DUPLEX
16A and 16B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
SOUTH AND EAST
ELEVATION RENDERINGS

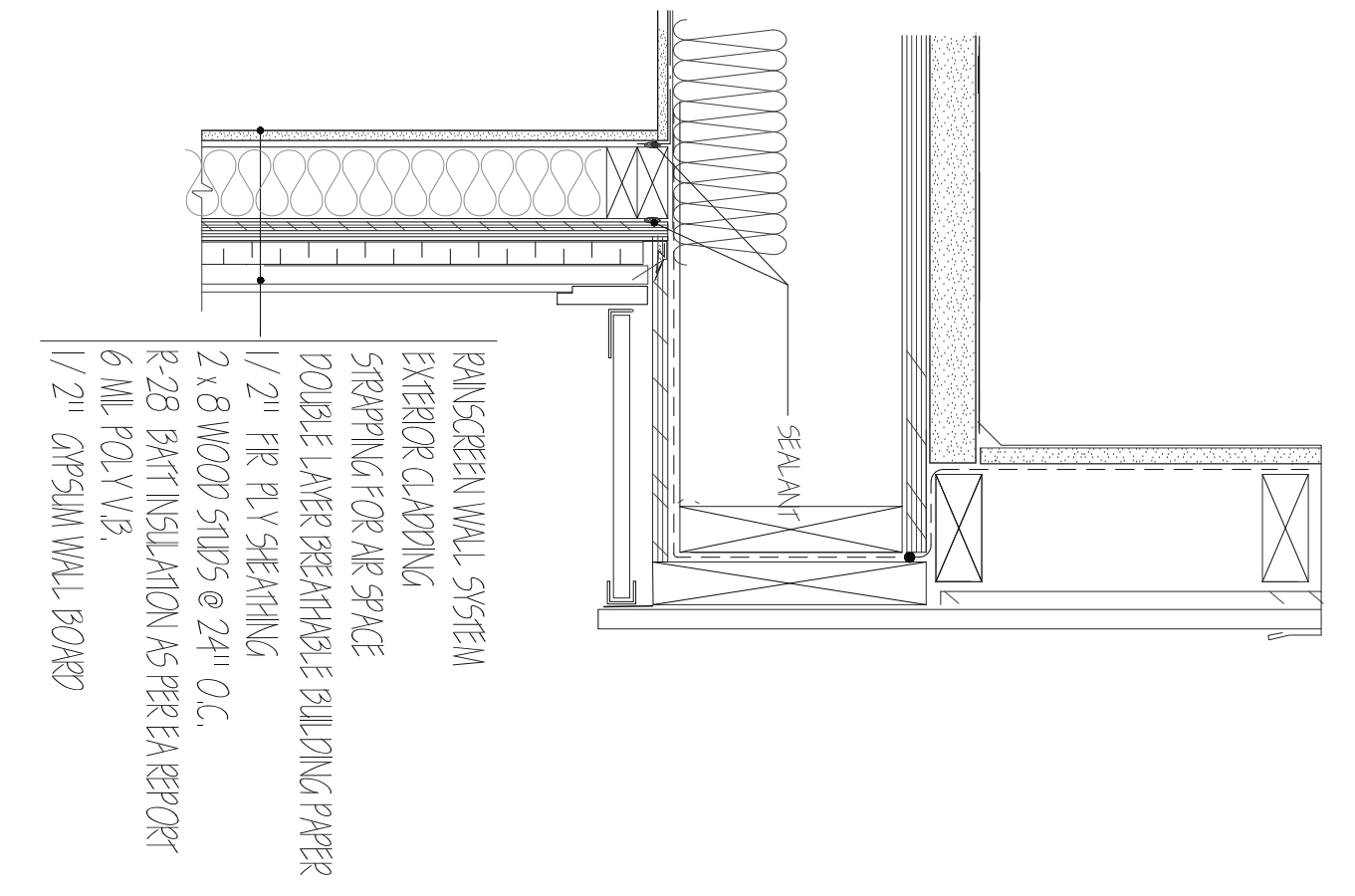
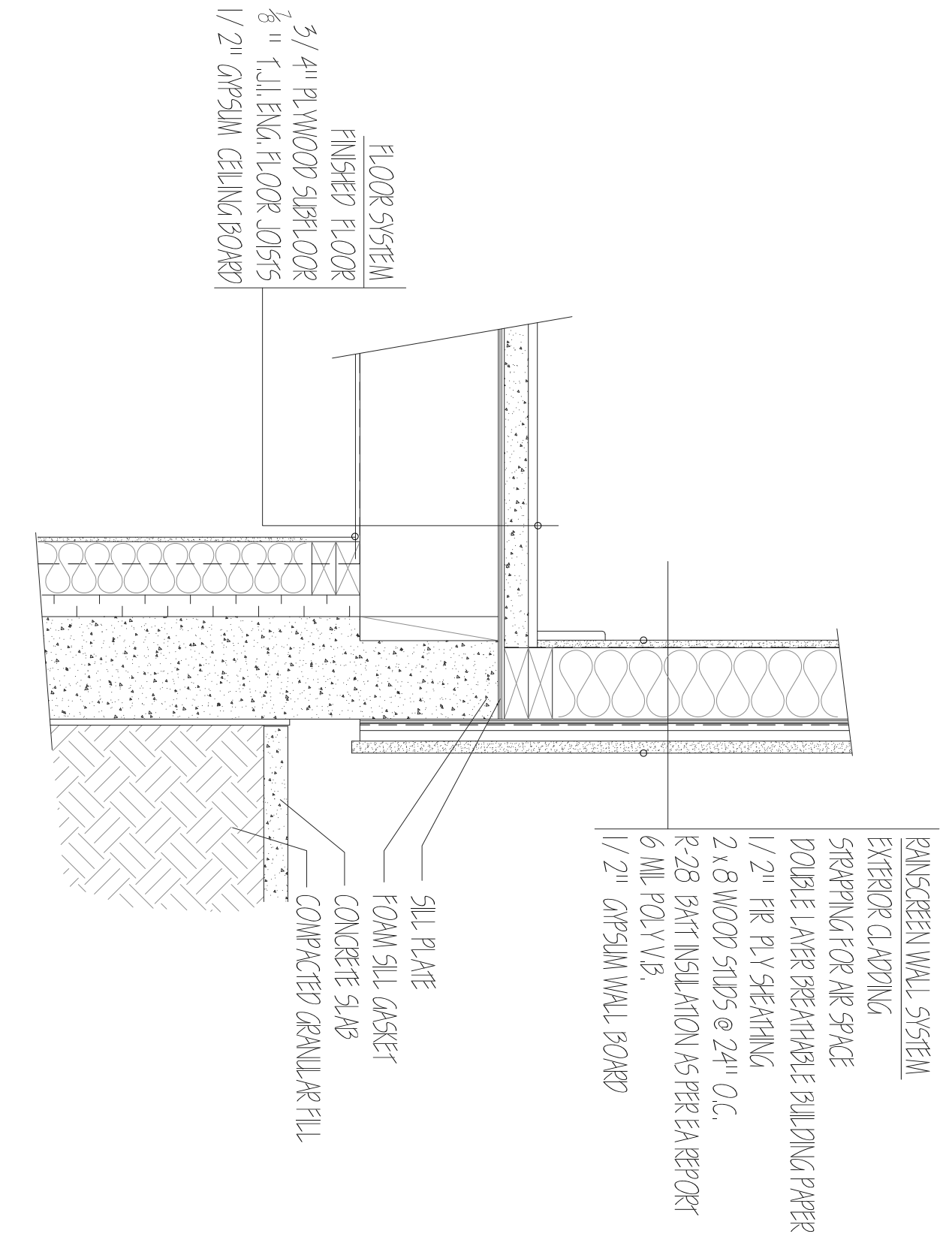
