

GENERAL NOTES

LUMBER

See Structural Notes for details.

CONCRETE

See Structural Notes for details.

GENERAL

1. General Contractor to check and verify all drawings, dimensions, and elevations before commencing work. Report any discrepancy to the Designer.
2. Drawings are not to be scaled.
3. Construction methods and technologies to confirm requirements of BCBD 2012.
4. materials to be use in strict accordance with manufacturer's recommendations.
5. Tree removal to be confirmed by local authorities.
6. General Contractor shell pass all necessary inspections.

VENTILATION

1. Uniformly distribute ventilation to flat and vaulted roofs to 1/150 of insulated ceiling area. Venting is required to be two-way.
2. Min. 2 x 2 cross-purlins to flat, vaulted ceilings, and decks over living areas to conform to #9.19.1.2.
3. Provide min. 2 1/2" clearance between roof sheathing and insulation #9.19.1.3. Provide min. 1" clearance between insulation and top of roof joists.
4. Ventilate attics to 1/300 of insulated ceiling area.
5. Roof vents must be uniformly distributed with a minimum of 25% at base and 25% in rooftop.
6. Provide attic hatch of 3.4sf in area with no dimensions less than 1'10"
7. Submit Mechanical Ventilation/Air Conditioning design and letter of supervision by Professional Engineer, certified HRAI or HVC Technician.
8. Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per #9.32.3.3.

INSULATION

1. Insulation where subject to mechanical damage is to be covered as per #9.25.2.3.(7) with drywall or equivalent (e.g. crawl storage areas).
2. Minimum insulation values R20 walls, R28 for flat or vaulted ceilings, and R40 for attic spaces.
3. Ceiling and walls to have 6 mil U.V. poly fully caulked as per # 9.25.
4. R10 rigid insulation required around unheated slabs on grade; 20" vertical or horizontal from bottom edge of slab.
5. R12 rigid insulation required under entire slab area and a thermal break at the exterior walls for slabs with radiant heating.

STAIRS

1. Straight stair: Rise min. 5" max. 7.87" Run min. 8.25" max. 14"
2. Maximum 1" nosing on stair treads.
3. Minimum headroom is 6'-5" from a line through nosings, measured vertically.
4. Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
5. Primary stair minimum width 2'-10".
6. Handrail req'd. on interior stairs with three or more risers.
7. Handrail as a guard is to be between 36" and 42".

CHIMNEY & FIREPLACES

1. Minimum 2" clearance between chimney and combustible framing.
2. Minimum 4" clearance between fireplace and combustible framing.
3. Hard wired C.O. detectors are required in each bedroom or within 5 meters of each bedroom door in conformance with #9.32.4.2

GUARDRAILS

1. Guardrails to be a minimum 42" exterior and 36" interior height.
2. No member facilitating climbing permitted from 5.5" to 36" above the floor or walking surface (in all guards).
3. Maximum 4" opening in all stair, deck and balcony guards (interior and exterior).
4. All glass guards to have top cap unless approved by Prof. Engineer.
5. A minimum of 36" in height is permitted for decks within 5'-11" of grade.
6. Guard required to all drops exceeding 24" where access is provided (e.g. window wells).
7. Guard required where the adjacent surface within 4'-0" m of the walking surface has a slope of more than 1 in 2.

GLAZING

1. Glass in windows and doors to be double-glazed.
2. Glass in entrance, shower and sliding doors, and windows within 8" of floors and within 36" of deadbolts are all to be safety glass.
3. Sidelights 20"+ in width are to be safety glass.
4. Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.
5. The bottom of an operable window in a bedroom is not to exceed 4'-11" above the floor, and have a min. opening width of 15" with an area of 3.75sf, unless the house is sprinklered.
6. Windows over stairs, ramps and landings that extend to less than 36" above the surface shall be protected with guards or be non-operable and designed to #4.1.5.15.
7. Window wells are to be 22" minimum width when required as a bedroom egress.
8. Bedroom windows required as exits must maintain the required opening during an emergency without the need for additional support in conformance with #9.7.1.2.2.b.
9. Where a protective enclosure is installed over a window well, it shall be operable from the inside without the use of keys, tools, or special knowledge.

MOISTURE PROTECTION

1. Provide flashing between horizontal intersections of differing wall finishes. All flashing to slope away from the building a minimum of 6%.
2. Provide flashing at all wall-roof junctions, including parapets for solid guards on decks.
3. Rainscreen assembly required for all buildings, with a minimum capillary break of 3/8".
4. All platforms are roofs.
5. All roofs must slope 1 in 50 away from walls, this includes parapet walls surrounding decks.
6. 6" clearance required between deck membranes & floor.

MISCELLANEOUS

1. Lino or equal required to bathroom floors.
2. Waterproof wallboard required as tile base around tubs and showers.
3. 5/8" Drywall required to ceiling members at 24" o.c.
4. Provide 8" clearance between grade and siding.
5. Damp-proofing slabs, including crawl spaces, are to be 6 mil "UV" poly.
6. Furnace and laundry room door width of 2'-8" min.
7. N.R.P. hinges required for outswing exterior doors.
8. Hardwired and interconnected smoke alarms required on every floor level differing by 36", within 16'-4" of bedroom doors, and within 50'-0" of each other.
9. A 5lb A.B.C. dry chemical fire extinguisher is required @ kitchen area.
10. Heating and air conditioning equipment must be secured to the building to resist overturning and displacement.
11. Doors between garage and dwelling are to be a self-closing and weather-stripped solid core door.

LEGAL DESCRIPTION: LOT A, BLOCK 116 & 117, DISTRICT LOT 556, GROUP 1 NEW WESTMINSTER DISTRICT PLAN 16392 PID: 013-221-868	
PROPERTY ADDRESS: 2950 ROSEBERY AVE. DISTRICT OF WEST VANCOUVER B.C.	
ZONING: RS-2 LOT SIZE: 79,351.00 sq. ft. = 7,371.70 m2	
FAR: 35% = 23,805.30 sq. ft. = 2,211.51 m2	
EXISTING AREAS: MAIN DWELLING, GROUND LEVEL: 6,011.28 sq.ft. = 558.45 m2 INDOOR SWIMMING POOL: 2,664.28 sq.ft. = 247.51 m2 ENCLOSED WALKWAY: 390.00 sq.ft. = 36.23 m2	
DETACHED SECONDARY SUITE FAR: ALLOWED: 111.5 m2 = 1,200.21 sq. ft.	
PROPOSED: MAIN FLOOR: 1,006.30 sq ft = 93.48 m2 LOFT: 193.50 sq ft = 17.97 m2 TOTAL: 1,199.80 sq ft = 111.45m2	
LOT COVERAGE: ALLOWED 30% 23,805.30 sq.ft. = 2,211.57 m2 EXISTING: 10,070.64 sq.ft. = 935.56 m2 = 12.69% ADDED: 1,962.94 sq.ft. = 182.35 m2 TOTAL: 12,033.58 sq.ft. = 1,117.91 m2 = 15.16%	
COACH HOUSE SETBACKS	
FROM EXISTING DWELLING:	147.24' = 44.88 m
FROM INDOOR SWIMMING POOL	153.67' = 46.84 m
FRONT PROPERTY LINE:	PROPOSED: 195.47' = 59.58 m
FROM GARAGE: 4.00' = 1.22m	PROPOSED: 7.41' = 2.26 m
SIDES: 4.00' = 1.22m	PROPOSED: WEST SIDE: 4.00' = 1.22 m
	EAST SIDE: 213.58' = 65.10 m
REAR: 4.00' = 1.22m	PROPOSED: 29.85' = 9.10 m
GARAGE SETBACKS:	
FROM EXISTING DWELLING:	127.36' = 38.82 m
FRONT:	PROPOSED: 164.30' = 50.08 m
SIDES: 4.00' = 1.22m	PROPOSED: WEST SIDE: 4.00' = 1.22 m
	EAST SIDE: 239.40' = 72.97 m
REAR: 4.00' = 1.22m	PROPOSED: 78.90' = 24.05 m
FROM COACH HOUSE: 4.00' = 1.22m	PROPOSED: 6.92' = 2.11 m
COACH HOUSE HEIGHT: MAX. HIGH FOR TWO STOREY: 6.40 m=21.00' PROPOSED: 21.00'= 6.40 m	
ACCESSORY BUILDING, GARAGE: EXEMPT AREA FROM FAR: 40.9 m2 =440.25 sq ft PROPOSED: 46.82 m2 = 504.0sq ft	
MAX. HIGH FOR ACCESSORY BUILDING: 3.65 m=12.00' PROPOSED: 12.00'= 3.65 m	

GRADE CALCULATIONS

MAIN BUILDING					Natural Grade				
Finish grade	Elev 1	Elev 2	Length	average	Elev 1	Elev 2	Length	average	
A	274.5	274.5	13.08	3590.46	A	274.52	274.45	13.08	3590.26
B	274.5	274.5	16.92	4644.54	B	274.45	274.7	16.92	4645.61
C	274.5	274.5	8.17	2242.67	C	274.7	274.8	8.17	2244.71
D	274.5	274.5	19.92	5468.04	D	274.8	275.25	19.92	5478.50
E	274.5	274.5	2	549.00	E	275.25	275.3	2	550.55
F	274.5	274.5	10.04	2755.98	F	275.3	273.5	10.04	2754.98
G	274.5	274.5	23.46	6439.77	G	273.5	273.85	23.46	6420.42
H	274.5	274.5	10.04	2755.98	H	273.85	273.9	10.04	2749.71
I	274.5	274.5	1.17	321.17	I	273.9	274.15	1.17	320.61
J	274.5	274.5	7.96	2185.02	J	274.15	274.6	7.96	2184.03
K	274.5	274.5	3.25	892.13	K	274.6	274.6	3.25	892.45
L	274.5	274.5	11.25	3088.13	L	274.6	274.65	11.25	3089.53
M	274.5	274.5	3.25	892.13	M	274.65	274.6	3.25	892.53
N	274.5	274.5	11.08	3041.46	N	274.6	274.57	11.08	3042.40
O	274.5	274.5	5.37	1474.07	O	274.57	274.55	5.37	1474.39
P	274.5	274.5	6.54	1795.23	P	274.55	274.52	6.54	1795.46
			153.50	42135.75	274.50		153.50	42126.32	274.44
GARAGE									
a1	281	281	0.67	188.27	a	280.7	274.6	24	6663.60
a2	275	274.5	2.08	571.48					
a3	274.5	274.5	21.25	5833.13					
b	274.5	274.5	21	5764.50	b	274.6	274.85	21	5769.23
c	274.5	279.25	24	6645.00	c	274.85	279.25	24	6649.20
d	279.25	281	21	5882.63	d	279.25	280.7	21	5879.48
			90.00	24885.00	276.50		90.00	24961.50	277.35

