



**QUMA**

[www.quma.ca](http://www.quma.ca)

DEVELOP + CONSTRUCT + MAINTAIN

# TANTALUS GARDENS

IN HORSESHOE BAY

Quma Properties Inc.

PETER NILSSON

[INFO@TANTALUSGARDENS.COM](mailto:INFO@TANTALUSGARDENS.COM)

## Tantalus Gardens - Project Data

### Site Addresses & Zoning:

6404 Wellington Avenue, West Vancouver, BC, V7W 2H6 (Zoning PA-2 and RS-4)

Plan VAP2103 District Lot 430 Block 41 Lot 18 PID 014-047-039

Plan VAP2103 District Lot 430 Block 41 Lot 19 PID 014-047-420

6403 Nelson Avenue, West Vancouver BC, V7W 2H7 (Zoning RS-4)

Plan VAP2103 District Lot 430 Block 41 Lot 20 PID 014-047-446

6407 Nelson Avenue, West Vancouver, BC, V7W 2H6 (Zoning RS-4)

Plan VAP2103 District Lot 430 Block 41 Lot 21 PID 014-047-489

### Total Site Area:

28,292 Square Feet / 2,629 Square Meters

### Total Floor Area Ratio:

Existing: 0.67 - Proposed: 0.59

### Total Floor Area:

Existing: 18,995 Square Feet / 1,765 Square Meters - Proposed 17,775 Square Feet / 1,651 Square Meters

### Site Coverage:

Existing: 0.39 / Proposed 0.37

### Maximum Building Height:

Existing: 45 Feet / 13.7 Meters - Proposed: 25 Feet / 7.6 Meters

### Setbacks:

Existing:	North: 5 Feet / 1.5 Meters	Proposed:	North: 5 Feet / 1.5 Meters
	East: 30 Feet / 9.1 Meters		East: 8 Feet / 2.4 Meters
	South: 5 Feet / 1.5 Meters		South: 5 Feet / 1.5 Meters
	West: 30 Feet / 9.1 Meters		West: 6.5 Feet / 2.0 Meters

### Storeys:

Existing: 2 Storeys plus Basement - Proposed: 2 Storeys plus Basement

### Parking:

One enclosed parking garage per unit (as per the Local Area Plan), five on-site driveway parking spaces and eleven off-site parking spaces.

### Accessibility:

Levered hardware on all doors.  
Flush thresholds between rooms and onto front patios.  
Optional raised electrical outlets and lowered light switches.  
Five foot turning radius in main entrance for ease of maneuverability.  
Full washroom on main level in all homes with provision for support bars.  
Provisions for stair lifts in all units to provide options for those with mobility challenges.

### Bicycle Storage:

There will be bicycle storage in each garage.

## Tantalus Gardens - Housing Data

### Housing Unit Breakdown:

Unit A: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit B: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit C: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit D: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit E: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit F: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit G: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit H: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit I: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

Unit J: 3-4 Bedroom Layout, Main: 852.5 SF, Upper: 925.0 SF, Lower: 1,052.5 SF, Total Floor Area: 2,830 SF

**Total Floor Area Above Grade: 17,775 SF**

**Total Site Area: 28,292 SF**

**Total Floor Area Ratio: 17,775 SF / 29,292 SF - 0.04 = 0.59**

## Tantalus Gardens - Drawing List

A0.01 - Project Data

A0.02 - Marine Drive Transit Corridor & Context Plan

A0.03 - Context Photos

A1.01 - Site Survey

A1.02 - Site Plan

A1.03 - Landscape Plan

A2.01 - Typical Floor Plan

A3.01 - Elevations - Rosebery Avenue & Interior Driveway

A3.02 - Elevations - Nelson Avenue & Wellington Avenue

A4.01 - Cross Sections - Rosebery Avenue & Interior Driveway

A4.02 - Cross Sections - Nelson Avenue & Wellington Avenue



PROJECT TITLE:

**TANTALUS GARDENS  
WEST VANCOUVER, B.C.**

SHEET TITLE:

**Project Data**

JOB NO.: 2101 - 00  
DATE: JULY 28, 2021  
SCALE: --  
DRAWN BY: --  
CHECKED BY: --  
REVISION NO.: NONE

SHEET NO.:

**A0.01**



# Tantalus Gardens Marine Drive Transit Corridor



## Tantalus Gardens Context Plan

**TANTALUS  
GARDENS**  
IN HORSESHOE BAY

PROJECT TITLE:  
**TANTALUS GARDENS**  
WEST VANCOUVER, B.C.