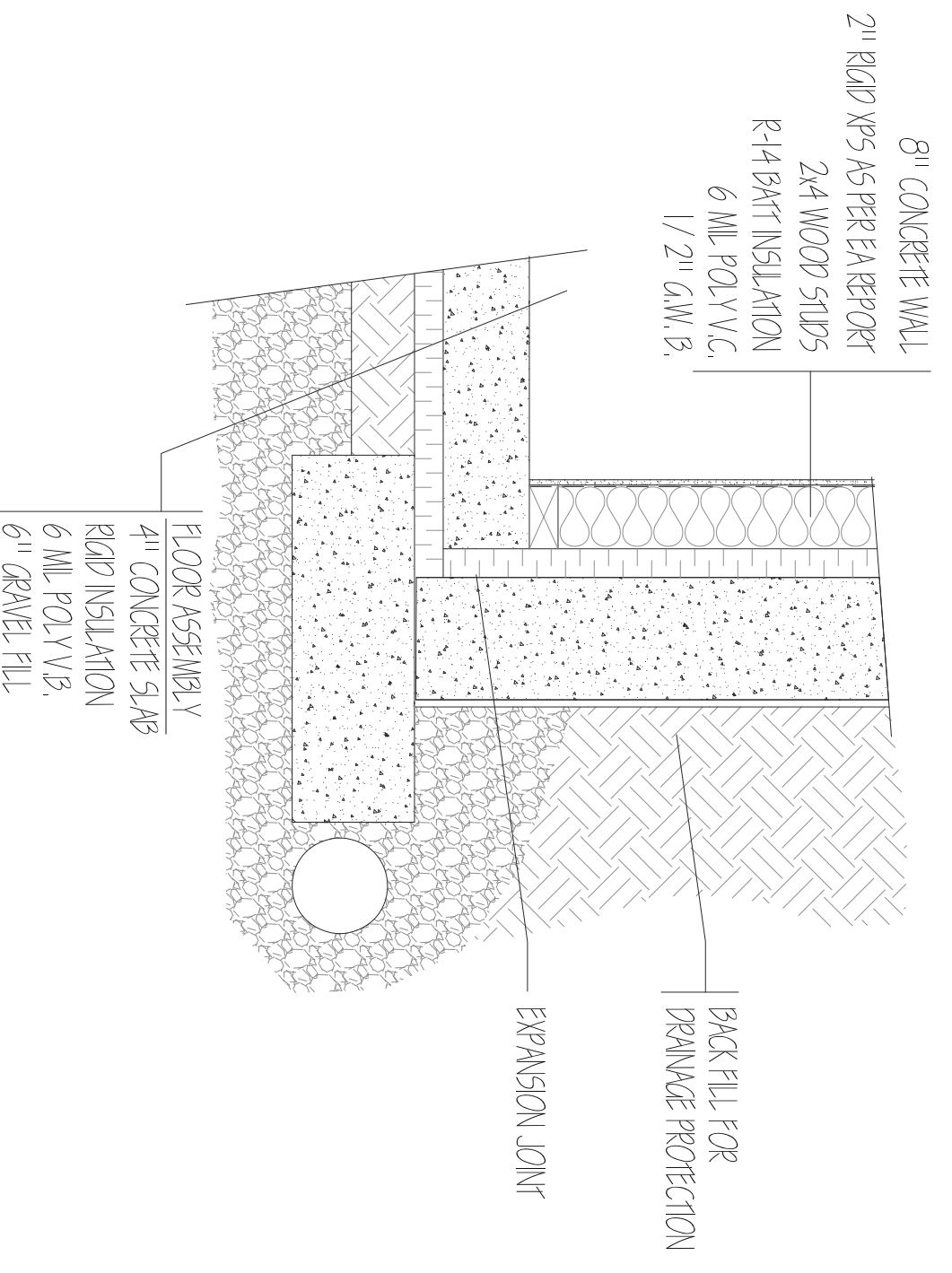
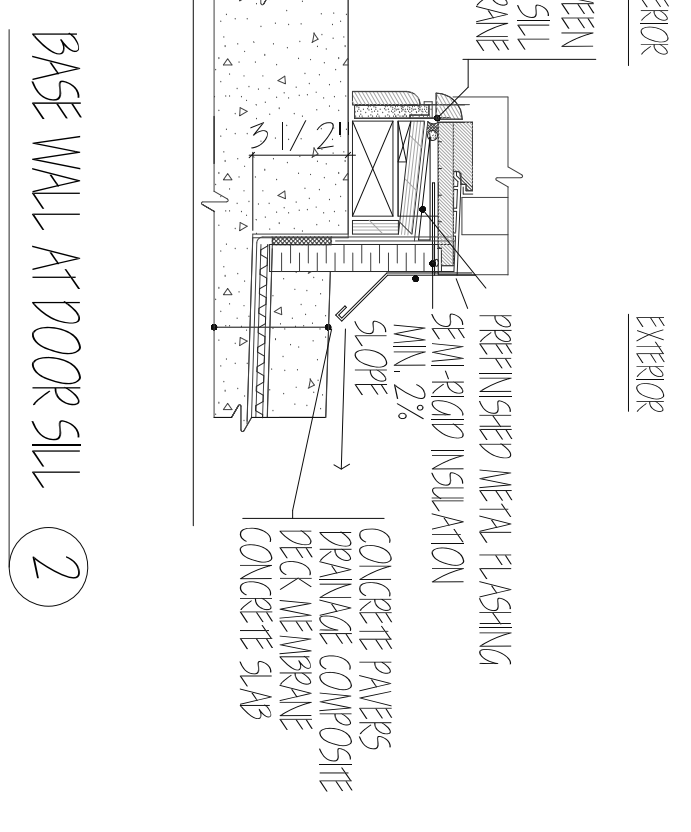
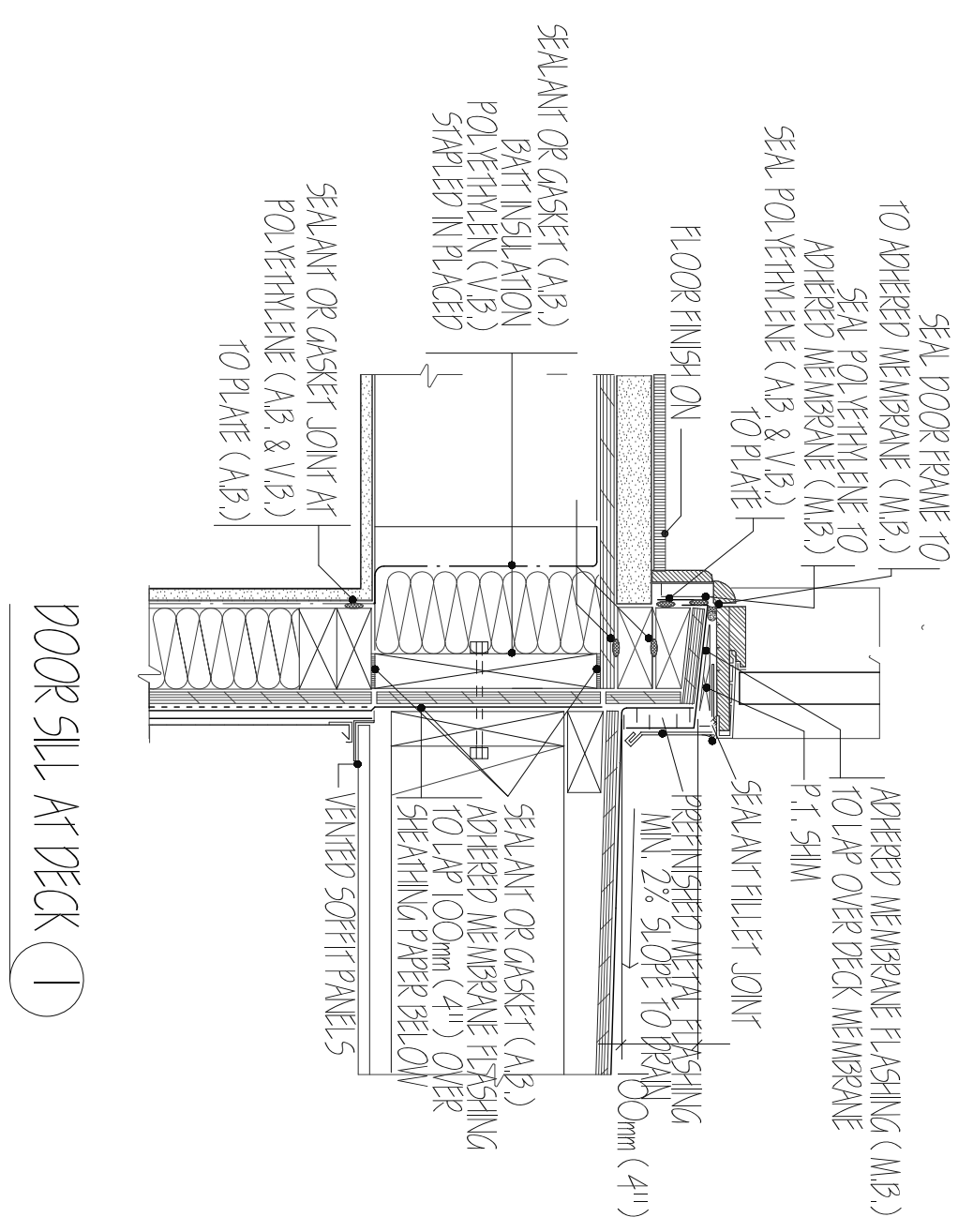
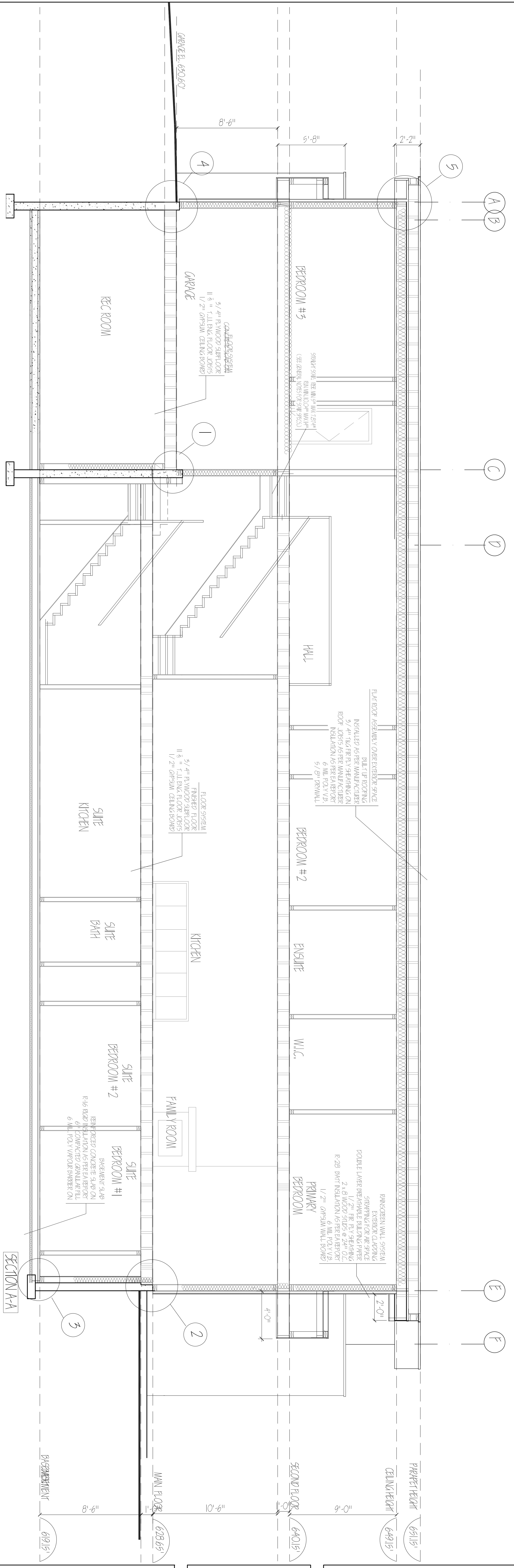
REVISIONS		
NO.	DESCRIPTION	DATE
1	UPDATED RENDERINGS	APRIL 2024