NOTES

REVISION	NO.
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PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
General Notes/
Zoning Information/
Grades Calculations

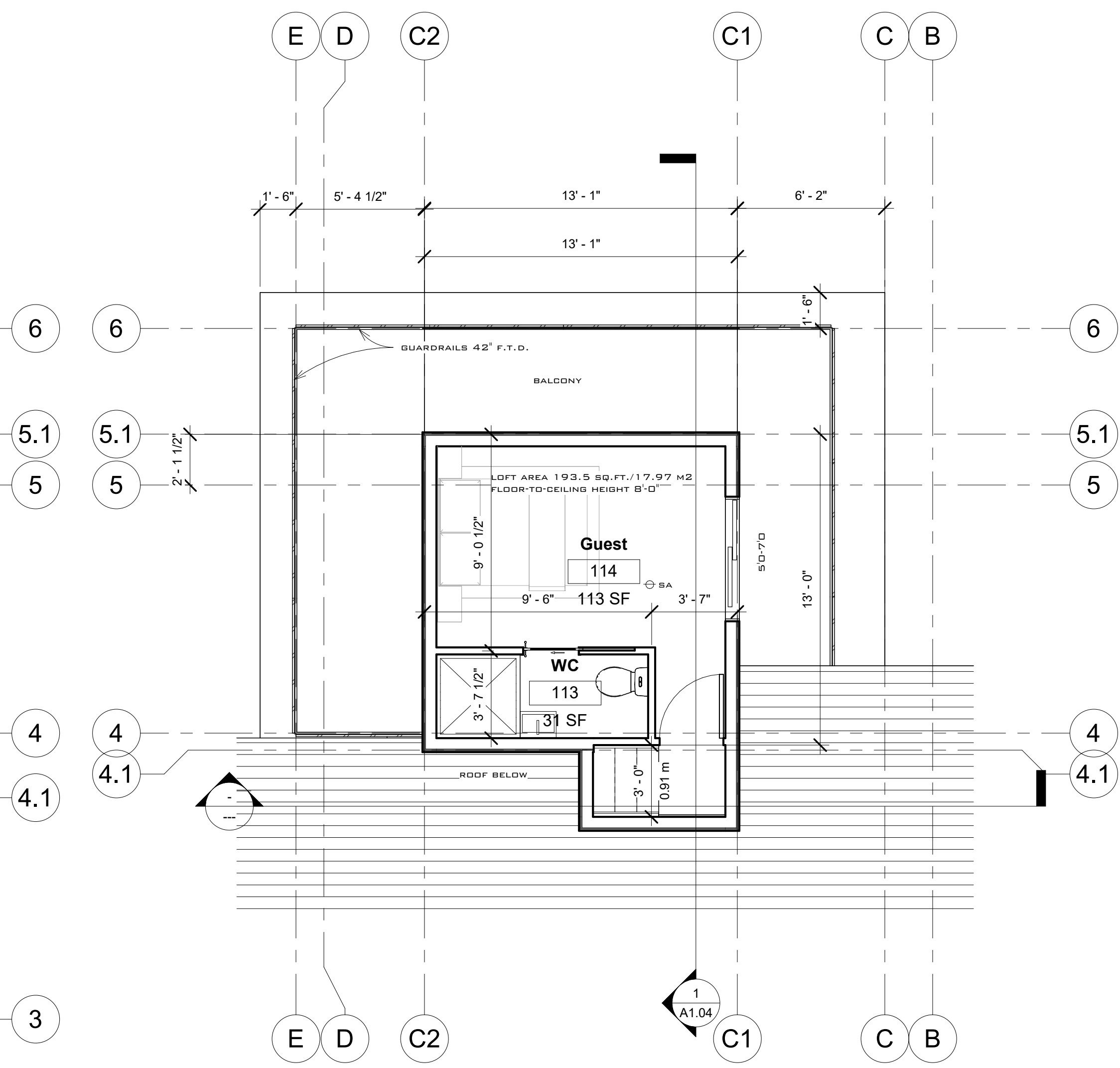
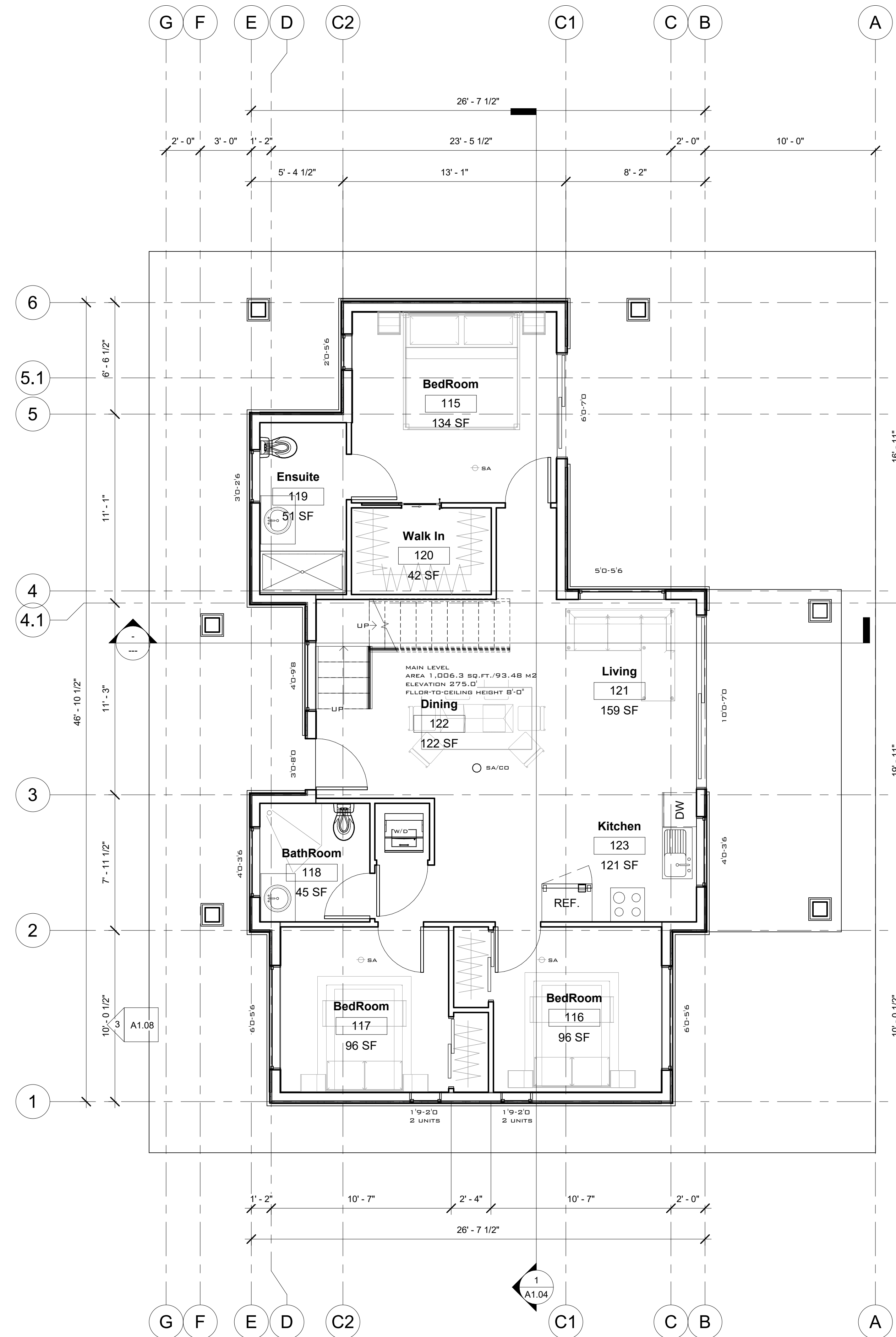
Author Checker

DATE
20Aug22

SCALE

PROJECT:

DRAWING NO.



NOTES

REVISION	NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
Floorplans

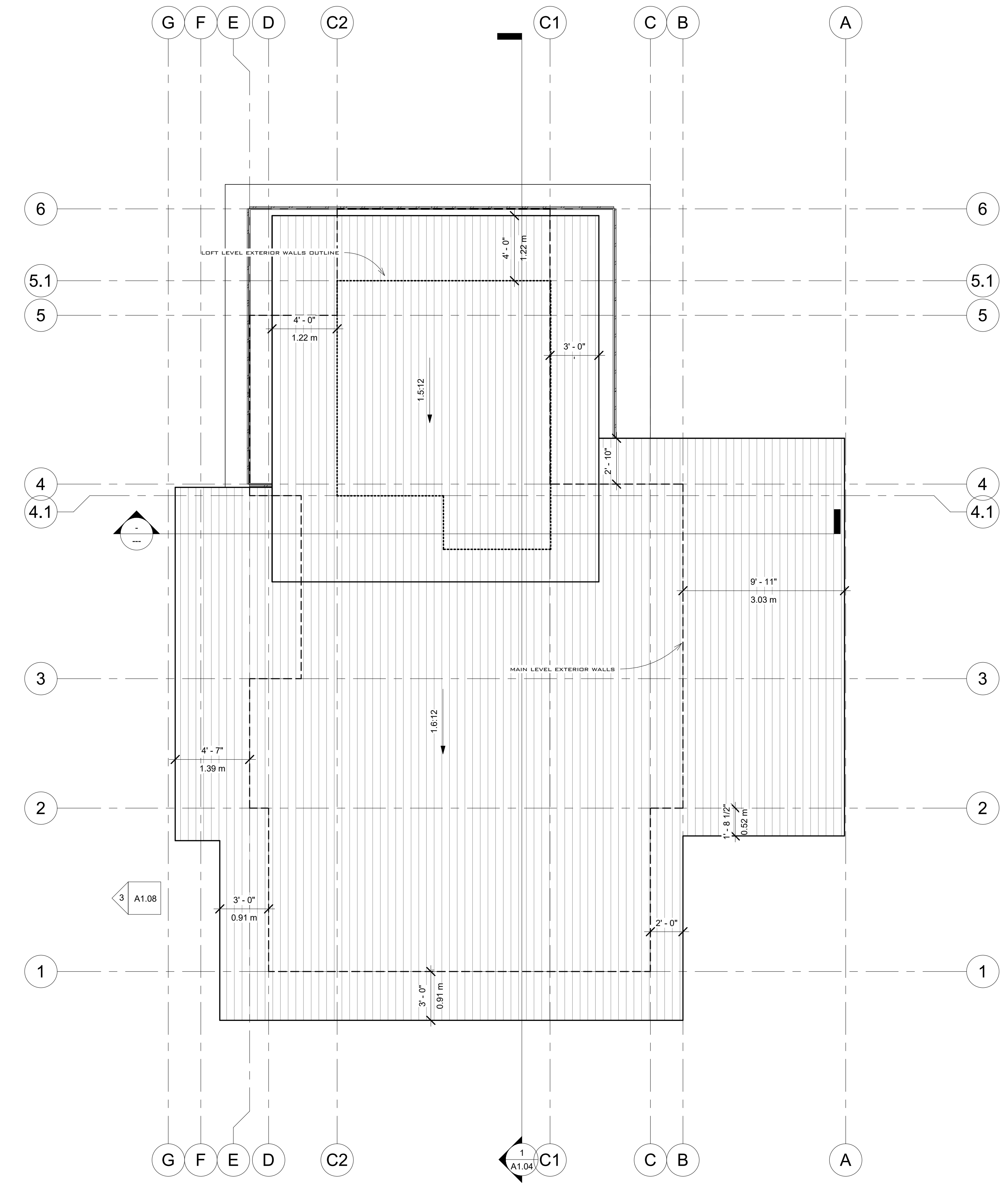
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DATE
20Aug22

SCALE
1/4" = 1'-0"

PROJECT:
DRAWING NO.