SHEET TITLE:  
**Marine Drive Transit Corridor &  
Context Plan**

JOB NO.: 2101 - 00  
DATE: JULY 28, 2021  
SCALE: --  
DRAWN BY: --  
CHECKED BY: --  
REVISION NO.: NONE

SHEET NO.:  
**A0.02**





**Tantalus Gardens - Wellington Avenue**



**Tantalus Gardens - Rosebery Avenue**



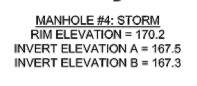
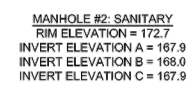
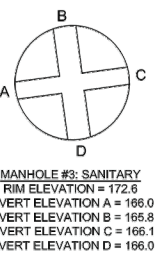
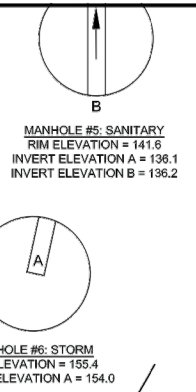
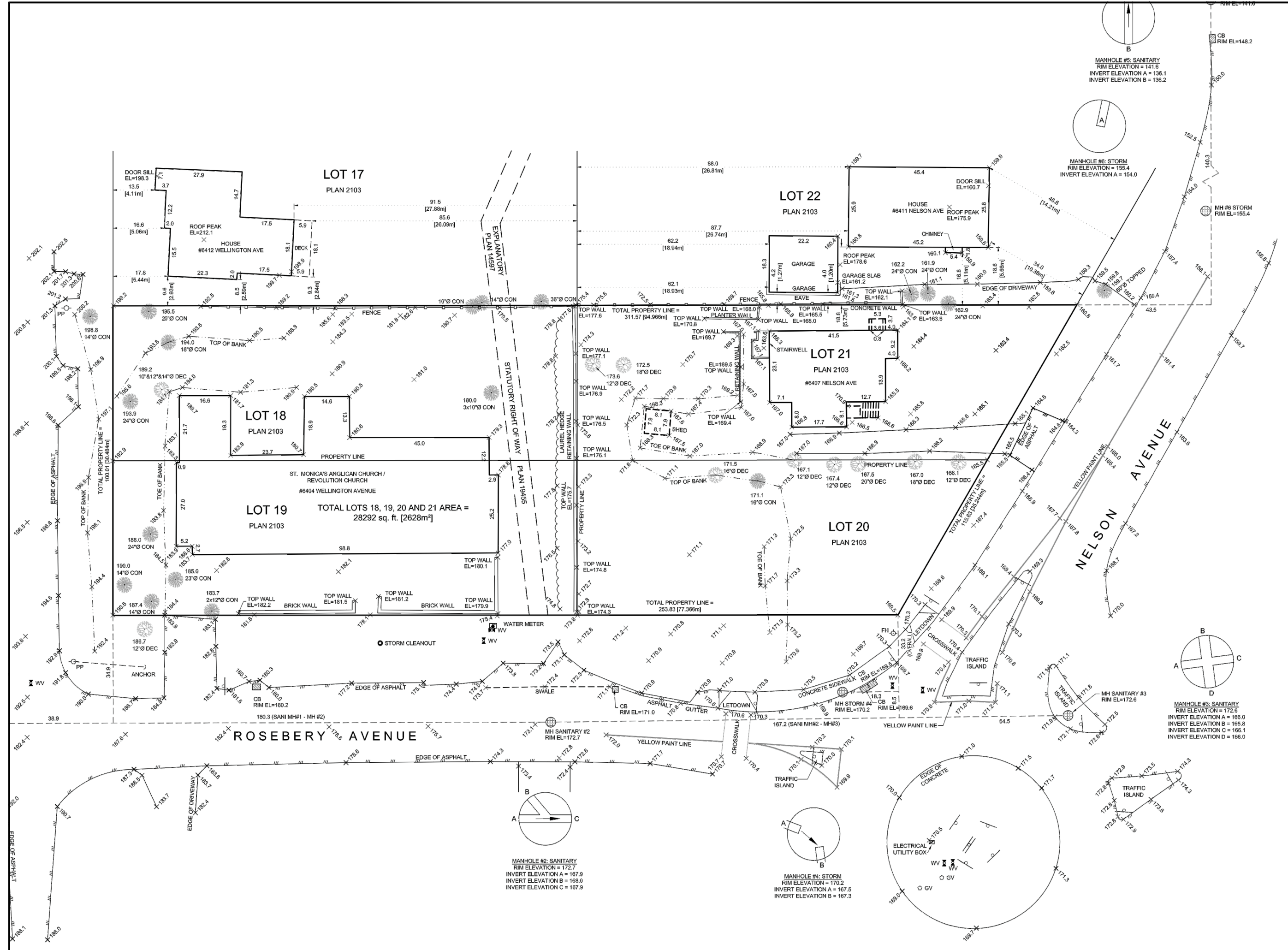
PROJECT TITLE:  
**TANTALUS GARDENS**  
**WEST VANCOUVER, B.C.**