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
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THE STRUCTURAL ENGINEERS
DESIGN LAYOUT

STERLING PACIFIC DEVELOPMENTS INC.
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Phone: 604.831.1351 or 778.322.9340
www.sterlingpacificdevelopments.com

DATE:	
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12304

SHEET NO.
A.17b



REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED TO FLAT ROOF, SKYLIGHTS ADDED	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO B.C. BUILDING CODE ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DESIGN LAYOUT



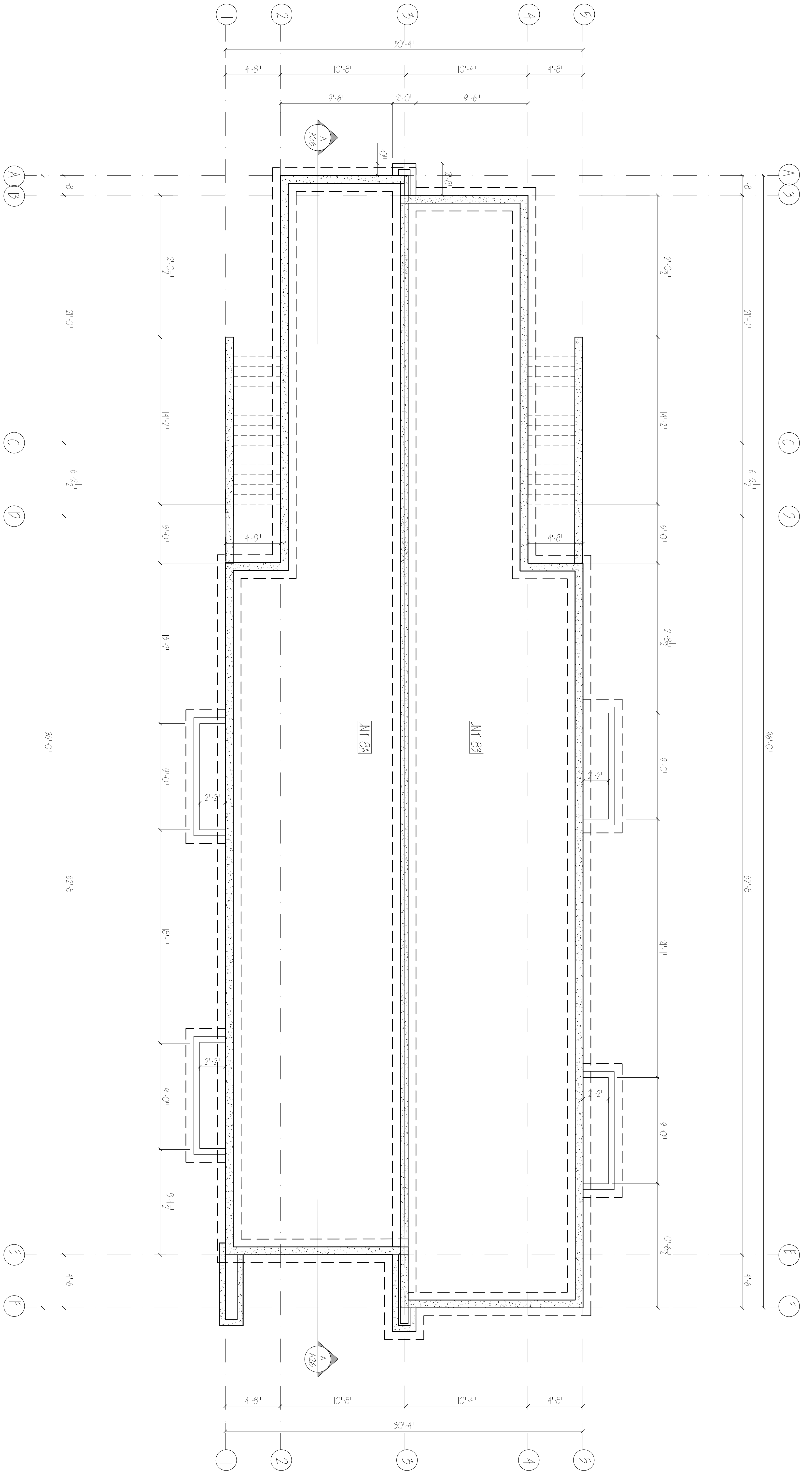
STERLING PACIFIC DEVELOPMENTS INC.
#14 - 636 Clyde Avenue
Phone: 604.831.1351 or 778.322.9340
www.sterlingpacificdevelopments.com

PROPOSED FOR:
GLENMORE DUPLEX
16A and 16B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
SECTIONS AND DETAILS

DATE: DECEMBER 12, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

SHEET NO.
A.18



SHEET No.
A.19

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

DRAWING TITLE
FOUNDATION PLAN

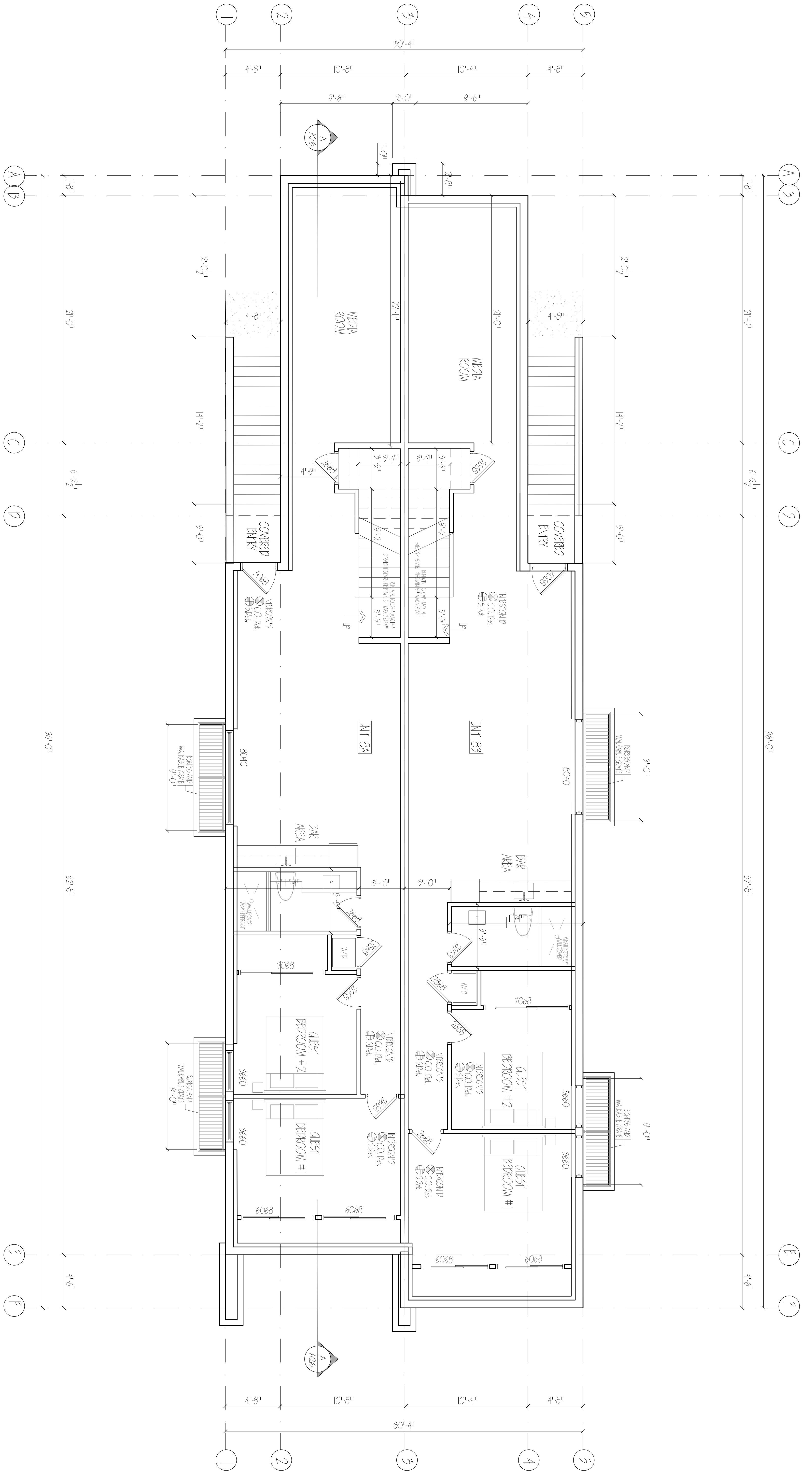
PROPOSED FOR:
GLENMORE DUPLEX
 18A and 18B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
 BE READ IN CONJUNCTION WITH
 THE STRUCTURAL ENGINEERS
 DESIGN LAYOUT



STERLING PACIFIC DEVELOPMENTS INC.
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 Phone: 604.831.1351 or 778.322.9340
 www.sterlingpacificdevelopments.com



PROPOSED BASEMENT LEVEL

UNIT 18A
AREA: 1,254 SQFT

UNIT 18B
AREA: 1,306 SQFT

TOTAL FLOOR AREA: 2,560 SQFT.

SHEET No.
A.20

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

DRAWING TITLE
BASEMENT LEVEL

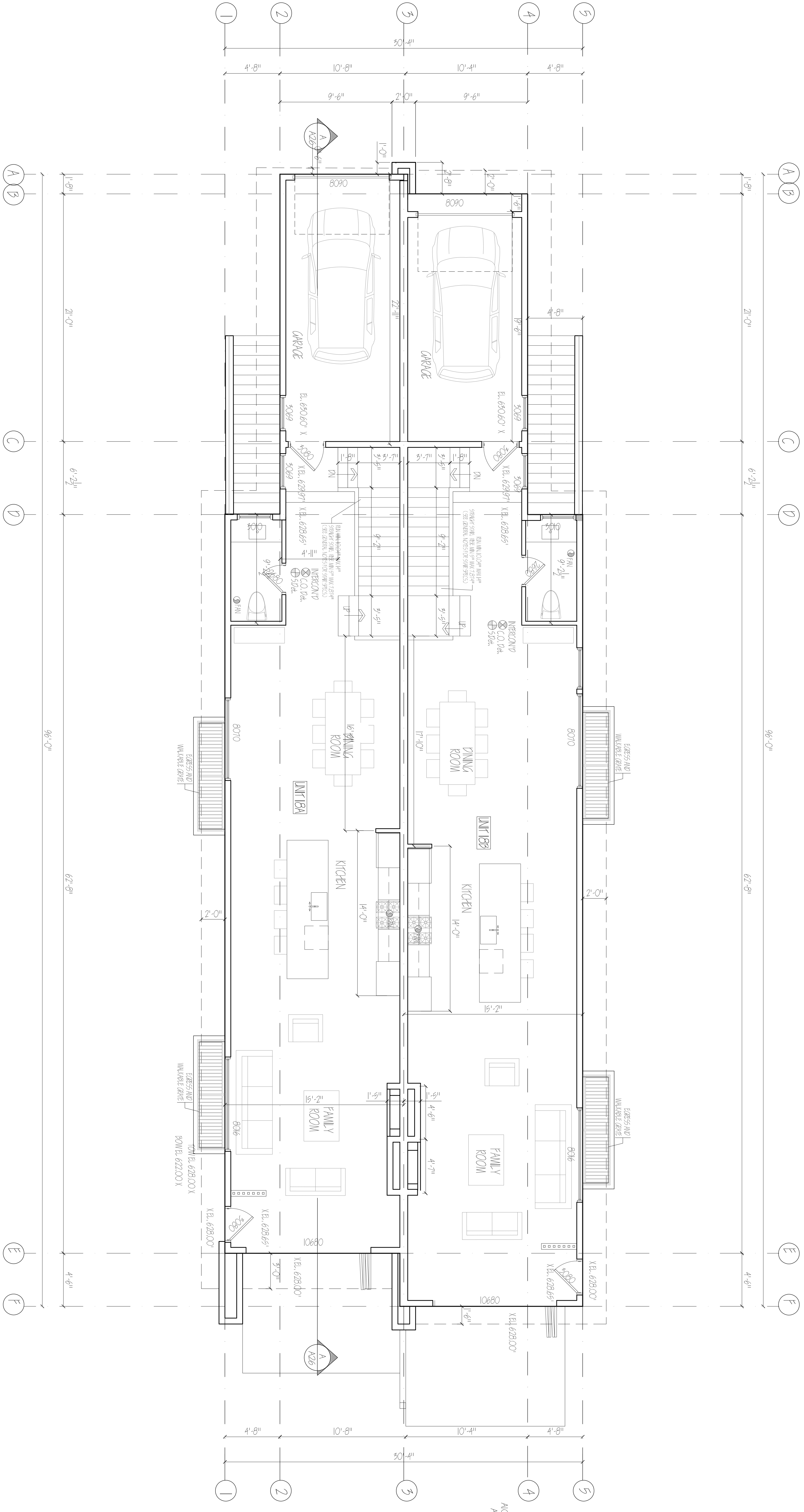
PROPOSED FOR:
GLENMORE DUPLEX
18A and 18B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
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B.C. BUILDING CODE
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DESIGN LAYOUT