A1.02



1 Roof Plan
1/4" = 1'-0"

NOTES

REVISION	NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
Roof Plan

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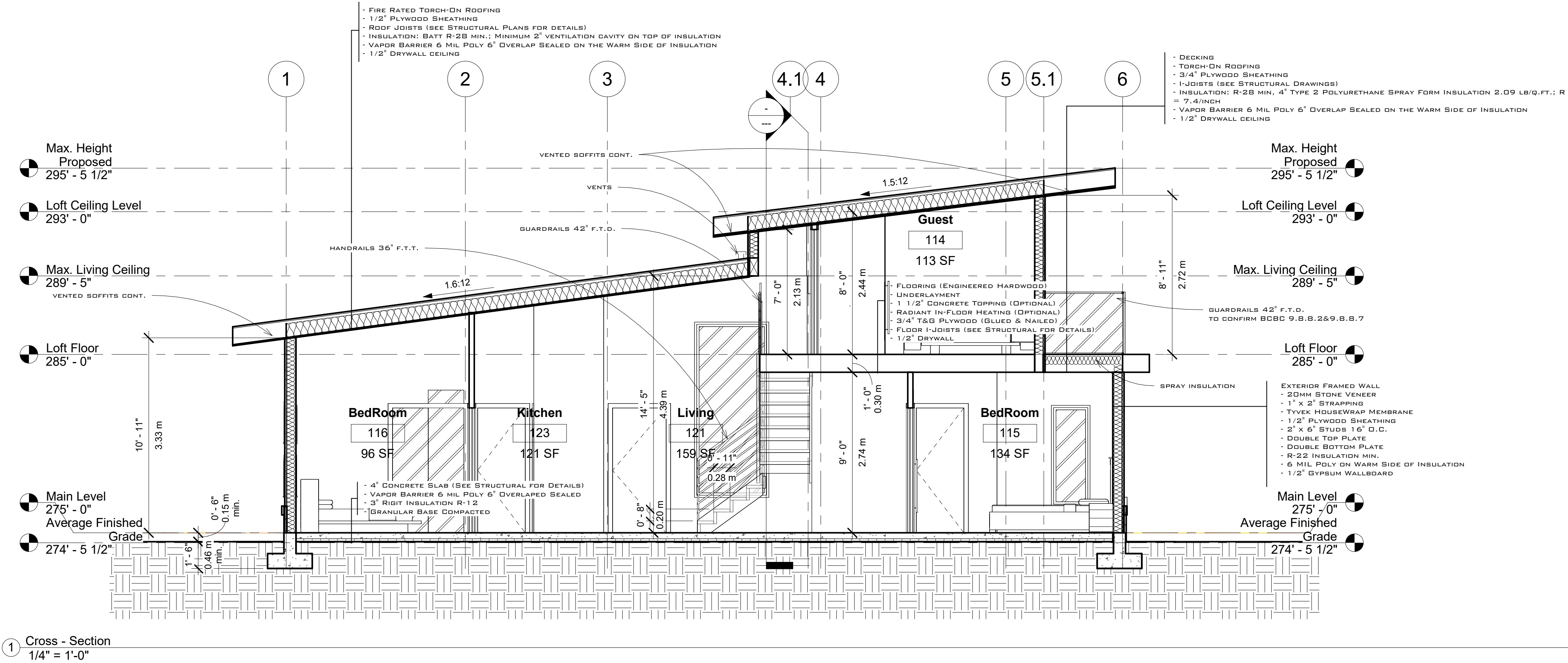
DATE 20Aug22

SCALE 1/4" = 1'-0"

PROJECT:

DRAWING NO.

A1.03



1 Cross - Section
1/4" = 1'-0"

NOTICE: FOR DESIGN LOADS, LOCATION AND DETAILS OF STRUCTURAL ELEMENTS, INCLUDING: LOAD-BEARING WALLS, SHEAR WALLS, FOOTINGS, FOUNDATION WALLS, POSTS, BEAMS, JOISTS AND LINTELS SEE STRUCTURAL SET OF DRAWINGS AND NOTES.

- ESW EXTERIOR SIDING WALL**
- HARBORBOARD HORIZONTAL SIDING (OPTIONAL LONGBOARD ALUMINUM SIDING)
 - 1" x 4" STRAPPING
 - TYVEK HOUSEWRAP MEMBRANE
 - 1/2" PLYWOOD SHEATHING
 - 2" x 6" STUDS 16" O.C.
 - DOUBLE TOP PLATE
 - DOUBLE BOTTOM PLATE
 - R-22 INSULATION MIN.
 - 6 MIL POLY ON WARM SIDE OF INSULATION
 - 1/2" GYPSUM WALLBOARD

- TYPICAL ROOF ASSEMBLY**
- ROOFING
 - 1/2" PLYWOOD SHEATHING
 - ROOF JOISTS (SEE STRUCTURAL NOTES AND SHOP DRAWINGS)
 - INSULATION R-28 MIN.
 - VAPOR BARRIER 6 MIL. POLY 6" OVERLAP SEALED
 - 1/2" DRYWALL CEILING

- WI TYPICAL INTERIOR WALL :**
- 2" x 4" STUDS 16" O.C.
 - DOUBLE TOP PLATE
 - DOUBLE BOTTOM PLATE FOR CONCRETE TOPPING
 - 1/2" GYPSUM WALL BOARD ON EACH SIDE

- TYPICAL DECK OVER LIVING SPACE ASSEMBLY**
- DECKING
 - TORCH-ON ROOFING
 - 1/2" PLYWOOD SHEATHING
 - ROOF JOISTS (SEE STRUCTURAL NOTES AND SHOP DRAWINGS)
 - INSULATION R-28 MIN., 4" TYPE 2 POLYURETHANE SPRAY FOAM INSULATION 2.09 LB/SQ.FT.; R=7.4/INCH
 - VAPOR BARRIER 6 MIL. POLY 6" OVERLAP SEALED
 - 1/2" DRYWALL CEILING

- LBW TYPICAL INTERIOR LOAD BEARING WALL :**
- 2" x 6" STUDS 16" O.C.
 - DOUBLE TOP PLATE
 - DOUBLE BOTTOM PLATE FOR CONCRETE TOPPING
 - 1/2" GYPSUM WALL BOARD ON EACH SIDE

GENERAL NOTES

LUMBER
SEE STRUCTURAL NOTES FOR DETAILS.

CONCRETE
SEE STRUCTURAL NOTES FOR DETAILS.

GENERAL

- GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DRAWINGS, DIMENSIONS, AND ELEVATIONS BEFORE COMMENCING WORK. REPORT ANY DISCREPANCY TO THE DESIGNER.
- DRAWINGS ARE NOT TO BE SCALED.
- CONSTRUCTION METHODS AND TECHNOLOGIES TO CONFIRM REQUIREMENTS OF BCBC 2018.
- MATERIALS TO BE USED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TREE REMOVAL TO BE CONFIRMED BY LOCAL AUTHORITIES.
- GENERAL CONTRACTOR SHALL PASS ALL NECESSARY INSPECTIONS.

INSULATION

- INSULATION WHERE SUBJECT TO MECHANICAL DAMAGE IS TO BE COVERED AS PER #9.25.2.3.(7) WITH DRYWALL OR EQUIVALENT (E.G. CRAWL STORAGE AREAS).
- MINIMUM INSULATION VALUES R20 WALLS, R28 FOR FLAT OR VAULTED CEILINGS, AND R40 FOR ATTIC SPACES.
- CEILING AND WALLS TO HAVE 6 MIL U.V. POLY FULLY CAULKED AS PER # 9.25.
- R10 RIGID INSULATION REQUIRED AROUND UNHEATED SLABS ON GRADE; 20" VERTICAL OR HORIZONTAL FROM BOTTOM EDGE OF SLAB.
- R12 RIGID INSULATION REQUIRED UNDER ENTIRE SLAB AREA AND A THERMAL BREAK AT THE EXTERIOR WALLS FOR SLABS WITH RADIANT HEATING.

STAIRS

- STRAIGHT STAIR: RISE MIN. 5" MAX. 7.87" RUN MIN. 8.25" MAX. 14"
- MAXIMUM 1" NOSING ON STAIR TREADS.
- MINIMUM HEADROOM IS 6'-5" FROM A LINE THROUGH NOSINGS, MEASURED VERTICALLY.
- HANDRAIL TO BE BETWEEN 32" TO 38" FROM A LINE, MEASURED VERTICALLY, THROUGH NOSING.
- NOSING TO CONFORM TO 9.8.4.5.
- PRIMARY STAIR MINIMUM WIDTH 2'-10".
- STAIRS 43" IN WIDTH OR GREATER REQUIRE 2 HANDRAILS.
- HANDRAIL REQ'D ON INTERIOR STAIRS WITH THREE OR MORE RISERS, AND EXTERIOR STAIRS WITH FOUR OR MORE RISERS.
- HANDRAIL AS A GUARD IS TO BE BETWEEN 36" AND 39".