SHEET TITLE:  
**Context Photos**

JOB NO.: 2101 - 00  
 DATE: JULY 28, 2021  
 SCALE: --  
 DRAWN BY: --  
 CHECKED BY: --  
 REVISION NO.: NONE

SHEET NO.:  
**A0.03**

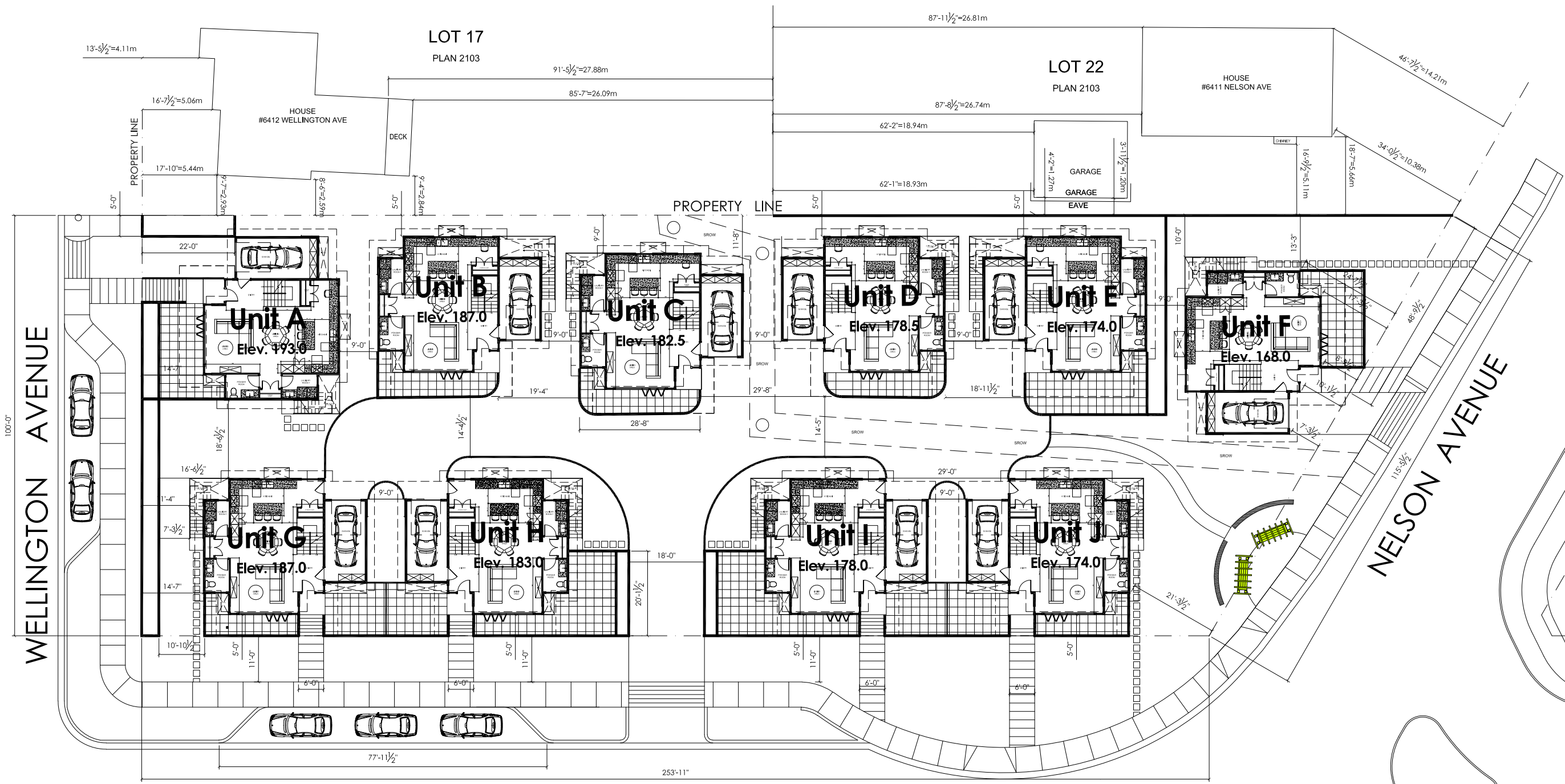




PROJECT TITLE:  
**TANTALUS GARDENS**  
**WEST VANCOUVER, B.C.**

SHEET TITLE:  
**SITE SURVEY**

JOB NO.: 2101 - 00  
DATE: JULY 28, 2021  
SCALE: 3/16" = 1'-0"  
DRAWN BY: --  
CHECKED BY: --  
REVISION NO.: NONE  
SHEET NO.: **A1.01**