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Phone: 604.831.1351 or 778.322.9340
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PROPOSED MAIN FLOOR

UNIT 18A
 AREA: 1,015 SQFT
 PLUS GARAGE: 241 SQFT.

UNIT 18B
 AREA: 1,085 SQFT
 PLUS GARAGE: 225 SQFT.

TOTAL FLOOR AREA: 2,560 SQFT.

SHEET No. **A.21**

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

DRAWING TITLE

MAIN FLOOR

PROPOSED FOR:

GLENMORE DUPLEX

18A and 18B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS

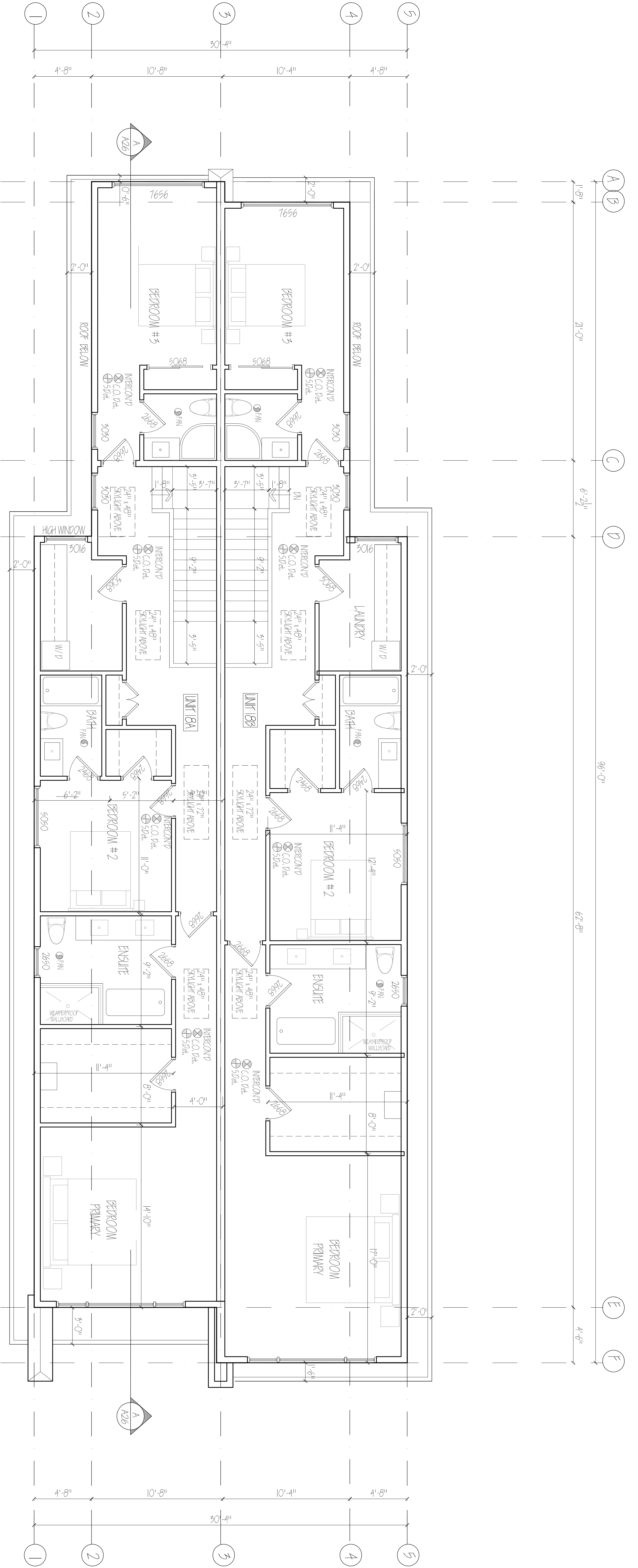
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:

ALL WORK TO CONFORM TO B.C. BUILDING CODE ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DESIGN LAYOUT

SP

STERLING PACIFIC DEVELOPMENTS INC.
 #14 - 636 Clyde Avenue
 Phone: 604.831.1351 or 778.322.9340
 www.sterlingpacificdevelopments.com



PROPOSED SECOND FLOOR	
UNIT 18A	1,254 SQFT
AREA:	
UNIT 18B	1,306 SQFT
AREA:	
TOTAL AREA	2,560 SQFT

DATE:	DECEMBER 12, 2023
SCALE:	1/4" = 1'-0"
DRAWN BY:	VJM
JOB NO.:	12304

DRAWING TITLE
SECOND FLOOR

PROPOSED FOR:
GLENMORE DUPLEX
18A and 18B Glenmore Drive,
West Vancouver, B.C.

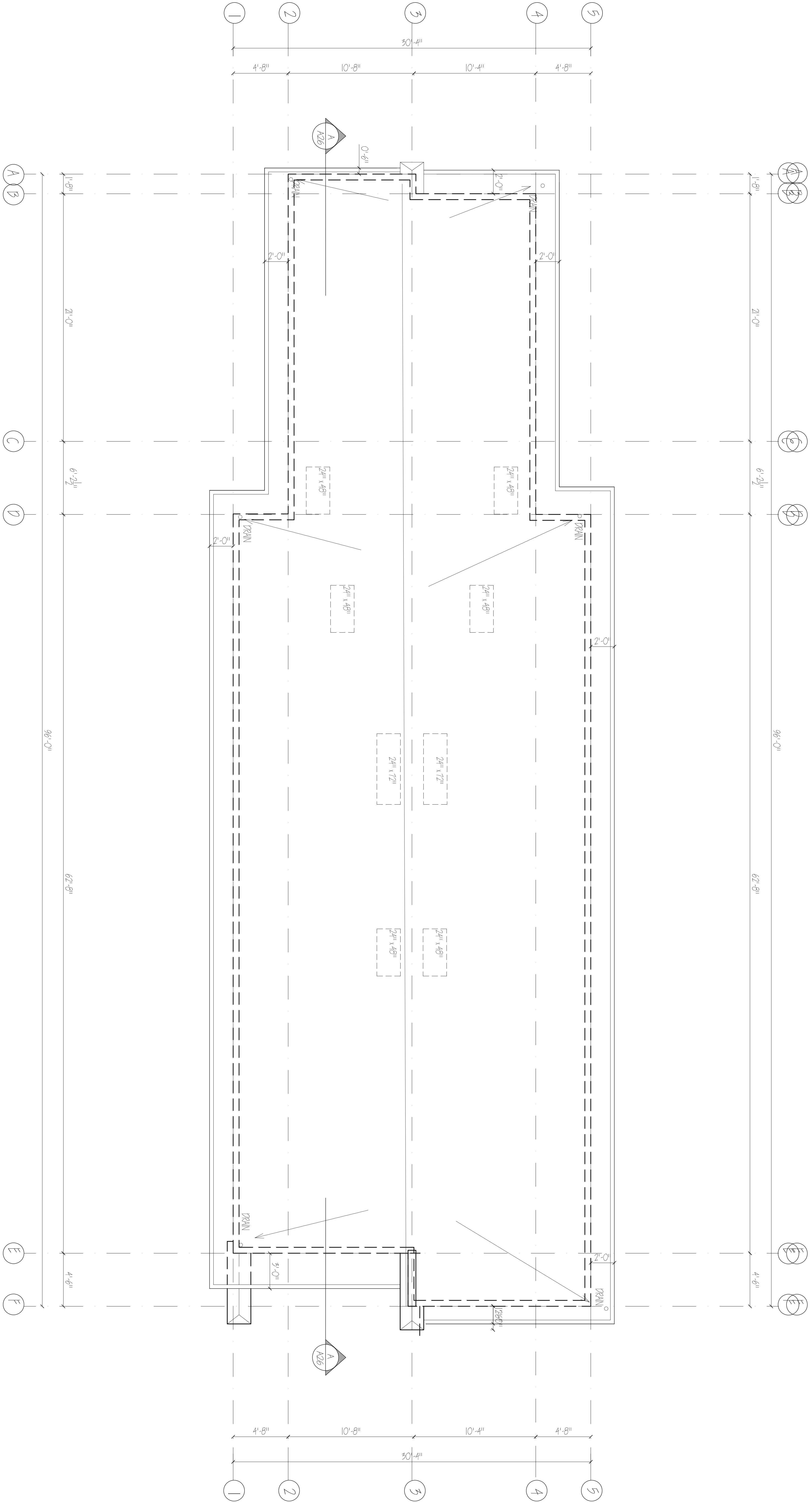
REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
BE READ IN CONJUNCTION WITH
THE STRUCTURAL ENGINEERS
DESIGN LAYOUT