GUARDRAILS

- GUARDRAILS TO BE A MINIMUM 42" EXTERIOR AND 36" INTERIOR HEIGHT.
- NO MEMBER RADIATING CLIMBING PERMITTED FROM 5'-2" TO 36" ABOVE THE FLOOR OR WALKING SURFACE (IN ALL GUARDS).
- MAXIMUM 4" OPENING IN ALL STAIR, DECK AND BALCONY GUARDS (INTERIOR AND EXTERIOR).
- ALL GLASS GUARDS TO HAVE TOP CAP UNLESS APPROVED BY PROF. ENGINEER.
- A MINIMUM OF 36" IN HEIGHT IS PERMITTED FOR DECKS WITHIN 5'-11" OF GRADE.
- GUARD REQUIRED TO ALL DROPS EXCEEDING 24" WHERE ACCESS IS PROVIDED (E.G. WINDOW WELLS).
- GUARD REQUIRED WHERE THE ADJACENT SURFACE WITHIN 4'-0" M OF THE WALKING SURFACE HAS A SLOPE OF MORE THAN 1 IN 2.

GLAZING

- GLASS IN WINDOWS AND DOORS TO BE DOUBLE-GLAZED.
- GLASS IN ENTRANCE, SHOWER AND SLIDING DOORS, AND WINDOWS WITHIN 8" OF FLOORS AND WITHIN 36" OF DEADBOLTS ARE ALL TO BE SAFETY GLAZED.
- SIDELIGHTS 20" IN WIDTH ARE TO BE SAFETY GLASS.
- WINDOWS IN WALLS ENCLING SHOWER OR TUBS ARE TO BE SAFETY GLASS AND BE LOCATED ABOVE THE WATERPROOF WALL FINISH HEIGHT.
- WINDOWS OVER STAIRS, RAMPS AND LANDINGS THAT EXTEND TO LESS THAN 36" ABOVE THE SURFACE SHALL BE PROTECTED WITH GUARDS OR BE NON-OPENABLE AND DESIGNED TO #4.1.5.15.

MOISTURE PROTECTION

- PROVIDE FLASHING BETWEEN HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES. ALL FLASHING TO SLOPE AWAY FROM THE BUILDING A MINIMUM OF 6%.
- PROVIDE FLASHING AT ALL WALL-ROOF JUNCTIONS, INCLUDING PARAPETS FOR SOLID GUARDS ON DECKS.
- RAMBREEN ASSEMBLY REQUIRED FOR ALL BUILDINGS, WITH A MINIMUM CAPILLARY BREAK OF 3/8".
- ALL PLATFORMS ARE RDRFT.
- ALL ROOFS MUST SLOPE 1 IN 50 AWAY FROM WALLS. THIS INCLUDES PARAPET WALLS SURROUNDING DECKS.
- 6" CLEARANCE REQUIRED BETWEEN DECK MEMBRANES & FLOOR.

MISCELLANEOUS

- LINO OR EQUAL REQUIRED TO BATHROOM FLOORS.
- WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS.
- 5/8" DRYWALL REQUIRED TO CEILING MEMBERS AT 24" O.C.
- PROVIDE 8" CLEARANCE BETWEEN GRADE AND SIDING.
- DAMP-PROOFING SLABS, INCLUDING CRAWL SPACES, ARE TO BE 6 MIL "UV" POLY.
- N.R.P. HINDERS REQUIRED FOR OUTSWING EXTERIOR DOORS.
- HARDWIRED AND INTERCONNECTED SMOKE ALARMS REQUIRED ON EVERY FLOOR LEVEL DIFFERING BY 36", WITHIN 16'-4" OF BEDROOM ODORS, AND WITHIN 50'-0" OF EACH OTHER.
- A SLB A.B.C. DRY CHEMICAL FIRE EXTINGUISHER IS REQUIRED @ KITCHEN AREA.

NOTES

REVISION	NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
Building Section

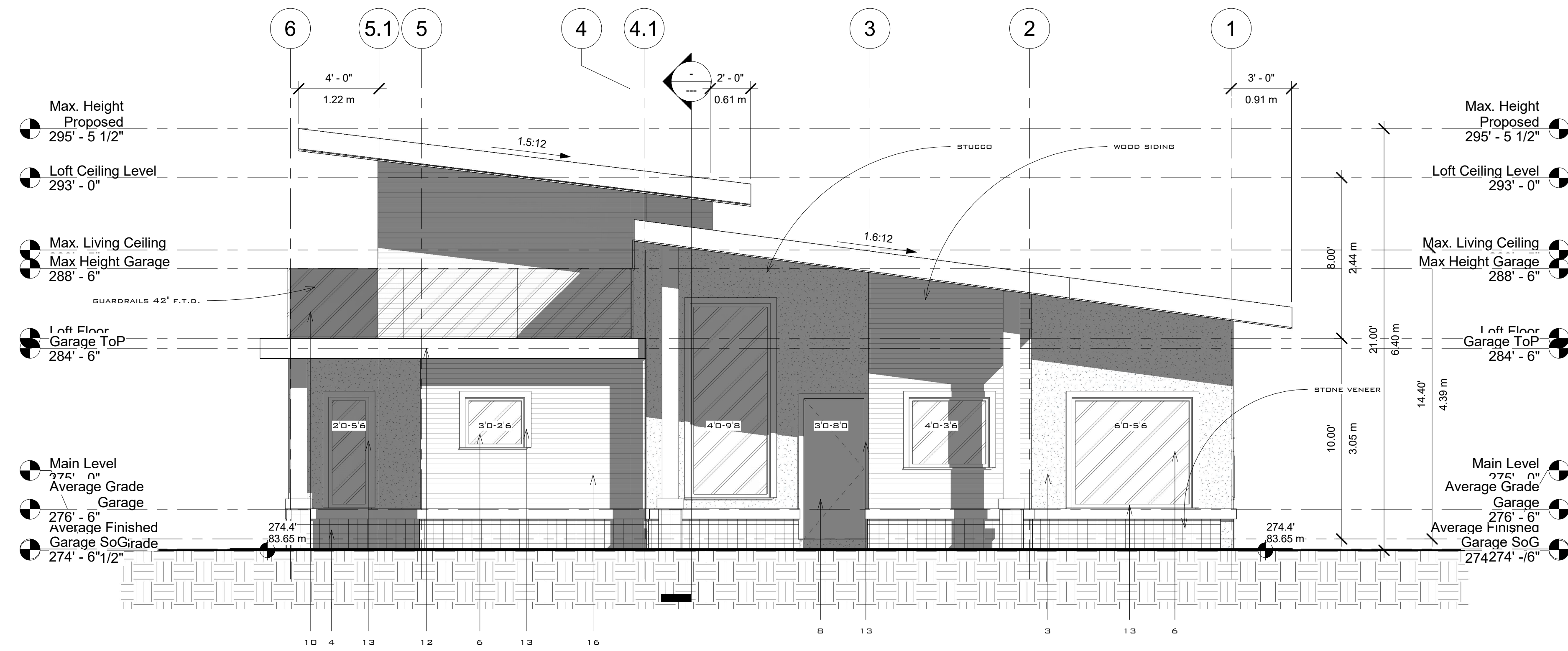
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DATE
20Aug22

SCALE
1/4" = 1'-0"

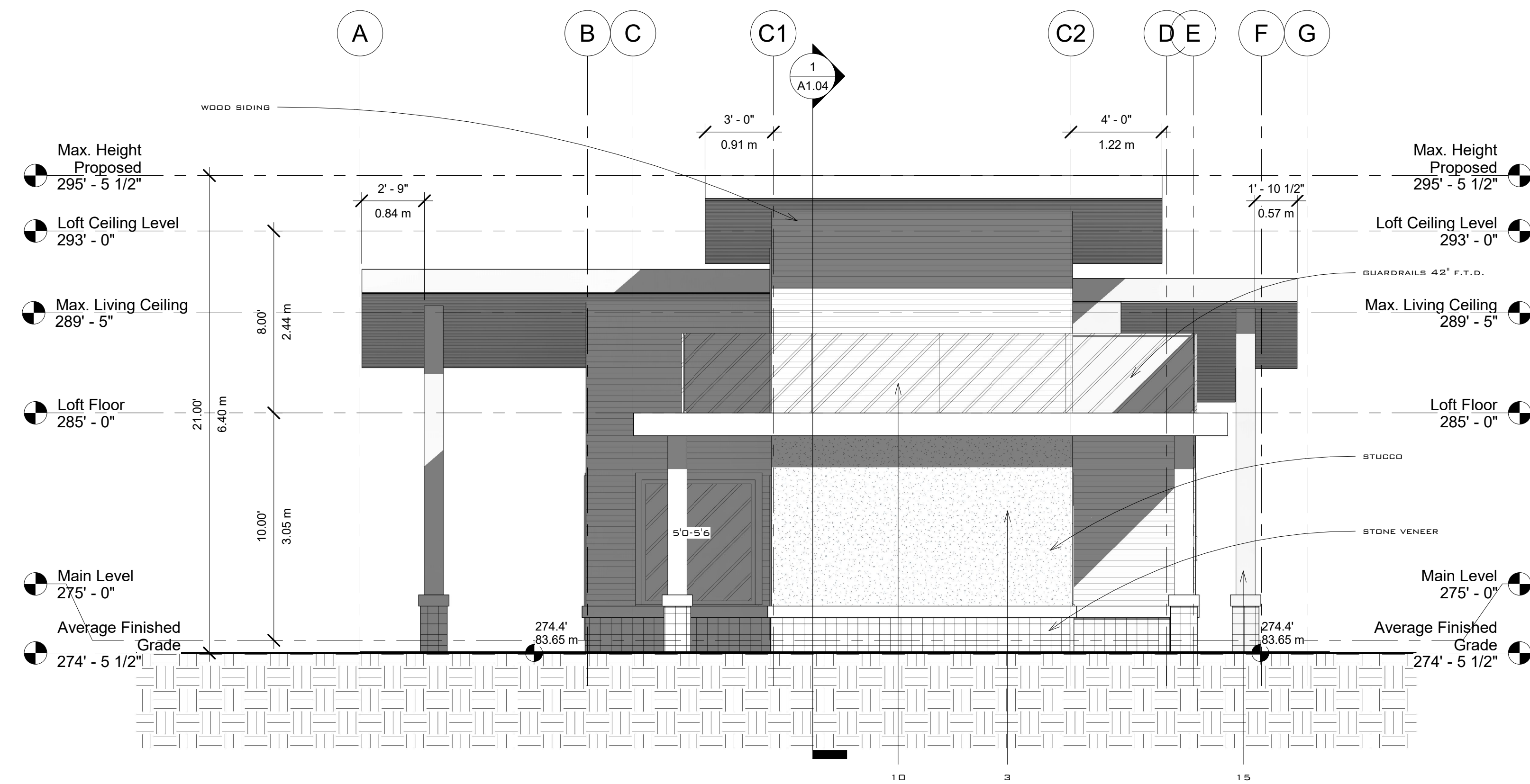
PROJECT:
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1 North (Front) Elevation
1/4" = 1'-0"