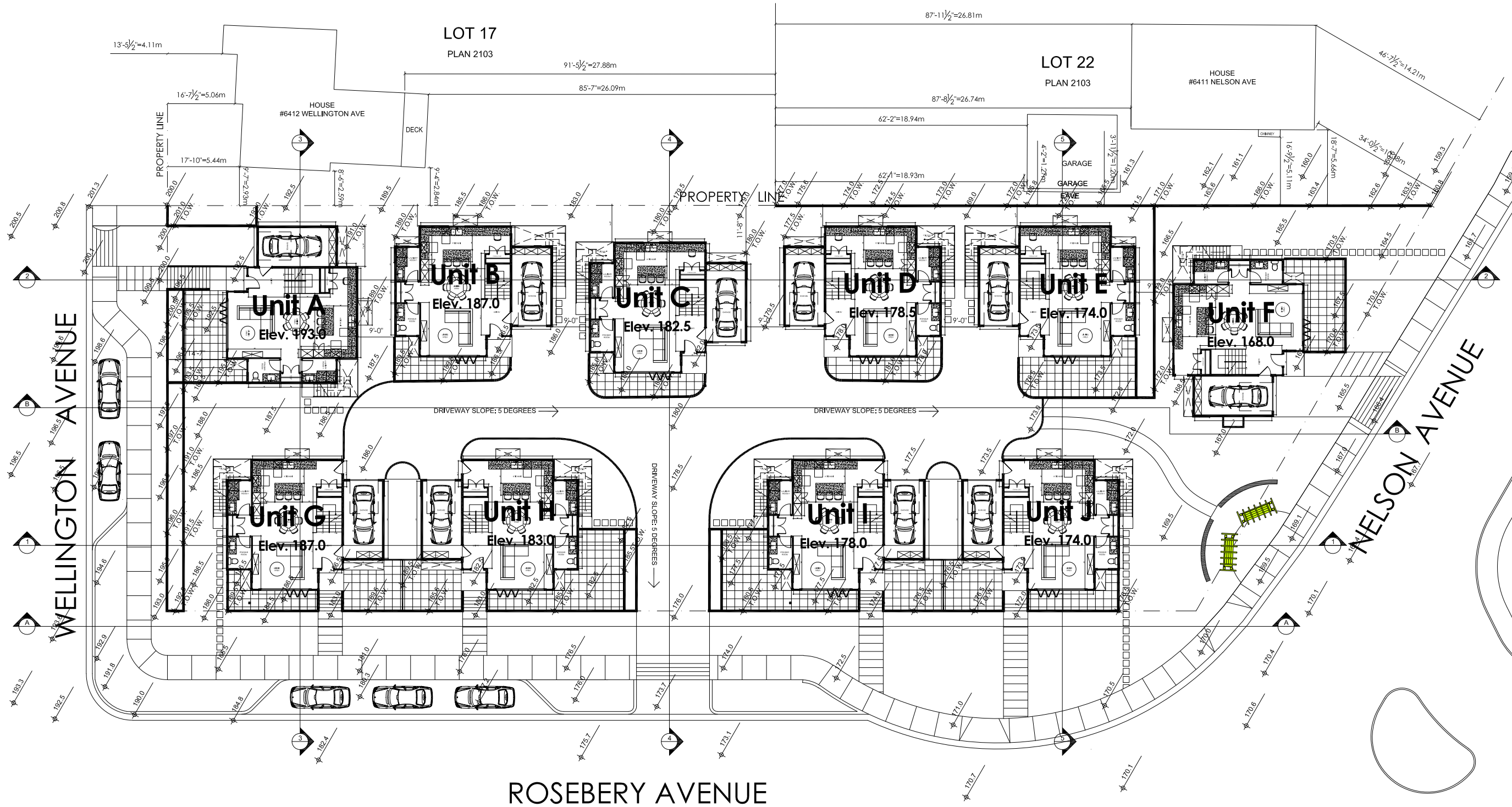
PROJECT TITLE:  
**TANTALUS GARDENS**  
**WEST VANCOUVER, B.C.**

SHEET TITLE:  
**SITE PLAN**

JOB NO.: 2101 - 00  
DATE: DECEMBER 20, 2021  
SCALE: 3/16" = 1'-0"  
DRAWN BY: --  
CHECKED BY: --  
REVISION NO.: NONE

SHEET NO.:  
**A1.02**





PROJECT TITLE:	TANTALUS GARDENS WEST VANCOUVER, B.C.
SHEET TITLE:	GRADING PLAN
JOB NO.:	2101 - 00
DATE:	DECEMBER 20, 2021
SCALE:	3/16" = 1'-0"
DRAWN BY:	--
CHECKED BY:	--
REVISION NO.:	NONE
SHEET NO.:	A1.03