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SHEET No.
A.22



ROOF PLAN

SHEET No.
A.23

DATE: DECEMBER 12, 2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: VJM
 JOB NO.: 12304

DRAWING TITLE
ROOF PLAN

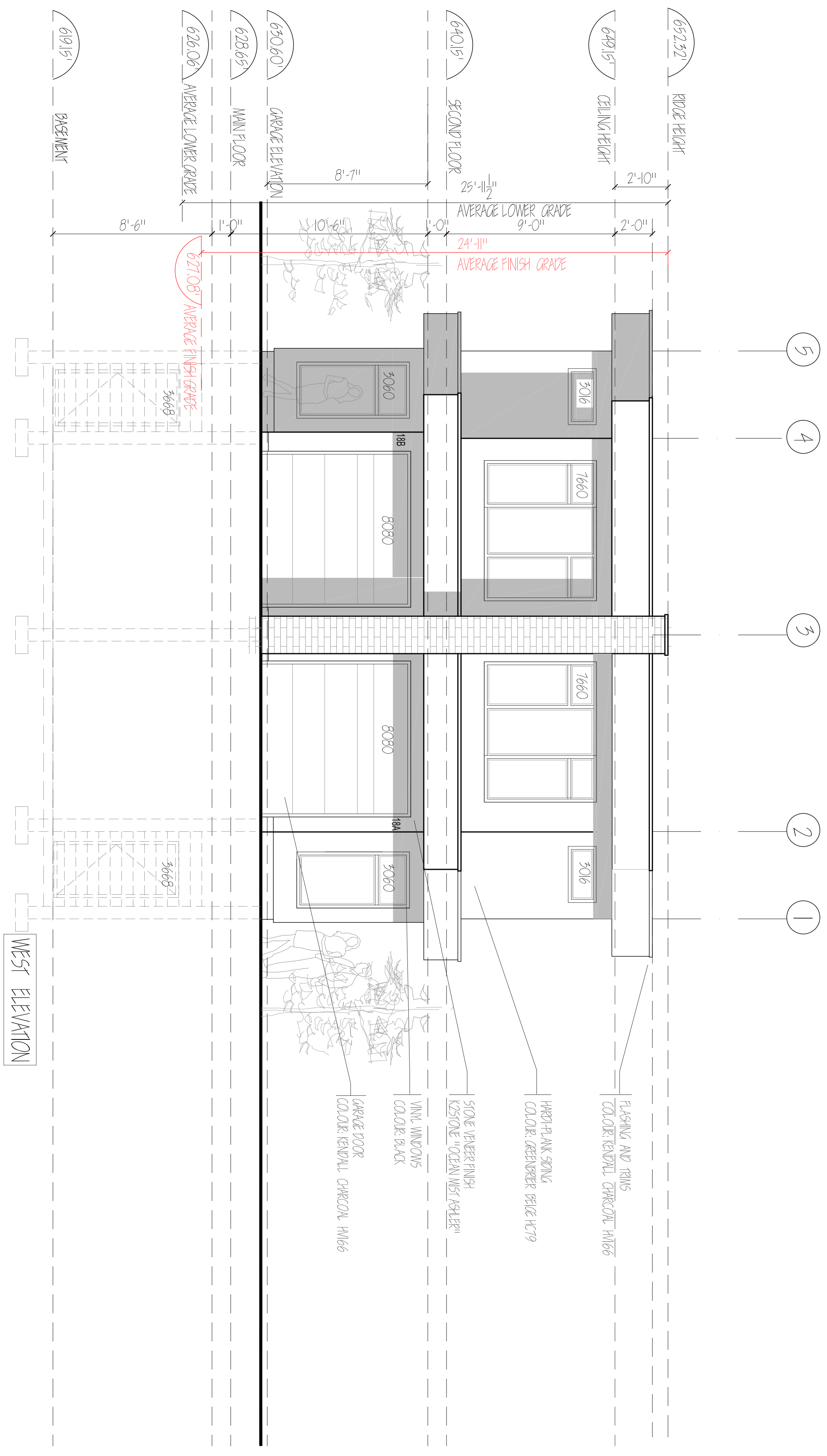
PROPOSED FOR:
GLENMORE DUPLEX
 18A and 18B Glenmore Drive,
 West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

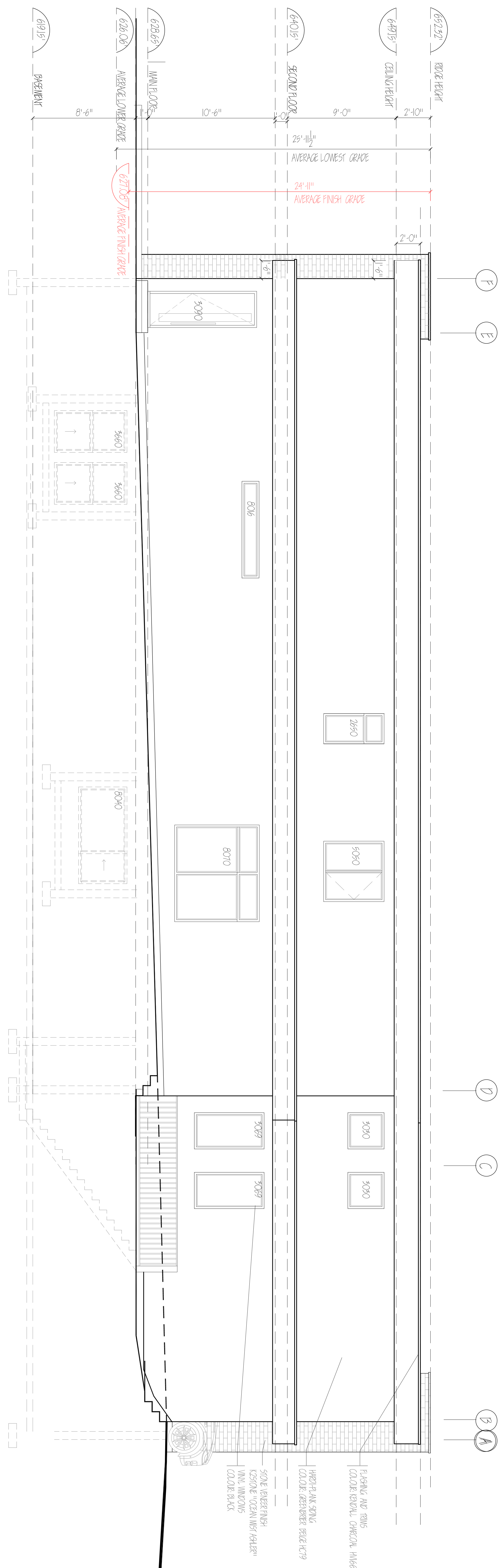
NOTE:
 ALL WORK TO CONFORM TO
 B.C. BUILDING CODE
 ARCHITECTURAL DRAWINGS TO
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 THE STRUCTURAL ENGINEERS
 DESIGN LAYOUT



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WEST ELEVATION



NORTH ELEVATION

NOTE:
ALL WORK TO CONFORM TO
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ARCHITECTURAL DRAWINGS TO
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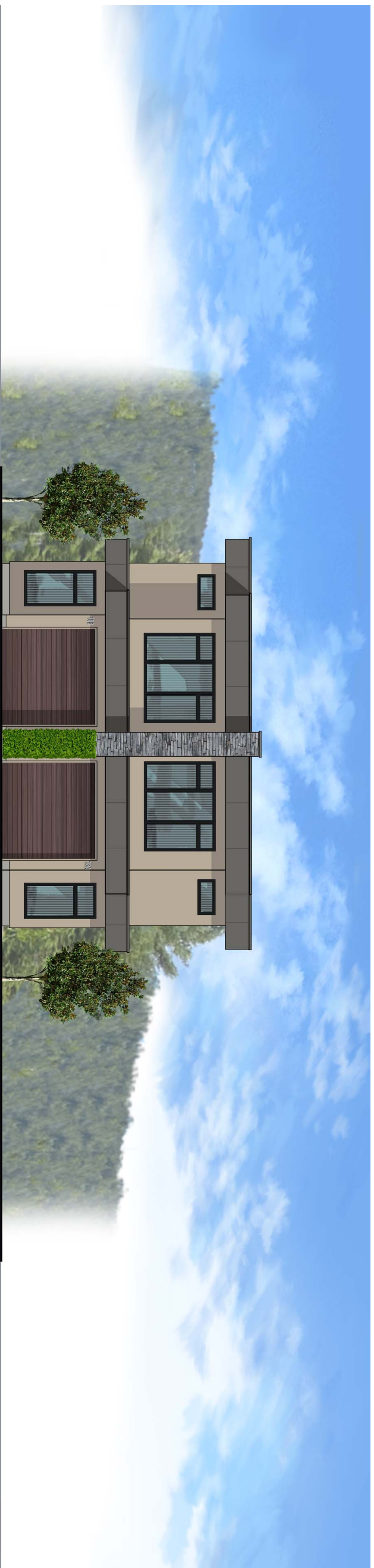
REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

PROPOSED FOR:
GLENMORE DUPLEX
18A and 18B Glenmore Drive,
West Vancouver, B.C.