BUILDING IS SPRINKLERED THROUGHOUT- OCCUPANCY GROUP C
MAIN BUILDING TABLE 9.10.14.4.-A

SPATIAL SEPARATION EAST WALL :
LIMITING DISTANCE: 87.30 ft = 26.61 m (HALF DISTANCE BETWEEN
POOL HOUSE AND COACH HOUSE)
EXPOSED BUILDING FACE: 254.04 sq ft = 23.60 m²
ALLOWED AREA OF UNPROTECTED OPENINGS: 100% = 23.60 m²
PROPOSED AREA OF UNPROTECTED OPENINGS: 27.5 sq ft 2.55 m² = 10.8%



2 East (Left) Elevation
1/4" = 1'-0"

EXTERIOR FINISH MATERIALS

- 1 METAL ROOF SPEC. & COLOR: CHARCOAL
- 2 METAL FLASHING & HALF ROUND 3"ALUMINUM GUTTERS ON 2x8 WOOD FASCIA SPEC. & COLOR: CHARCOAL
- 3 SMOOTH STUCCO COLOR: BEIGE
- 4 1" BEDROCK STONE VENEER SPEC. & COLOUR: BEIGE
- 5 WOOD SOFFIT W/ CONTINUOUS VENT UNDER
- 6 THERMALLY BROKEN DOUBLE GLAZED LOW E WINDOW
- 7 THERMALLY BROKEN DOUBLE GLAZED LOW E FRENCH DOOR
- 8 MAIN ENTRANCE GLASS DOOR SPEC. & COLOR: CHARCOAL
- 9 INSULATED GARAGE DOOR
- 10 SAFETY SEAMLESS GLASS
- 11 2x8 WOOD FASCIA SPEC. & COLOR: CHARCOAL
- 12 PAINTED CREZONE PANEL
- 13 2"x6" PAINTED WOOD TRIM
- 14 2"x10" PRECAST BASE, PAINTED, COLOR: CHARCOAL
- 15 WOOD BRACKET, COLOR: NATURAL
- 16 4" BEVELED CEDAR SIDING

NOTES

REVISION NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
Front & Left
Elevations

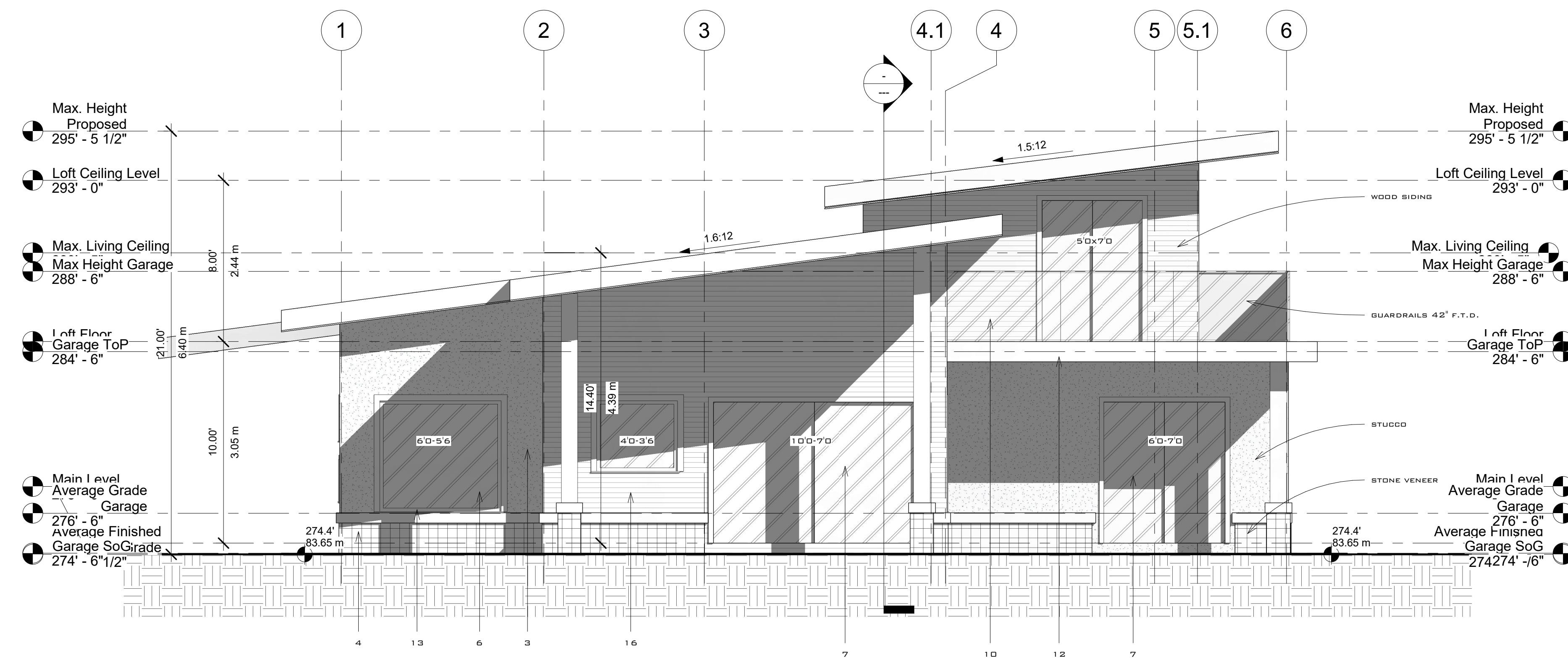
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IG NA

DATE
20Aug22

SCALE
1/4" = 1'-0"

PROJECT:

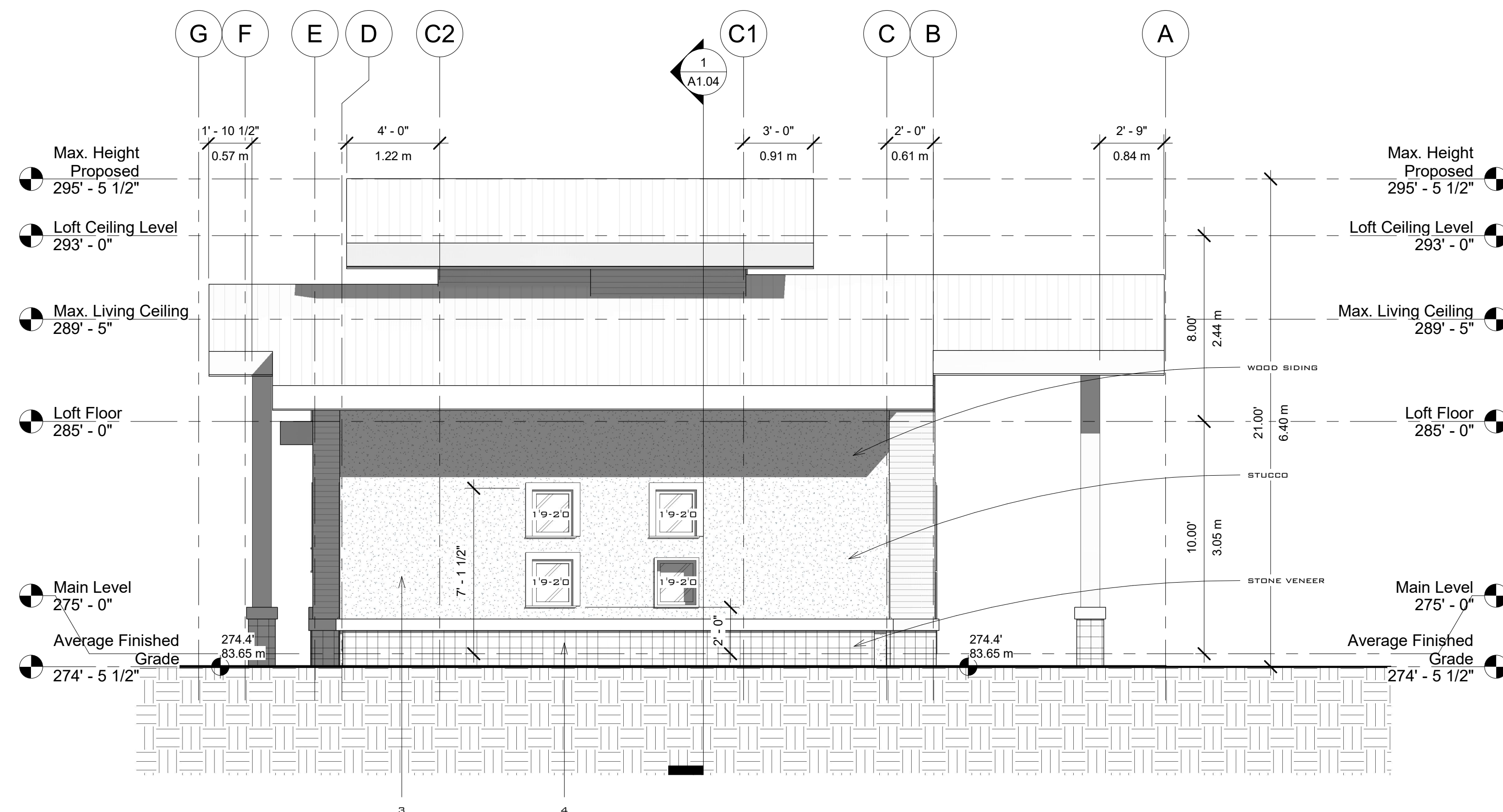
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① South (Rear) Elevation
1/4" = 1'-0"

BUILDING IS SPRINKLERED THROUGHOUT OCCUPANCY GROUP C
MAIN BUILDING TABLE 3.10.14.4.-B

SPATIAL SEPARATION WEST WALL:
LIMITING DISTANCE: 4.00 ft = 1.22 m
MAXIMUM AREA OF INDIVIDUAL UNPROTECTED OPENING FOR 1.2 m
LIMITING DISTANCE IS 0.35 m²
PROPOSED: 4 UNITS OF 3.5 SQ.SF. = 0.35 m²



② West (Right) Elevation
1/4" = 1'-0"

EXTERIOR FINISH MATERIALS

- 1 METAL ROOF SPEC. & COLOR: CHARCOAL
- 2 METAL FLASHING & HALF ROUND 3" ALUMINUM GUTTERS ON 2x8 WOOD FASCIA SPEC. & COLOR: CHARCOAL
- 3 SMOOTH STUCCO COLOR: BEIGE
- 4 1" BEDROCK STONE VENEER SPEC. & COLOUR: BEIGE
- 5 WOOD SOFFIT W/ CONTINUOUS VENT UNDER
- 6 THERMALLY BROKEN DOUBLE GLAZED LOW E WINDOW
- 7 THERMALLY BROKEN DOUBLE GLAZED LOW E FRENCH DOOR
- 8 MAIN ENTRANCE GLASS DOOR SPEC. & COLOR: CHARCOAL
- 9 INSULATED GARAGE DOOR
- 10 SAFETY SEAMLESS GLASS
- 11 2x8 WOOD FASCIA SPEC. & COLOR: CHARCOAL
- 12 PAINTED CREZONE PANEL
- 13 2"x6" PAINTED WOOD TRIM
- 14 2"x10" PRECAST BASE, PAINTED, COLOR: CHARCOAL
- 15 WOOD BRACKET, COLOR: NATURAL
- 16 4" BEVELED CEDAR SIDING