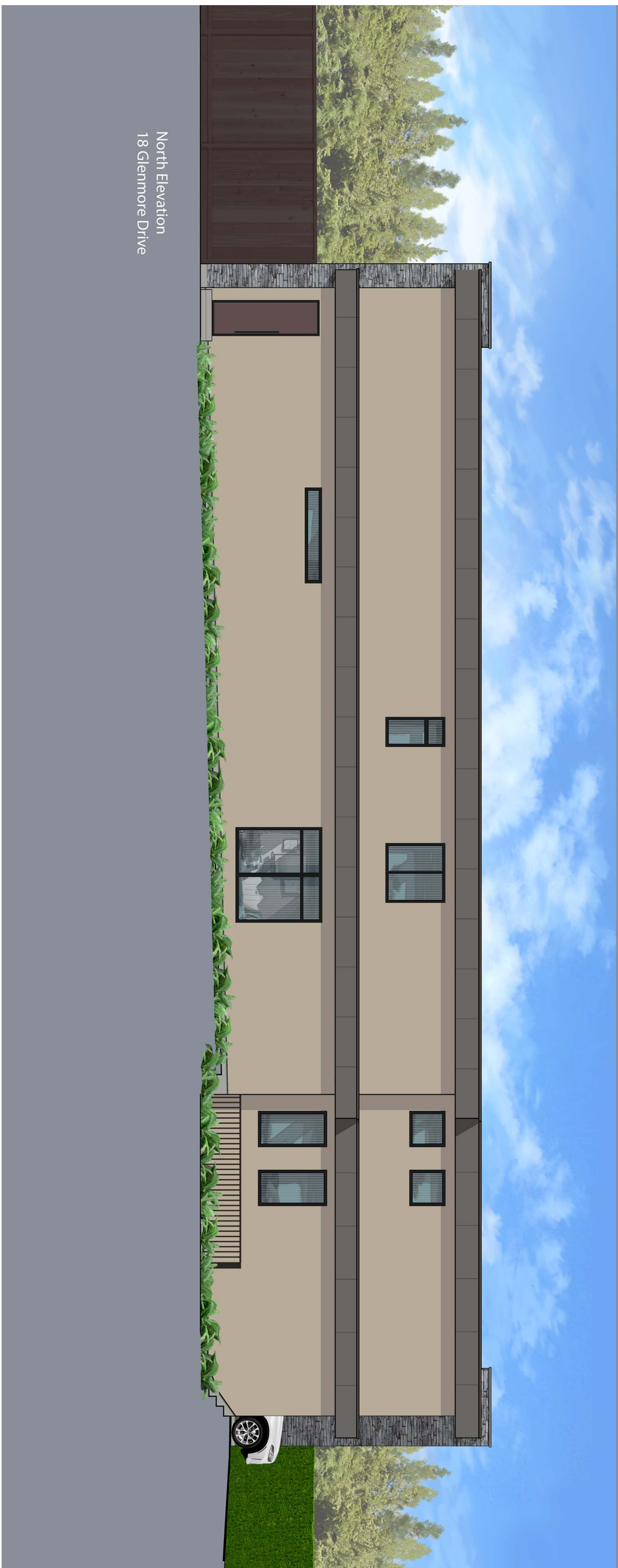
DRAWING TITLE
NORTH AND WEST
ELEVATIONS

DATE: DECEMBER 12, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

SHEET NO.
A.24



West Elevation
18 Glenmore Drive



North Elevation
18 Glenmore Drive

EXTERIOR FINISHES

STUCCO

FINISH: SMOOTH FINISH
COLOUR: GREENERIE BEIGE HCT9



MASONRY

TYPE: K2STONE
COLOUR: OCEAN MIST ASHLER



WINDOWS / FRAMES:

TYPE: VINYL
COLOUR: BLACK



SOFFITS:

TYPE: CEDAR
COLOUR: NATURAL



TRIM:

FINISH: METAL
COLOUR: KENDAL CHARCOAL HW66



SOFFIT LIGHTING:

TYPE: LED POT LIGHT
WARM WHITE
COLOUR: BLACK TRIM



5MM.

PROPOSED FOR:
GLENMORE DUPLEX
18A and 18B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
NORTH AND WEST
ELEVATIONS

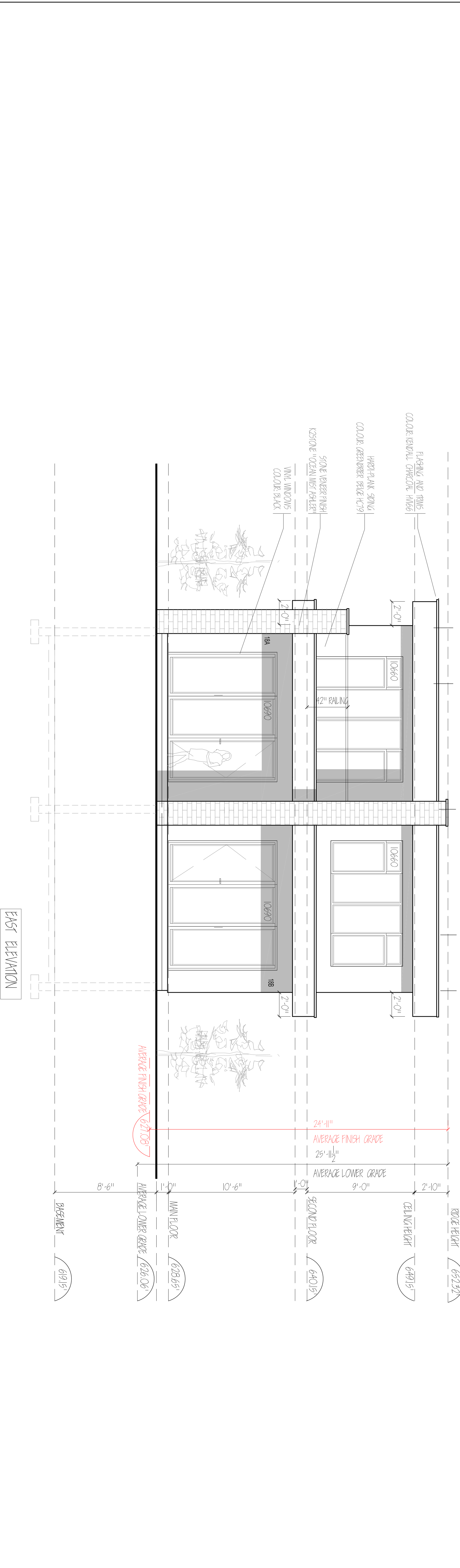
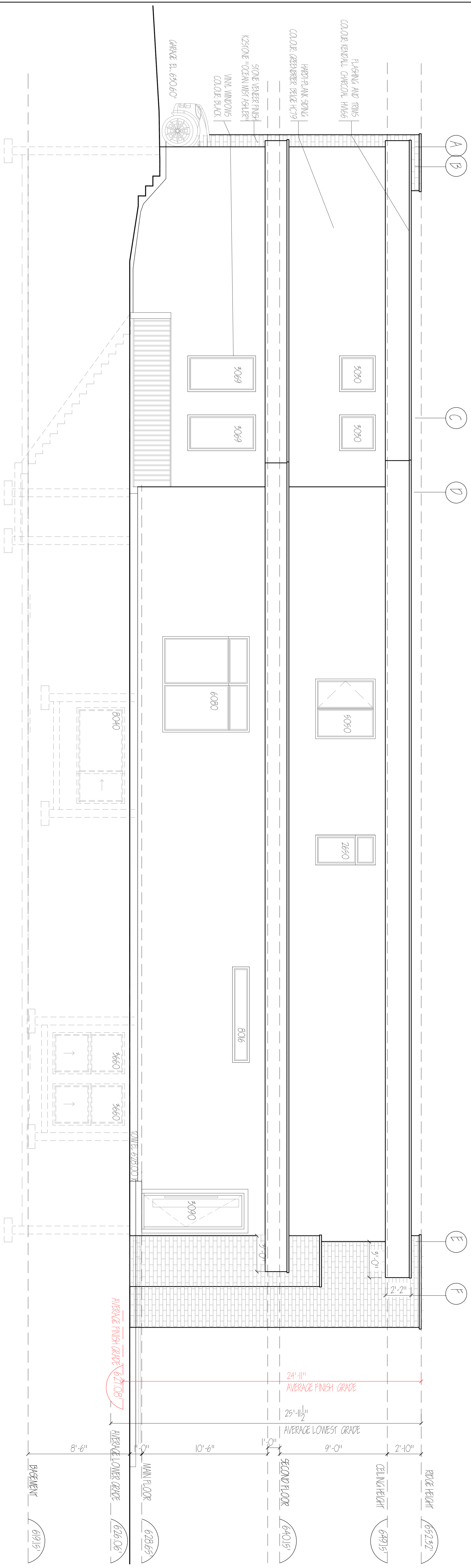
REVISIONS		
NO.	DESCRIPTION	DATE
1	UPDATED RENDERINGS	

NOTE:
ALL WORK TO CONFORM TO
B.C. BUILDING CODE
ARCHITECTURAL DRAWINGS TO
BE READ IN CONJUNCTION WITH
THE STRUCTURAL ENGINEERS
DESIGN LAYOUT

STERLING-PACIFIC DEVELOPMENTS INC.
#14 - 636 Clyde Avenue
Phone: 604.831.1351 or 778.322.9340
www.sterlingpacificdevelopments.com

DATE: SEPTEMBER 30, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

SHEET No.
A.24b



EAST ELEVATION

SOUTH ELEVATION

SHEET No. **A.25**

DATE: DECEMBER 12, 2023

SCALE: 1/4" = 1'-0"

DRAWN BY: VJM

JOB NO.: 12304

DRAWING TITLE

SOUTH AND EAST ELEVATIONS

PROPOSED FOR:

GLENMORE DUPLEX

18A and 18B Glenmore Drive,
West Vancouver, B.C.

REVISIONS

NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:

ALL WORK TO CONFORM TO B.C. BUILDING CODE ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DESIGN LAYOUT



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South Elevation
18 Glenmore



East Elevation
18 Glenmore

EXTERIOR FINISHES

STUCCO

FINISH: SMOOTH FINISH
COLOUR: GREENERIE BEIGE HCT9



MASONRY

TYPE: K2STONE
COLOUR: OCEAN MIST ASHLER



WINDOWS / FRAMES:

TYPE: VINYL
COLOUR: BLACK



SOFFITS:

TYPE: CEDAR
COLOUR: NATURAL



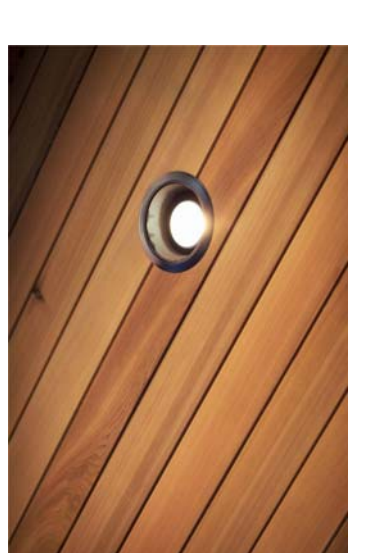
TRIM:

FINISH: METAL
COLOUR: KENDALL CHARCOAL HW66



SOFFIT LIGHTING:

TYPE: LED POT LIGHT
WARM WHITE
COLOUR: BLACK TRIM



5MM.