NOTES

REVISION NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
Rear & Right
Elevations

DRAWN I.Goman REVIEWED NA

DATE 20Aug22

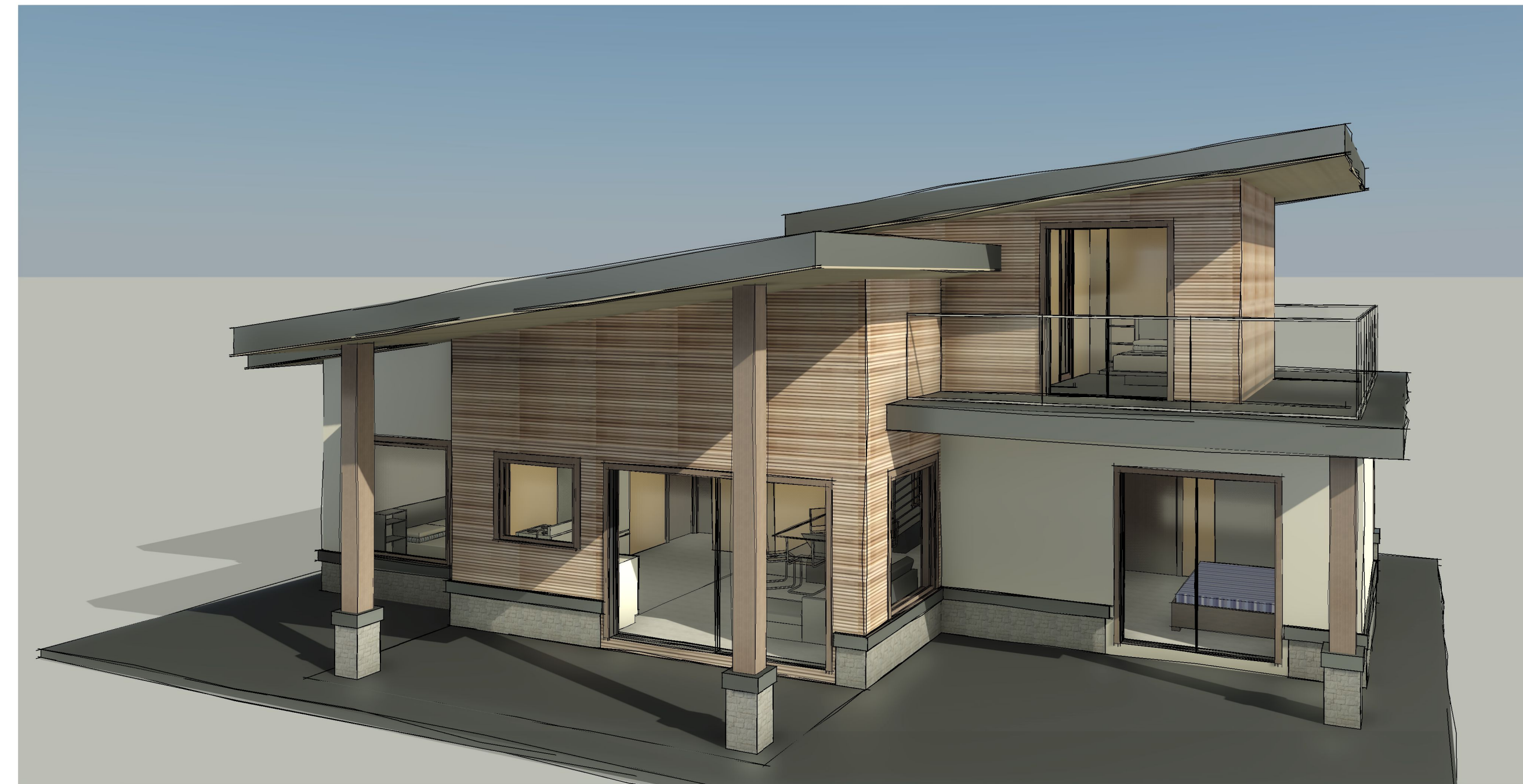
SCALE 1/4" = 1'-0"

PROJECT:

DRAWING NO.



① 3D View Front 1



② 3D View Rear 1



③ 3D View Front 2



④ 3D View Rear 2

NOTES

REVISION	NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
3D Views

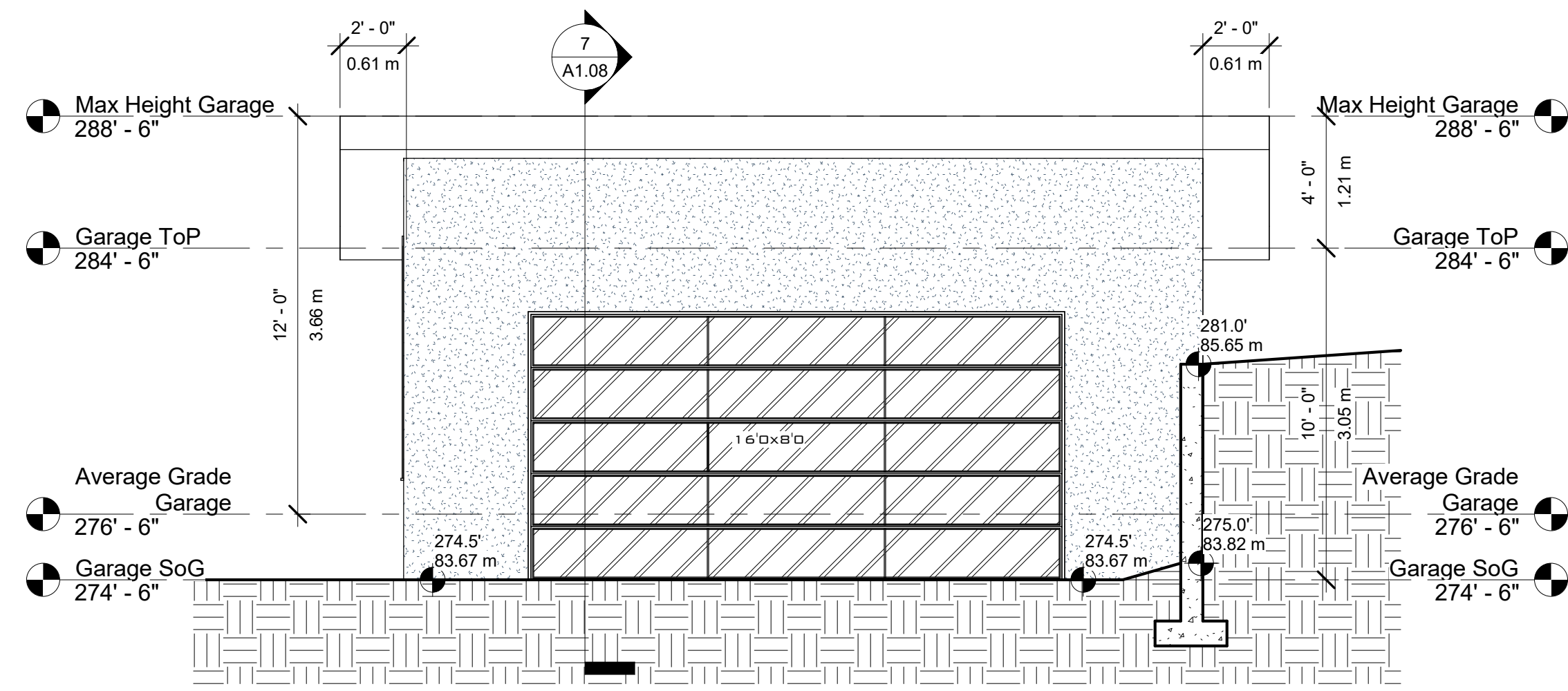
DRAWN	REVIEWED
IG	NA

DATE 10/05/22

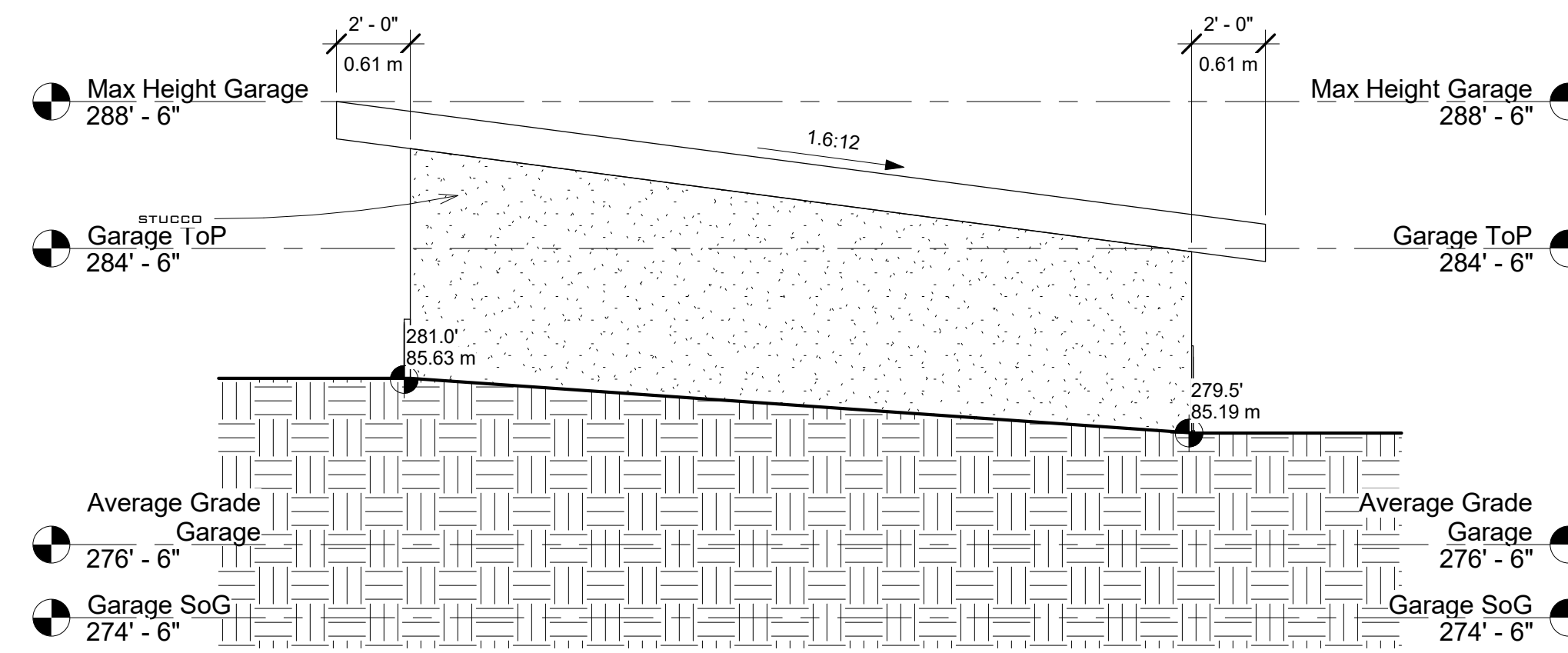
SCALE

PROJECT:

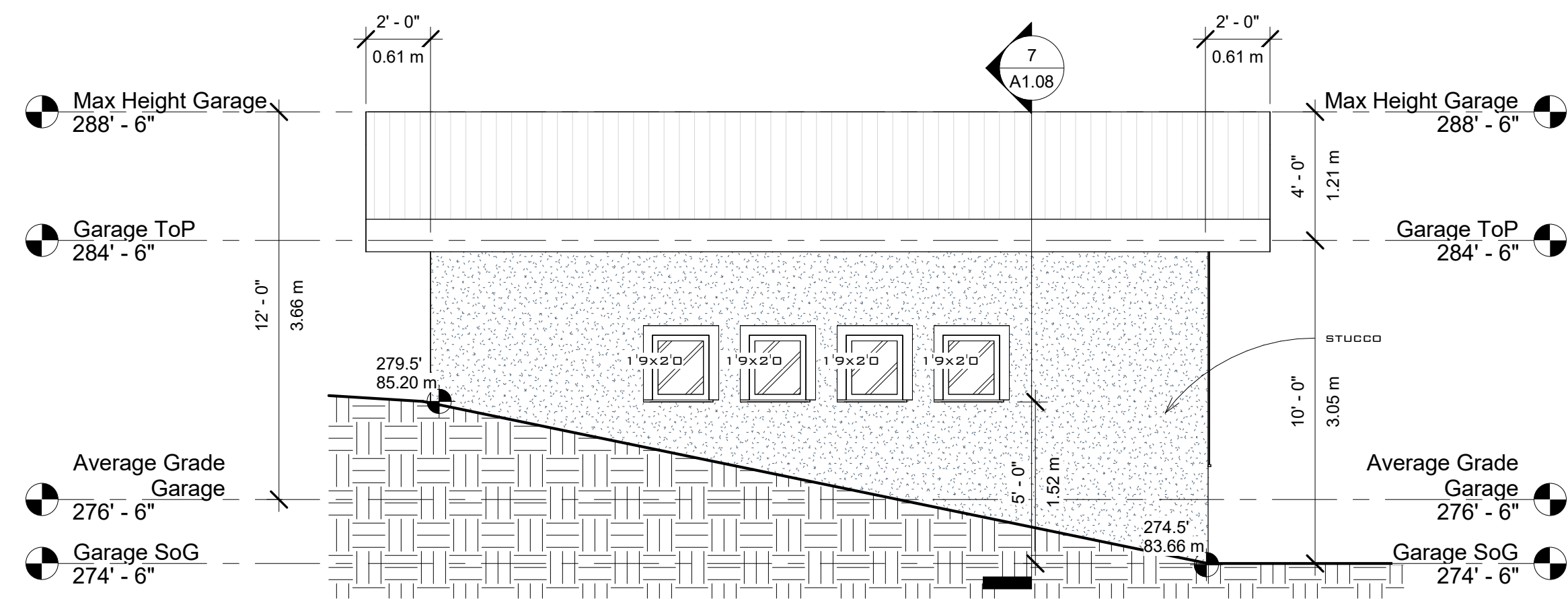
DRAWING NO.



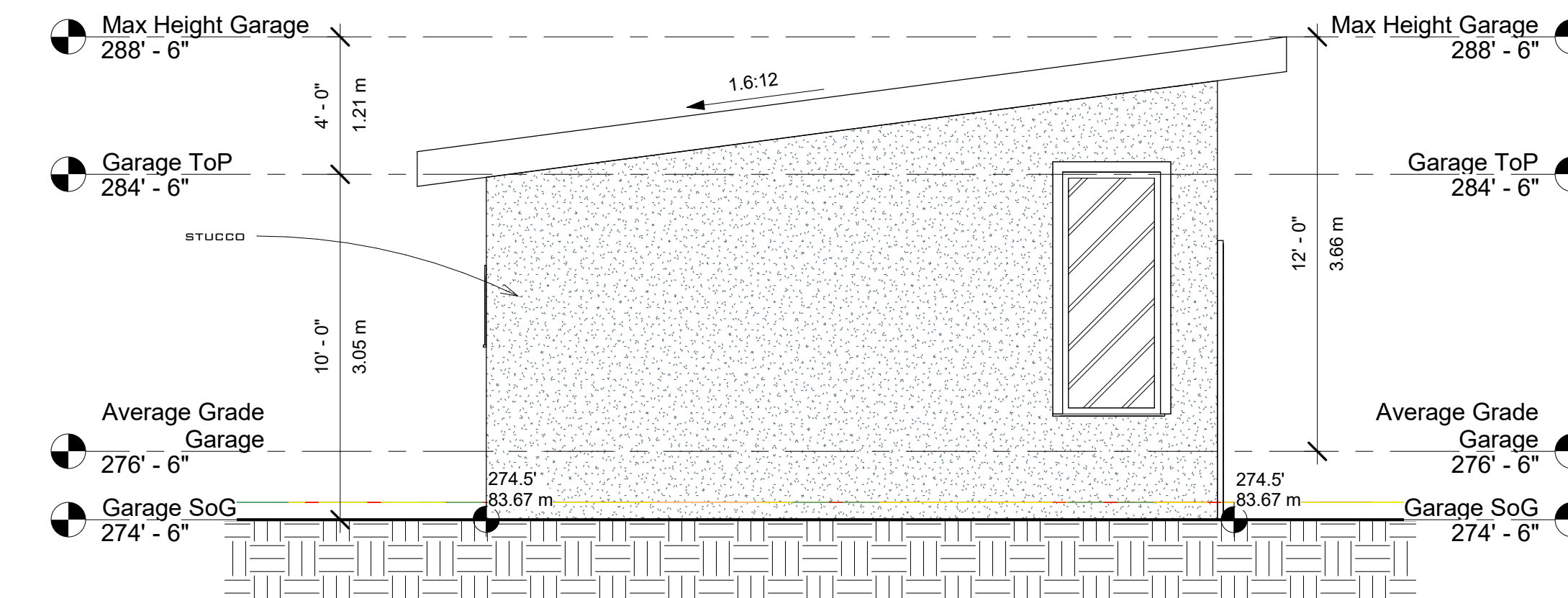
1 Garage East (Front) Elevation
1/4" = 1'-0"



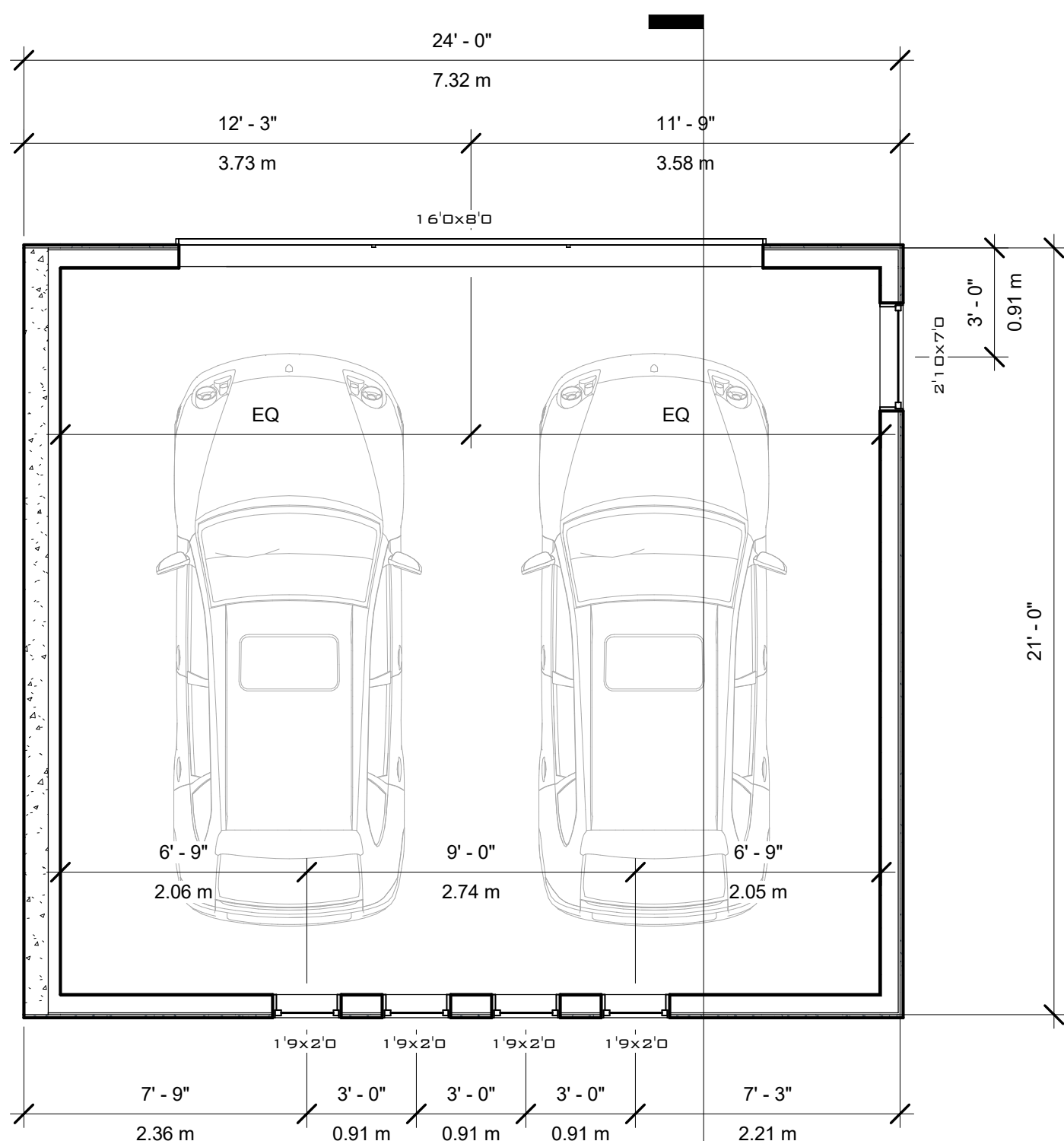
2 Garage North (Right) Elevation
1/4" = 1'-0"



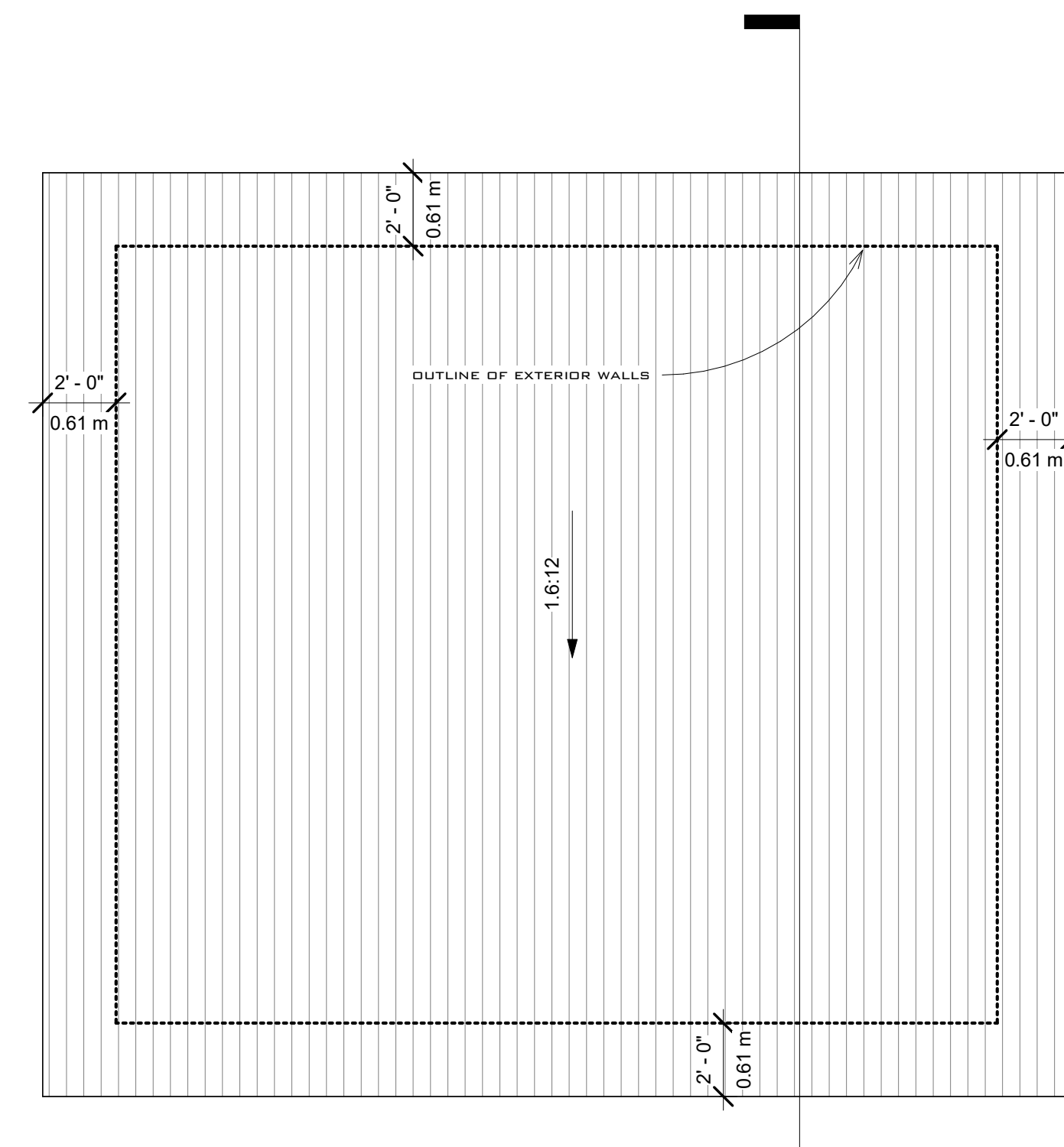
4 Garage West (Rear) Elevation
1/4" = 1'-0"



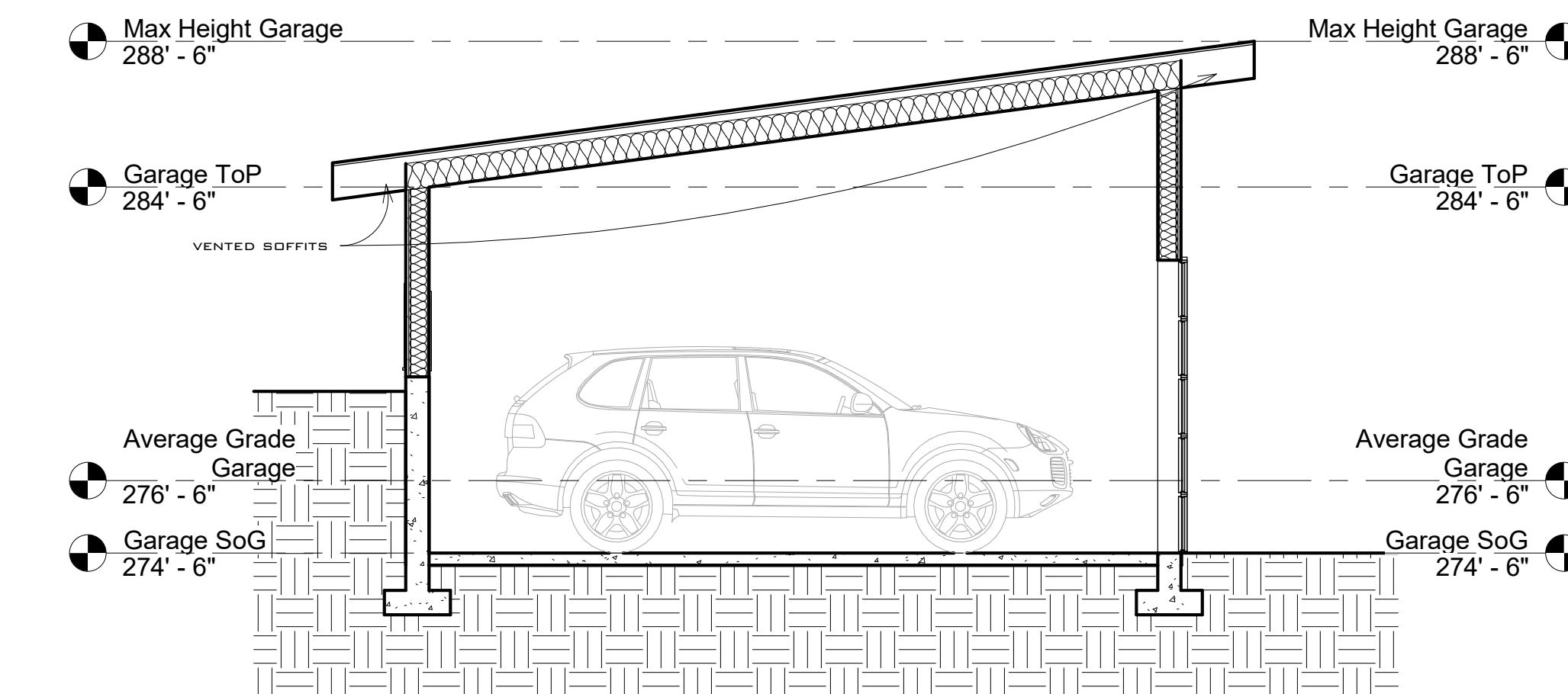
3 Garage South (Left) Elevation
1/4" = 1'-0"



5 Garage Floorplan
1/4" = 1'-0"



6 Garage Roof Plan
1/4" = 1'-0"



7 Garage Section
1/4" = 1'-0"

NOTES

REVISION	NO.

PROJECT
2950 Rosebery Ave,
West Vancouver

TITLE
New Detached
Garage

DRAWN	REVIEWED
Author	Checker

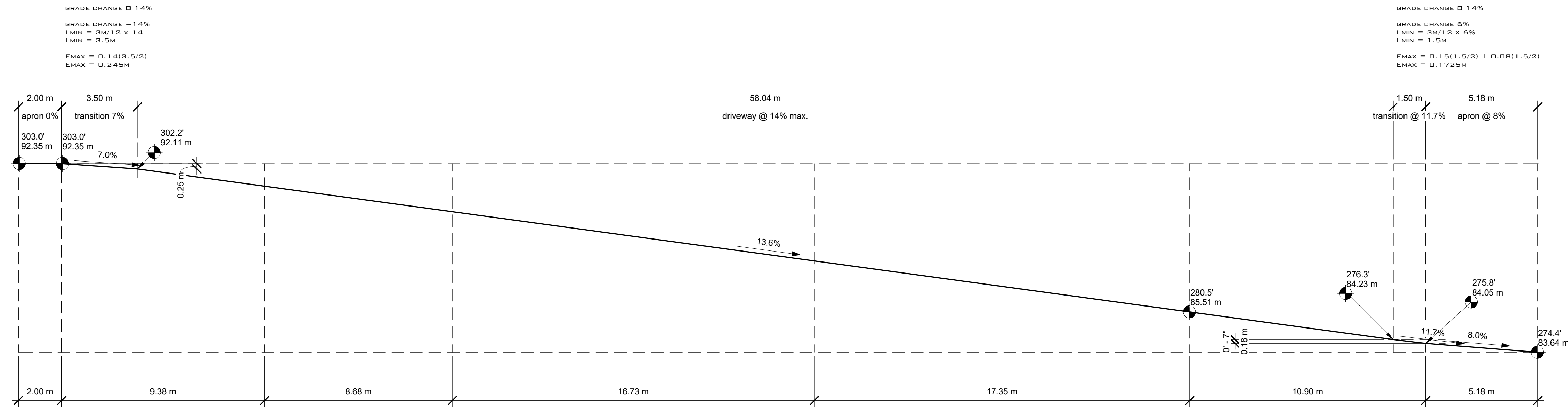
DATE
20Aug22

SCALE
1/4" = 1'-0"

PROJECT:

DRAWING NO.

A1.08



① Driveway Profile
 1" = 10'-0"

NOTES

REVISION	NO.

PROJECT	2950 Rosebery Ave, West Vancouver	
TITLE	Driveway Profile	
DRAWN	IG	REVIEWED NA
DATE	20Aug22	
SCALE	1" = 10'-0"	
PROJECT:		
DRAWING NO.		