SHEET No.
A.250

DATE: SEPTEMBER 30, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

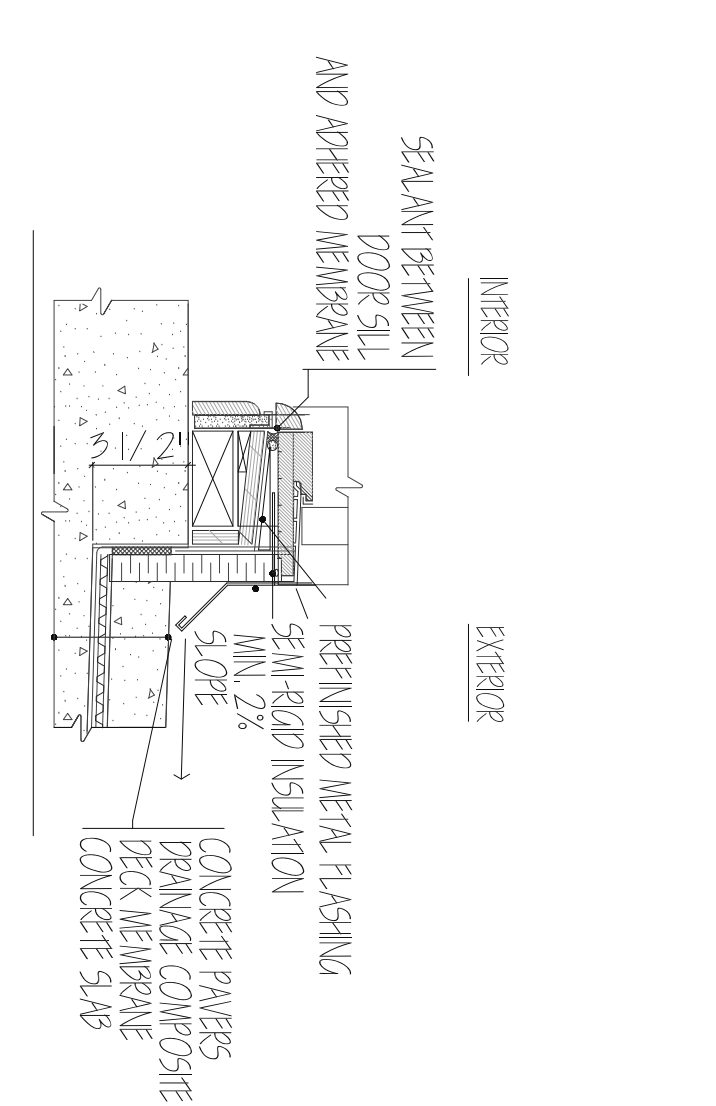
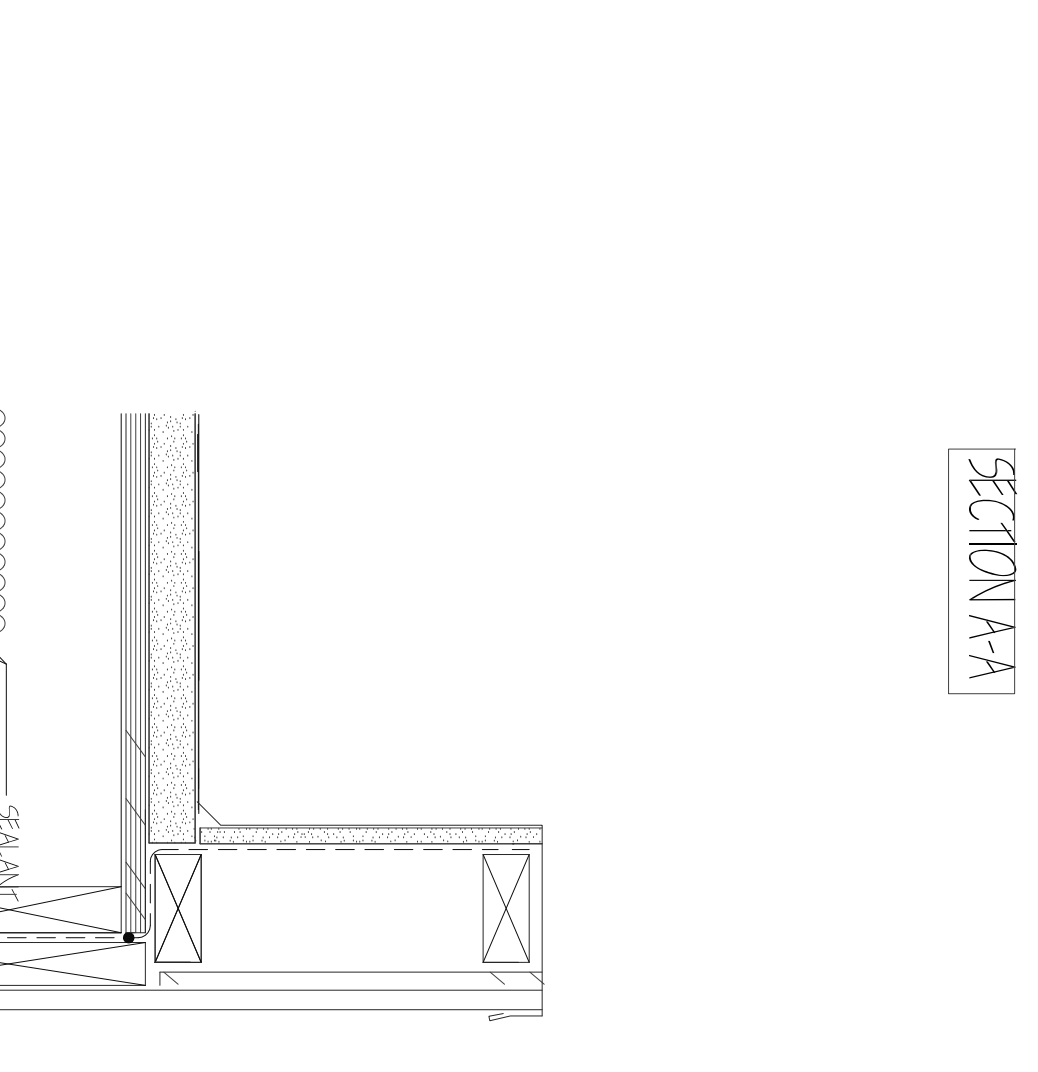
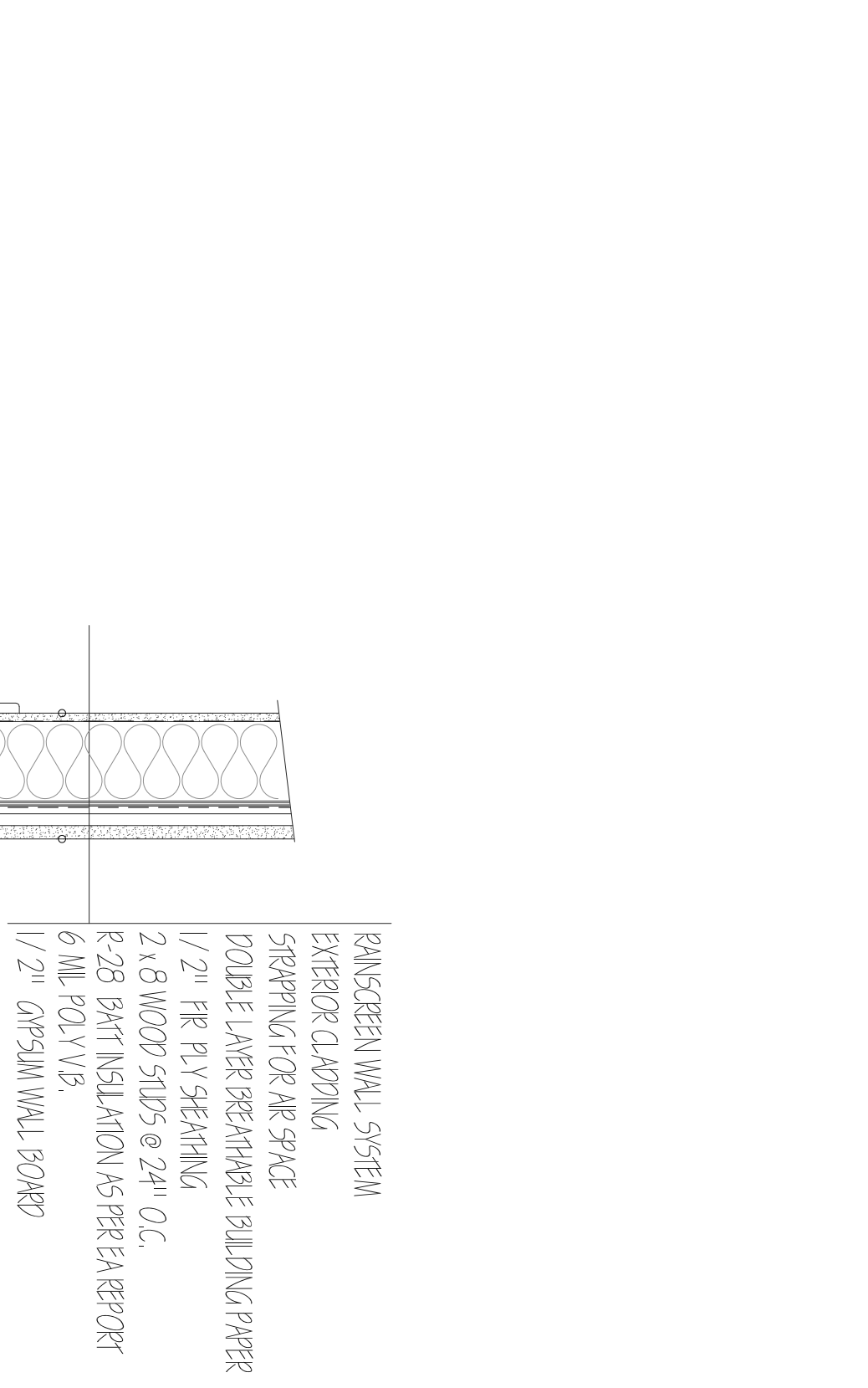
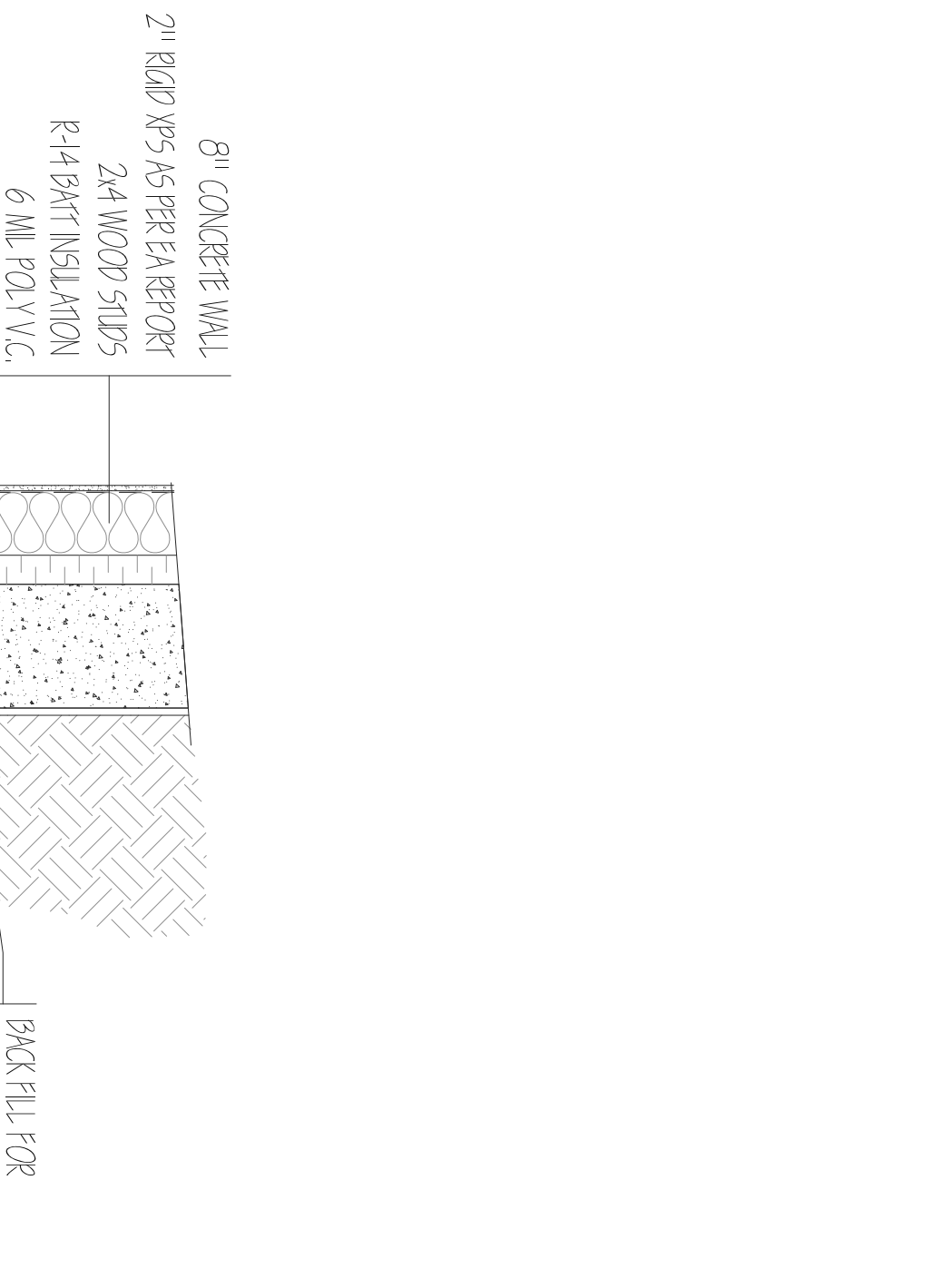
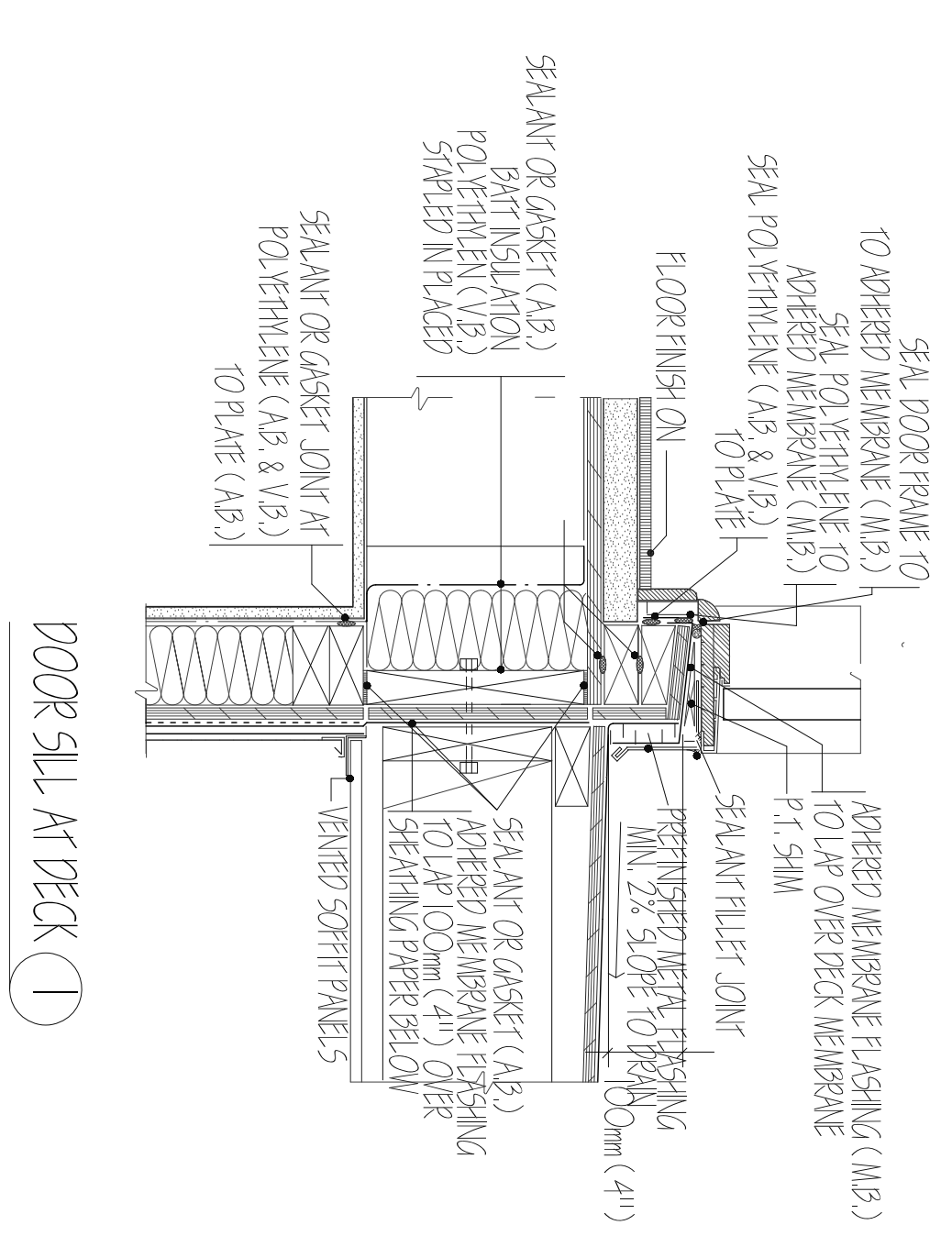
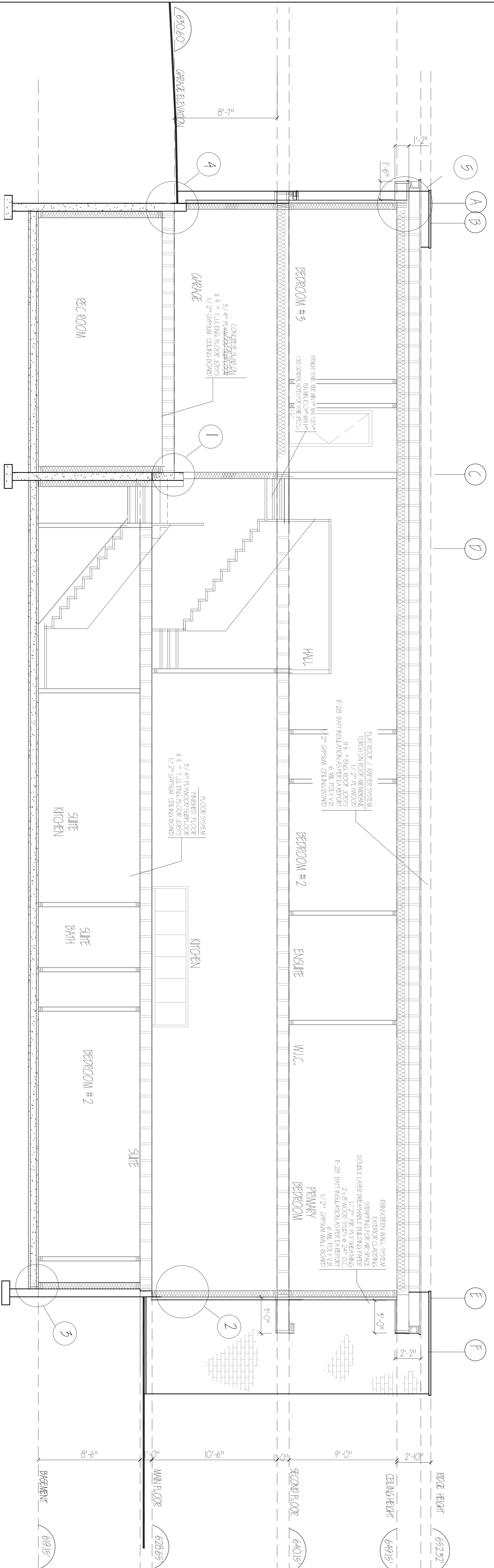
DRAWING TITLE
SOUTH AND EAST
ELEVATIONS

PROPOSED FOR:
GLENMORE DUPLEX
18A and 18B Glenmore Drive,
West Vancouver, B.C.

REVISIONS		
NO.	DESCRIPTION	DATE
1	UPDATED RENDERINGS	

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BASE WALL AT DOOR SILL (2)

FOUNDATION DETAIL (3)

FLOOR DETAIL (4)

TYPICAL FLAT ROOF (5)

REVISIONS		
NO.	DESCRIPTION	DATE
1	SUITE REMOVED, LIGHTWELLS	MARCH 6, 2024

NOTE:
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PROPOSED FOR:
GLENMORE DUPLEX
18A and 18B Glenmore Drive,
West Vancouver, B.C.

DRAWING TITLE
SECTIONS AND DETAILS

DATE: DECEMBER 12, 2023
SCALE: 1/4" = 1'-0"
DRAWN BY: VJM
JOB NO.: 12304

SHEET NO.
A.26